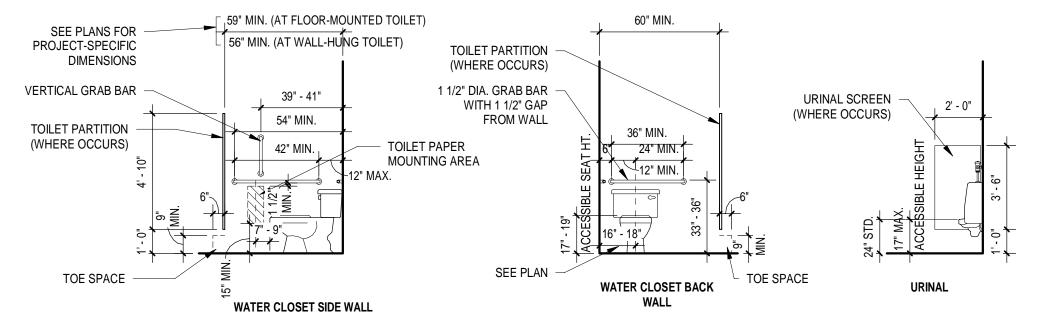
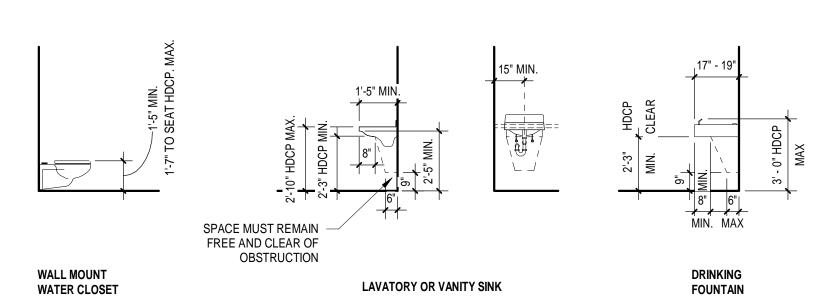
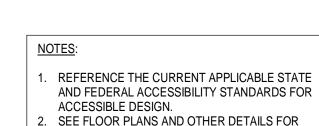
Plumbing Fixture Mounting Heights





\rightarrow	_		
3'-6"			
5	_		



SEE FLOOR PLANS AND OTHER DETAILS FOR APPLICABLE PROJECT SPECIFIC REQUIREMENTS AND DIMENSIONS. AMBULATORY ACCESSIBLE COMPARTMENTS AND FIXTURES, WATER CLOSETS, AND TOILET COMPARTMENTS FOR CHILDREN'S USE ARE NOT SHOWN. SEE APPLICABLE CODES FOR REQUIREMENTS.

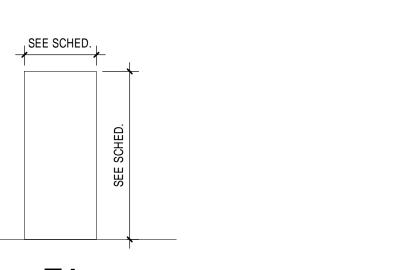
CONTRACTOR TO MEET OR EXCEED EXISTING FIRE RATINGS OF ADJACENT

Door and Opening Schedule																
Opening		Door				Frame		Details						Hdw.		
No.	Width	Height	Config.	Mat.	Ele.	Mat.	Ele.	Head	Jamb	Sill	Label	Door Glass	Power Req'd	Comm Req'd		Remarks
GROUND FLOOR																
043A	3' - 0"	7' - 0"	SINGLE	HM	F1	HM	1	1/A0-1	2/A0-1		-				1	
FIRST FLOOR																
134A	3' - 0"	7' - 0"	SINGLE	HM	F1	HM	1	1/A0-1	2/A0-1		-				1	
135A	3' - 0"	7' - 0"	SINGLE	HM	F1	HM	1	1/A0-1	2/A0-1		-				2	3
136A	3' - 0"	7' - 0"	SINGLE	HM	F1	HM	1	1/A0-1	2/A0-1		-				2	3
137A	3' - 0"	7' - 0"	SINGLE	HM		HM	1				-		Yes		3	1,2,3
142A	6' - 0"	7' - 0"	DOUBLE	AL	6/A2-1	AL	6/A2-1				-	TEMPERED			4	

Remarks

NEW FRAME WITH CONDUIT FOR ELECTRIC HARDWARE 3. DOOR SHALL HAVE KEYED LOCK WITH "VACANT/OCCUPIED" SIGN.

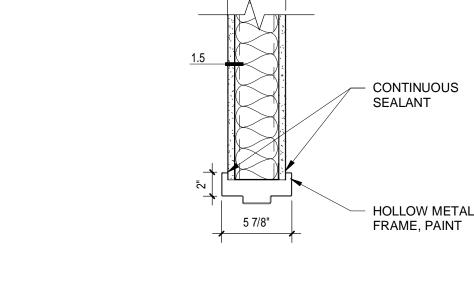
Door Elevations



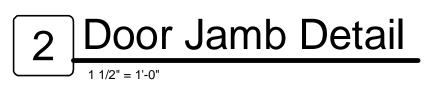
2"\ SEE SCHED. \ 2'

Frame Elevations

CONTINUOUS SEALANT AROUND PERIMETER OF FRAME, BOTH FACES OF - DOUBLE STUDS AT JAMB HOLLOW METAL FRAME, PAINT

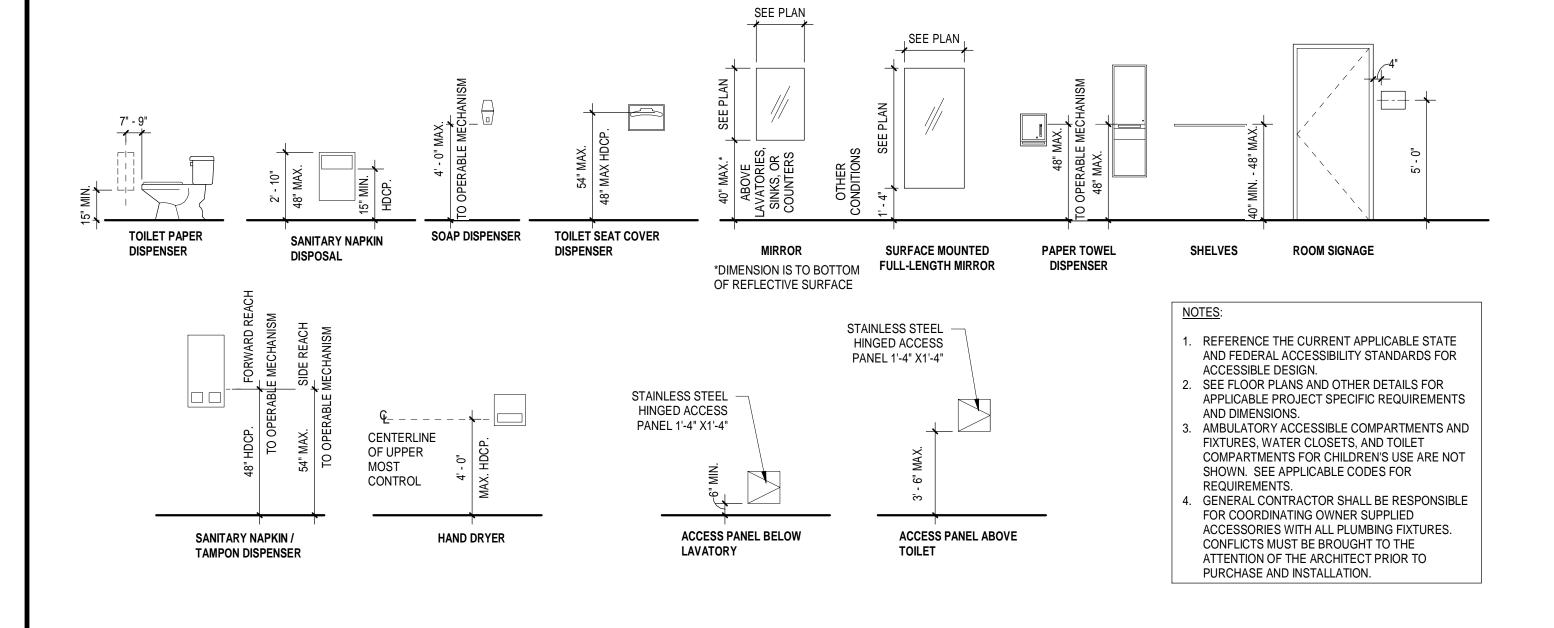


4 7/8"

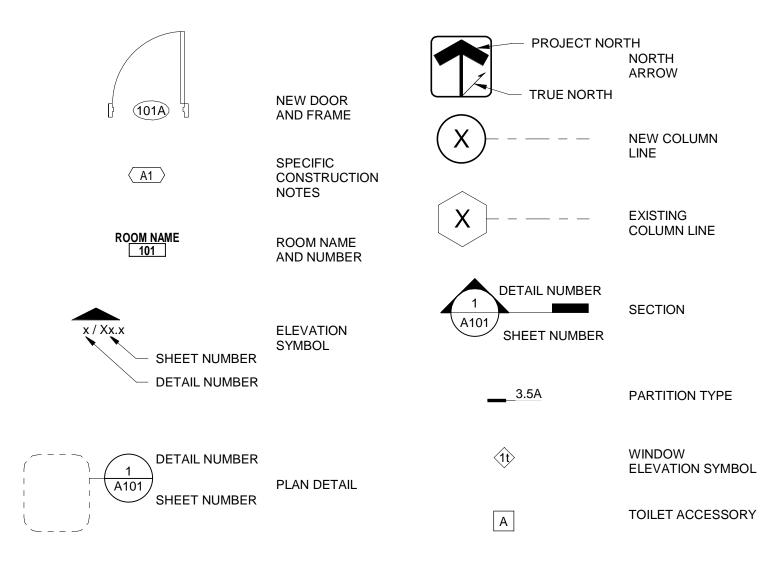




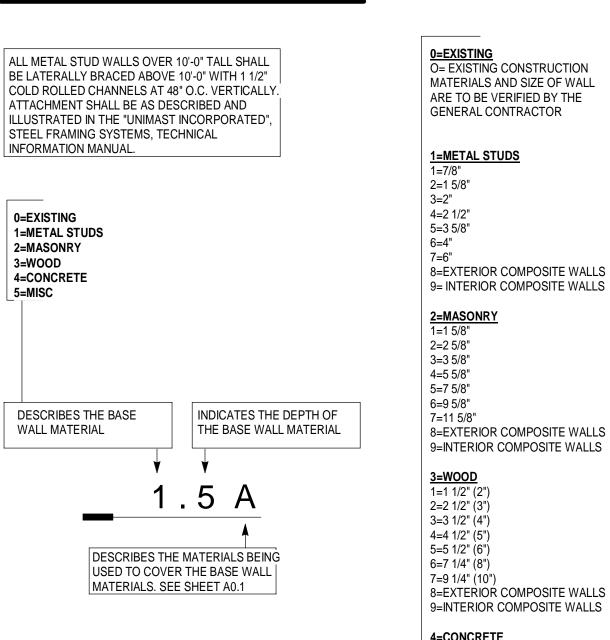
Toilet Accessories Mounting Heights



Graphic Symbols



Partition Standards

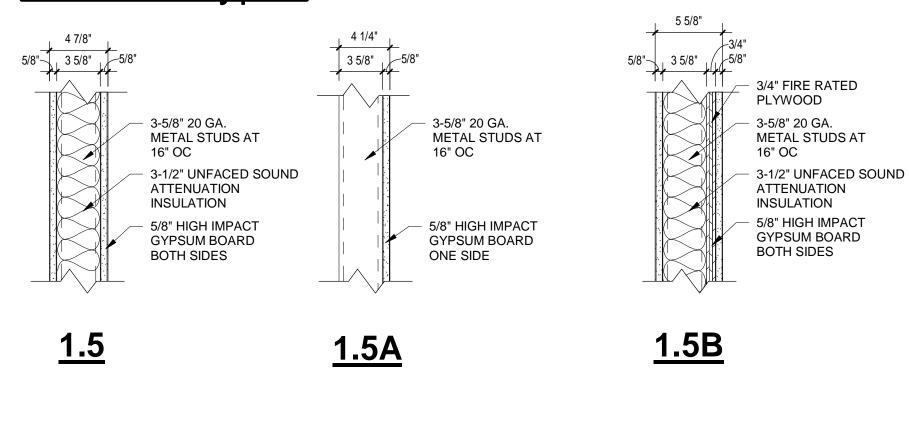


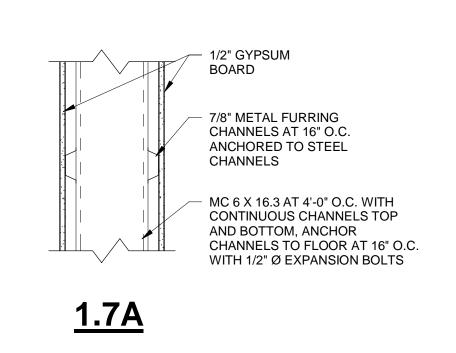
3=8"

8=EXTERIOR COMPOSITE WALLS 9=INTERIOR COMPOSITE WALLS

<u>5=MISC</u> 1=PRE-ENGINEERED BUILDING

Partition Types





CONTRACTOR TO MEET OR EXCEED EXISTING FIRE RATING OF ADJACENT WALLS

General Demolition Notes

THESE NOTES SHALL APPLY TO ALL DEMOLITION DRAWINGS AND TO ALL CONTRACTORS AND/OR SUBCONTRACTORS THAT WORK ON THIS PROJECT.

- 1. CONTRACTORS SHALL BE RESPONSIBLE FOR VISITING THE SITE TO BECOME FAMILIAR WITH AND VERIFY THE EXISTING CONDITIONS. THESE DEMOLITION DRAWINGS SHALL SERVE TO AID THE CONTRACTOR IN HIS EVALUATION OF THE EXTENT OF DEMOLITION; BUT SHALL NOT BE HELD
- TO BE ALL INCLUSIVE. 2. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL DEMOLITION REQUIRED FOR THE INSTALLATION OF NEW CONSTRUCTION AND AS NECESSARY TO FULFILL THE PURPOSE AND INTENT OF THE FINISHED WORK, WHETHER OR NOT IT IS SPECIFICALLY SHOWN OR NOTED IN THESE DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ITEMS CALLED TO BE REMOVED THROUGH OUT THE ENTIRE SET OF
- 3. CONTRACTORS SHALL FIELD INSPECT ALL DEMOLITION WORK PRIOR TO REMOVAL, TO INSURE SUCH REMOVAL DOES NOT IMPAIR STRUCTURAL INTEGRITY OF THE EXISTING BUILDING. IF THE INSPECTION INDICATES THAT THE STRUCTURAL INTEGRITY MAY BE IMPAIRED, NOTIFY THE
- 4. REMOVE ALL DAMAGED OR EXISTING FINISH MATERIALS FROM REMAINING WALLS, PARTITIONS AND COLUMNS (GYPSUM BOARD, WALL FABRIC, PANELING, TILE, MASONRY, CONCRETE, ETC...). PATCH WALLS AND COLUMNS AS REQUIRED TO RECEIVE NEW FINISH MATERIALS. 5. CONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING, INSTALLING

ARCHITECT/ENGINEER IMMEDIATELY.

TO ALL AREAS WITHIN THE CONSTRUCTION LIMIT LINES, DURING THE CONSTRUCTION PROCESS. LOCATIONS SHALL BE COORDINATED WITH THE OWNER AND ARCHITECT. 6. ALL CONSTRUCTION AREAS, REMOVAL TRAFFIC PATTERN AREAS AND

AND MAINTAINING DUST TIGHT TEMPORARY CONSTRUCTION BARRIERS

- ASSOCIATED WORK AREAS SHALL BE KEPT CLEAN OF DEBRIS BY THE CONTRACTORS DAILY.
- 7. PROTECT FROM DEMOLITION AND RECONSTRUCTION DEBRIS, ALL "EXISTING TO REMAIN" FIXTURES AND EQUIPMENT REQUIRED TO
- REMAIN IN PLACE DURING CONSTRUCTION. 8. REFER TO REMAINING DRAWINGS FOR RECONSTRUCTION. ALL CONTRACTORS SHALL COORDINATE THE DEMOLITION AND RECONSTRUCTION WORK, TO BE ASSURED THAT THEIR WORK IS COMPLIMENTARY TO THE WORK OF ALL OTHER CONTRACTORS AND
- COMPLETE IN ALL RESPECTS. 9. UNLESS NOTED OTHERWISE ALL DEMOLITION MATERIAL BECOMES THE PROPERTY OF THE CONTRACTORS AND IS TO BE REMOVED FROM THE PROPERTY, IN A LEGAL MANNER. THE OWNER RESERVES THE RIGHT AND SHALL BE GIVEN THE OPPORTUNITY TO CLAIM ITEMS WHETHER OR NOT THOSE ITEMS WERE SPECIFICALLY NOTED FOR REMOVAL, RELOCATION, OR AS RETURNED TO OWNER AND SAME SHALL BE RETURNED TO OWNER.
- 10. THE CONTRACTOR RESPONSIBLE FOR GENERAL DEMOLITION WORK SHALL COORDINATE ANY AND ALL ASBESTOS REMOVAL WITH THE OWNER. ALL ASBESTOS REMOVAL WILL BE PREFORMED BY A LICENSED ASBESTOS REMOVAL CONTRACTOR. THIS TYPICALLY INCLUDES FLOOR TILE, TILE MASTIC AND PIPE INSULATION. 11. ITEMS SHOWN IN LIGHTER PEN WEIGHTS ARE EXISTING TO REMAIN.
- 12. GENERAL CONTRACTOR RESPONSIBLE FOR PATCHING ALL REMOVED ELECTRICAL OUTLETS. ELECTRICAL CONTRACTOR TO PROVIDE GENERAL CONTRACTOR WITH QUANTITIES. 13. REMOVE EXISTING FINISHES AS REQUIRED TO INSTALL NEW FINISHES.
- PREPARE SURFACES TO RECEIVE NEW FINISH AS PER FINISH MANUFACTURER'S PRINTED INSTRUCTIONS, SEE FINISH SCHEDULE FOR NEW FINISHES. 14. REMOVE EXISTING CEILINGS AND CEILING SUPPORT SYSTEM WHERE
- NEW CEILINGS ARE INDICATED, UNLESS OTHERWISE NOTED. = = = = INDICATES EXISTING WALL TO BE REMOVED IN ITS ENTIRETY.

OTHER AREAS.

General Reconstruction Notes

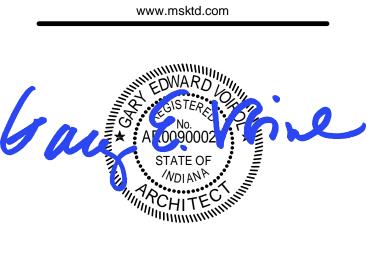
INDICATES EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE TO BE REMOVED IN ITS ENTIRETY. SEE DOOR SCHEDULE FOR ITEMS TO BE SALVAGED AND REUSED IN

THESE NOTES APPLY TO ALL FLOOR PLANS. AND TO ALL CONTRACTORS AND/OR SUBCONTRACTORS THAT WORK ON THIS PROJECT.

- I. OWNER WILL REMOVE ALL FURNISHINGS, LOOSE EQUIPMENT, SUPPLIES, ETC.... PRIOR TO CONSTRUCTION COMMENCING. 2. ALL EQUIPMENT AND MATERIALS LABELED AS "SALVAGE" OR "RELOCATE AS DIRECTED BY OWNER" SHALL BE REMOVED, PROPERLY PROTECTED AND TRANSPORTED TO A LOCATION ON THE PREMISES AS DIRECTED BY
- 3. ALL GENERAL CONTRACTORS AND THEIR SUBCONTRACTORS SHALL BE RESPONSIBLE FOR VISITING THE CONSTRUCTION SITE TO BECOME FAMILIAR WITH ALL EXISTING CONDITIONS WHICH AFFECT THAT SPECIFIC
- PORTION OF THEIR WORK. ANY CONFLICTS OR APPARENT DEFICIENCIES MUST BE SUBMITTED TO THE ARCHITECT IN WRITING PRIOR TO BIDDING. 4. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INFORMING IN WRITING THE OWNER ON A WEEKLY BASIS OF THE CONSTRUCTION SCHEDULE FOR THE APPROACHING TWO WEEKS CONSTRUCTION ACTIVITY. ANY STORAGE OF MATERIALS, ACCESS OR EGRESS PROBLEMS, TRAFFIC FLOW OR NORMAL OWNER OPERATIONS WHICH ARE TO BE AFFECTED MUST BE PROTECTED AND/OR AGREED UPON BY THE OWNER. ALL COSTS SHALL BE INCURRED BY THE GENERAL
- 5. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY WOOD BLOCKING FOR ALL TRADES. THIS BLOCKING SHALL BE FIRE RETARDANT.
- 6. ANY PLASTER WORK REQUIRING NEW FINISH SHALL BE SMOOTH, SOUND AND IN A FLUSH PLANE BEFORE FINISH APPLICATION. CONTRACTOR
- SHALL REPAIR THE SURFACE FOR THE NEW FINISH AS SCHEDULED. 7. ALL FIRE RATED WALLS AND FLOOR PENETRATIONS MUST COMPLY WITH 8. ITEMS SHOWN IN LIGHTER PEN WEIGHT ARE EXISTING TO REMAIN.
- 9. REMOVE ALL DAMAGED GYPSUM BOARD, MASONRY, CONCRETE, PLASTER, ETC... FROM EXISTING SURFACES AND REPAIR TO MATCH ADJACENT CONSTRUCTION PRIOR TO REFINISHING. ALL SURFACES SHALL BE SMOOTH AND IN A FLUSH PLANE.
- 10. ALL CONSTRUCTION AREAS, REMOVAL TRAFFIC PATTERN AREAS AND ASSOCIATED WORK AREAS SHALL BE KEPT CLEAN OF DEBRIS BY THE CONTRACTORS DAILY.
- 11. PROTECT FROM DEMOLITION AND RECONSTRUCTION DEBRIS, ALL "EXISTING TO REMAIN" FIXTURES AND EQUIPMENT REQUIRED TO REMAIN IN PLACE DURING CONSTRUCTION. 12. REFER TO REMAINING DRAWINGS FOR RECONSTRUCTION. ALL
- CONTRACTORS SHALL COORDINATE THE DEMOLITION AND RECONSTRUCTION WORK, TO BE ASSURED THAT WORK IN EITHER OF THESE AREAS IS COMPLEMENTARY TO THE OTHER AND COMPLETE IN
- ALL RESPECTS. ANY CONFLICTS OR APPARENT DEFICIENCIES MUST BE SUBMITTED TO THE ARCHITECT IN WRITING PRIOR TO BIDDING. 13. ALL WALL HUNG CASEWORK REQUIRES CONTINUOUS HORIZONTAL WOOD BLOCKING BETWEEN STUDS AT TOP AND BOTTOM OF CASEWORK.
- BRACE WALL TO DECK AS REQUIRED. 14. ALL DIMENSIONS ARE FROM FACE OF BASE MATERIAL (STUD/CMU) TO FACE OF BASE MATERIAL (STUD/CMU) UNLESS NOTED OTHERWISE.
- 15. PORTIONS OF THE BUILDING SHALL BE OCCUPIED DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL FOLLOW THE FOLLOWING LIFE SAFETY ISSUES. FAILURE TO LIST ALL LIFE SAFETY ISSUES DOES NOT RELIEVE THE CONTRACTORS FROM COMPLYING WITH FEDERAL, STATE AND LOCAL CODES, THE CONTRACTUAL AGREEMENT BETWEEN THE CONTRACTOR AND OWNER, AND OTHER GOVERNING BODIES WHICH HAVE JURISDICTION ON THIS PROJECT. THE FOLLOWING ARE INTERIM LIFE SAFETY CODE ISSUES WHICH ARE SPECIFIC TO THIS
- PROJECT AND MUST BE ADDRESSED: a. INSURE ALL EXITS PROVIDE FREE AND UNOBSTRUCTED EGRESS. STAFF AND PERSONNEL SHALL RECEIVE TRAINING AND WRITTEN NOTIFICATION IF ALTERNATIVE EXITS MUST BE DESIGNATED. b. INSURE FREE AND UNOBSTRUCTED ACCESS TO EMERGENCY
- DEPARTMENTS OR SERVICES FOR EMERGENCY FORCES. COORDINATE WITH OWNER AND ARCHITECT. INSURE FIRE ALARM. DETECTION AND SUPPRESSION SYSTEMS ARE NOT IMPAIRED. A TEMPORARY, BUT EQUIVALENT, SYSTEM SHALL BE PROVIDED, INSTALLED AND TESTED PRIOR TO ANY
- EXISTING FIRE SYSTEM BEING IMPAIRED. d. INSURE TEMPORARY CONSTRUCTION PARTITIONS ARE SMOKE TIGHT AND BUILT OF NON COMBUSTIBLE MATERIALS. THESE PARTITIONS SHALL BE COORDINATED WITH THE OWNER AND ARCHITECT.
- SMOKING SHALL BE PROHIBITED. DEVELOP AND ENFORCE STORAGE, HOUSEKEEPING AND DEBRIS REMOVAL PROCEDURES THAT REDUCE THE FLAMMABLE AND COMBUSTIBLE FIRE LOAD TO THE LOWEST LEVEL NECESSARY FOR DAILY OPERATIONS.
- a. IOSHA REQUIRES MATERIAL SAFETY DATA SHEETS (MSDS) FOR ALL MATERIALS BEING USED OR STORED ON THIS PROJECT BE MADE AVAILABLE TO ALL WORKERS ON THIS JOBSITE. COPIES MUST BE PROVIDED TO THE OWNER'S DIRECTOR OF SECURITY, IMMEDIATELY, AS WORK BEGINS.
- h. SECURE ALL TOOLS AND CONSTRUCTION MATERIALS DURING BREAKS AND NON-CONSTRUCTION HOURS.



Architecture | Engineering | Interior Design 1715 Magnavox Way 930 North Meridian Fort Wayne, IN 46804 Indianapolis, IN 46204 260.432.9337 317.917.1190



PROJECT NO. 10-05-18

SET DESCRIPTION **Construction Set**

SHEET TITLE **General Information**

SHEET NUMBER