

**UNION COUNTY PUBLIC LIBRARY
LIBRARY RENOVATIONS AND ADDITION**

LWC Commission No. 22110.00

**ADDENDUM #03
NOVEMBER 27, 2023**

LWC, Inc.
712 EAST MAIN ST
RICHMOND, IN 47374

To Prospective Bidders:

This addendum is a modification of the Contract Documents for the above referenced project and is hereby incorporated into and becomes a part of said Contract Documents. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification. It is to be considered in the Proposals and covers additions to or changes in the Contract Documents as indicated below.

This addendum consists of the following:

General Items:

- 2nd Site Tour scheduled for **November 28, 2023 at 9:00 AM**

Attachments:

- **General:**
 - Pre-Bid Sign-in Sheet
 - RFI LOG – Addendum #03

- **Specifications:**
 - NONE

- **Drawings:**
 - A504 – WALL SECTIONS & DETAILS
 - A506 – WALL SECTIONS & DETAILS
 - A507 – WALL SECTIONS & DETAILS
 - A603 – INTERIOR ELEVATIONS – BASE BID
 - A604 – INTERIOR ELEVATIONS – ALTERNATES
 - ID101 – LOWER LEVEL – FLOOR FINISH PLAN
 - ID102 – UPPER LEVEL – FLOOR FINISH PLAN
 - ID201 – LOWER LEVEL – WALL FINISH PLAN
 - ID202 – UPPER LEVEL – WALL FINISH PLAN

DRAWINGS

ITEM NO.1 – A504 – Wall Sections & details

- Added notes on details 3 & 4

ITEM NO.2 – A506 – Wall Sections & details

- Added notes on detail 11

ITEM NO.3 – A507 – Wall Sections & details

- Added notes on detail 4

ITEM NO.4 – A603 – Interior Elevations – Base Bid

- Added notes on detail 1, 2, & 3

ITEM NO.5 – A604 – Interior Elevations – Alternates

- Added notes on detail 1, 2, & 3

ITEM NO.6 – ID101 – Lower Level – Floor Finish Plan

- Revised Sheet

ITEM NO.7 – ID102 – Upper Level – Floor Finish Plan

- Revised Sheet

ITEM NO.8 – ID201 – Lower Level – Wall Finish Plan

- Revised Sheet

ITEM NO.9 – ID202 – Lower Level – Wall Finish Plan
Revised Sheet

PRE-BID MEETING

Union County Public Library
Addition and Renovations
November 24, 2023, at 9:00 AM

1) Introductions / Registration sheet

Todd Soprych, LWC

Kevin McCurdy, LWC

Julie Jolliff, UCPL

Jeremiah Waltz, Thor Construction

Brian Fennig, Freije Eng. Solutions

Bill Brewer, Pool Group Inc.

TJ Bane, DB Plumbing

Dale Brooks, DB Plumbing

Steve Shute, Smarrelli

Paul Wibar, Wallace Heating & Air

Mikel Talbot, Protek Corp.

Brad Culy, Culy Contracting

2) Project Description

- The addition and renovation work consists of a 14,000 SF, two story addition
- Renovations to 13,400 SF of the existing building.

- New addition is a steel framed structure on conventional spread footings. The exterior envelope is masonry construction with brick and stone veneer with metal clad wood windows.
 - Interior construction is metal stud and gypsum board walls and consists of new office, storage, restrooms, and a multipurpose community room on the first floor.
 - The second floor houses the main entry, lobby stairway and meeting rooms as well as an Alternate bid running track over the multipurpose room.
 - Renovation work includes new partition walls, doors and finishes generally identified in three Alternate Bid scopes of work identified on the plans.
 - Site work consists of demolition and grading to the three-quarter acre site. New work includes asphalt pavement, concrete walks, curbs, ramps and stairs. Civil work will include site drainage and other utilities, underground stormwater detention and site lighting.
- 3) Bids are due Friday, December 15, 2023, no later than 3:00 PM. Sealed bids will be received at 2 East Seminary Street, Liberty IN 47353. Address bids to the attention of Julie Jolliff, Director.
- 4) Addendums Issued to date = 2
- At least one additional addendum to be issued.
 - a. Notes from today
 - b. Clarifications as needed.
 - Last day for addenda is December 13, 2023
 - a. All questions must be submitted by December 13, 2023.
- 5) Documents available from the following locations. Contractors may arrange for printed “hard copies” with the printer of their choice, at Contractor’s expense:
- LWC’s FTP. For access, contact Sherry Jeffers by email at sjeffers@lwcinspires.com
- 6) Single Prime General Contract
- 7) Prevailing wage rates **do not** apply.
- 8) Owner is tax exempt.
- 9) Bidding and questions:
- All questions must be submitted in writing to LWC, Inc. via email. No verbal answers will be given. Submit question to Todd Soprych: Tso Prych@lwcinspires.com
 - Additional site visits must be scheduled in advance with the Owner. No exceptions will be made.
- 10) General Project schedule:
- Pre-bid Meeting: November 24, 2023, at 9:00 AM

- Last Day for Bidder Questions: December 13, 2023
- Date of Last Addendum: December 13, 2023
- Bids Due: December 15, 2023, at 3:00 PM.
- Anticipated Contract Award: January 09, 2024
- Issue Notice to Proceed: January 15, 2024
- Construction Start: February 01, 2024
- Substantial Completion Date: approximately August 2025.
- Punchlist Completed: 4 weeks after Substantial Completion Date

11) Allowances

- Allowance No. 1: Finish Cost Allowance – Elevator Cab Finishes: For the use of the Owner during construction to select interior cab finishes for the elevator modifications work.
- Allowance No. 2: Quantity Allowance – Engineered Fill – 50 Cu Yds.
- Allowance No. 3: Quantity Allowance Structural Steel – 1 Ton.
- Allowance No. 4: Quantity Allowance Miscellaneous Steel – 1 Ton.
- Allowance No. 5: Quantity Allowance – Ductwork – 500 Lbs.

12) Unit Prices

- Unit Price No. 1 - Engineered Fill for Unsuitable Soils.
- Unit Price No. 2 - Flowable Fill for Unsuitable Soils.
- Unit Price No. 3 - Supplemental Structural Steel.
- Unit Price No. 4 - Supplemental Miscellaneous Steel.
- Unit Price No. 5 - Supplemental Ductwork.

13) Alternates

- Alternate #01 – Expand Community Room.
- Alternate #02 – West Parking Area.
- Alternate #03 – Upper Level Track.
- Alternate #04 – Upper Level Staff Area.

14) Special attention to the following:

- INDOT approvals need to be coordinated with sequencing.

- Under drainage of slab for the new addition
 - Area on the eastern side of property was known to have a potential underground spring.
 - Owner's vendors in specifications shall be coordinated with contractor. Vendor's scope shall be in General Contractors Bid.
 - Residence will be occupied during construction. Contractor to coordinate scopes items and sequencing with owner.
 - Existing Library will be unoccupied during construction. Temporary barriers, dust control, and protective measures shall be in place to protect existing areas.
 - The Carnegie portion of the existing library is part of the National Registry of Historic Places. All materials shall match based on approval.
 - Any FFE items shall be removed by owner.
- 15) Temporary facilities as specified.
- 16) Contractor shall ensure site security.
- 17) Coordinate all site activities with Owner to ensure Owner access.
- 18) Personal Protective Equipment requirements by Contractor.
- 19) Bi-weekly progress meetings as stipulated in the project manual.
- Contractor may utilize portion of site for meetings.
- 20) General questions?
- 21) Tour.

Q & A:

Q) Has a Brick Color been selected?

A) A brick color has **not** been selected as a match to the existing brick color. We are working with Richmond Building Supplies for this color match. As soon as a color has been selected we shall note it on sheet A301.

END OF ADDENDUM #03

Pre-Bid Meeting Sign-in Sheet
 Date and Local Time:

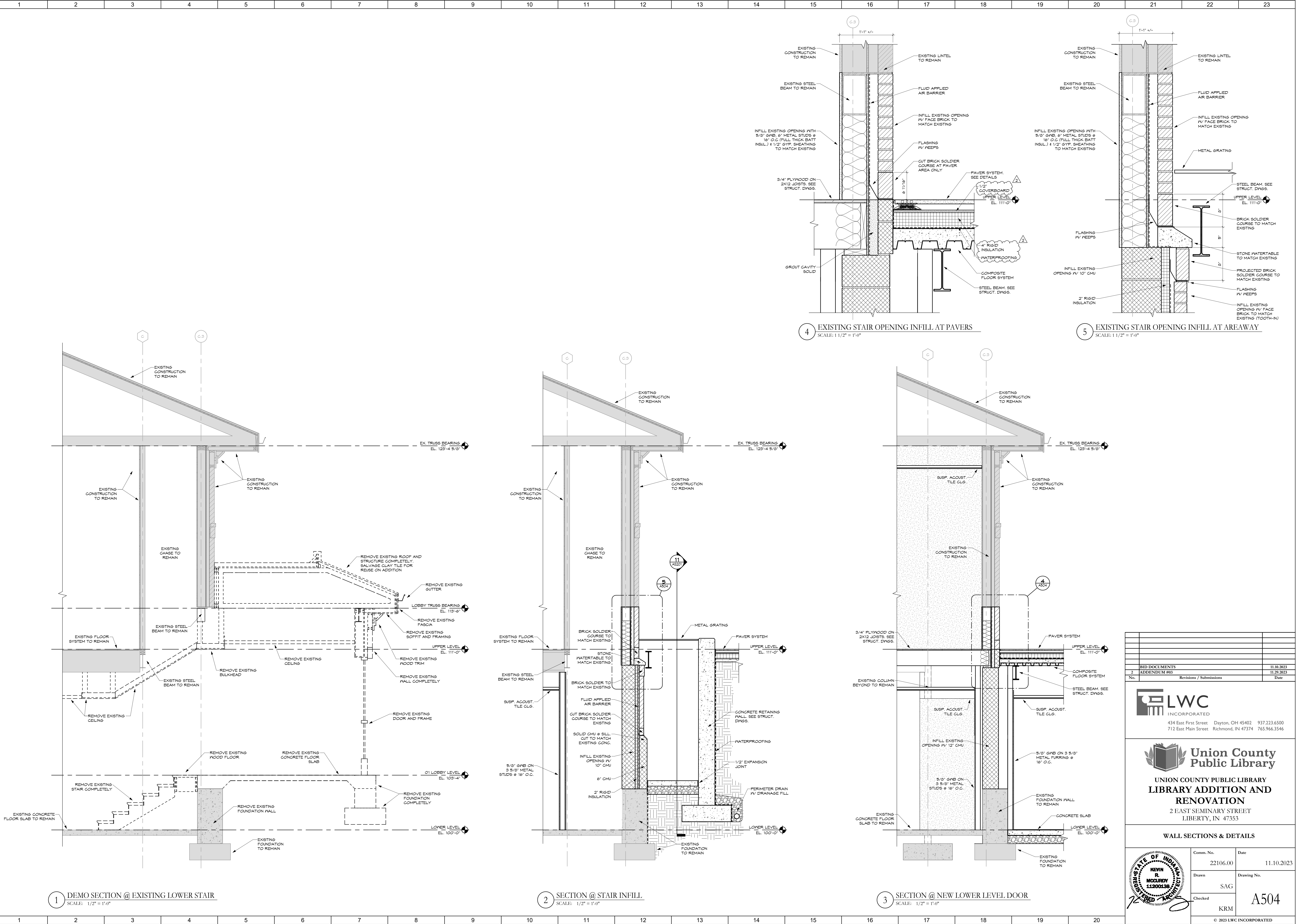
November 24, 2023, 9:00 AM

	PRINT NAME & TITLE	COMPANY	ADDRESS	TELEPHONE NOS.	E-MAIL ADDRESS
1	Kevin R. McCurdy, AIA	LWC, Inc.	712 East Main	ofc. 765-966-3546 fax cell 765-277-9738	kmccurdy@lwcinspires.com
2	Todd Soprych	LWC, Inc.	712 East Main	ofc. 765-966-3546 fax cell 912-308-3049	tsoprych@lwcinspires.com
3	Joe Stiller	Carroll Electric		ofc. 765 962 0508 fax cell	
4	Jeremiah Valtz	Thur	1111 NW T Street	ofc. fax cell	
5	Brian Fenning	Freije	7600 Pendleton Pike	ofc. fax cell 260 438 5350	bfenning@fes-co.com
6	Bill Brewer		3295 Farmers Retreat Rd Pillsboro In 47018	ofc. 812-654-4968 fax cell	JPaole@paolegroupinc.com
7	TJ Bane	DB Plumbing		ofc. 765.220.1676 fax cell	OFFICE@DBPLUMBINGIN.COM
8	Paul Wilson		Wallace Heating & Air 111 melody LN New Paris IN	ofc. 765-971-8270 fax cell	OFFICE1@WallaceHeatingJ.com
9	Steve Shute	Smarrelli GC	136 S 2ND Richmond In 47374	ofc. 905-962-1378 fax cell	STEVE@Smarrelli.com
10	BRAD CULY		7312 BAKER Road 1 HAGERSTOWN 47346	ofc. 765 969 5957 fax cell	BCULY@YAHOO.COM
11	Mikel Talbot	Protek Corp		ofc. 765-966-3473 fax cell	
12				ofc. fax cell	
13				ofc. fax cell	
14				ofc. fax cell	
15				ofc. fax	

DEC 1
3RD
SUNDAY
OFF-HOURS

Autodesk Docs://Union County Public Library/22106-00-LCPL - Addition & Renovation - (R22).nct

11/22/2023 10:46:20 AM



1 DEMO SECTION @ EXISTING LOWER STAIR
SCALE: 1/2" = 1'-0"

2 SECTION @ STAIR INFILL
SCALE: 1/2" = 1'-0"

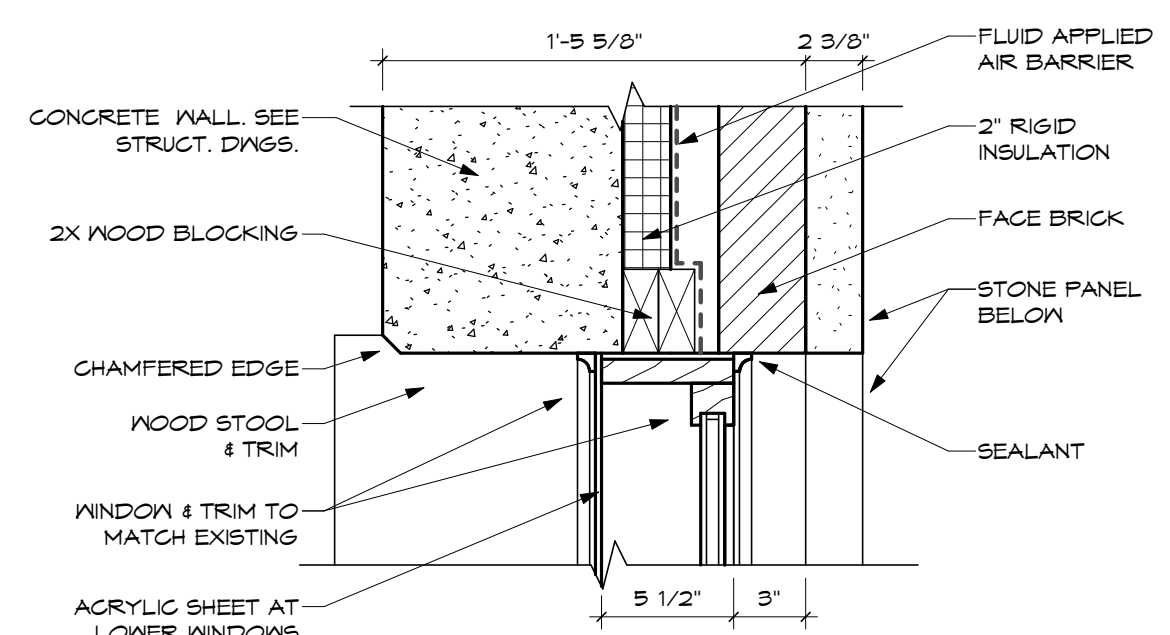
3 SECTION @ NEW LOWER LEVEL DOOR
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4 EXISTING STAIR OPENING INFILL AT PAVERS
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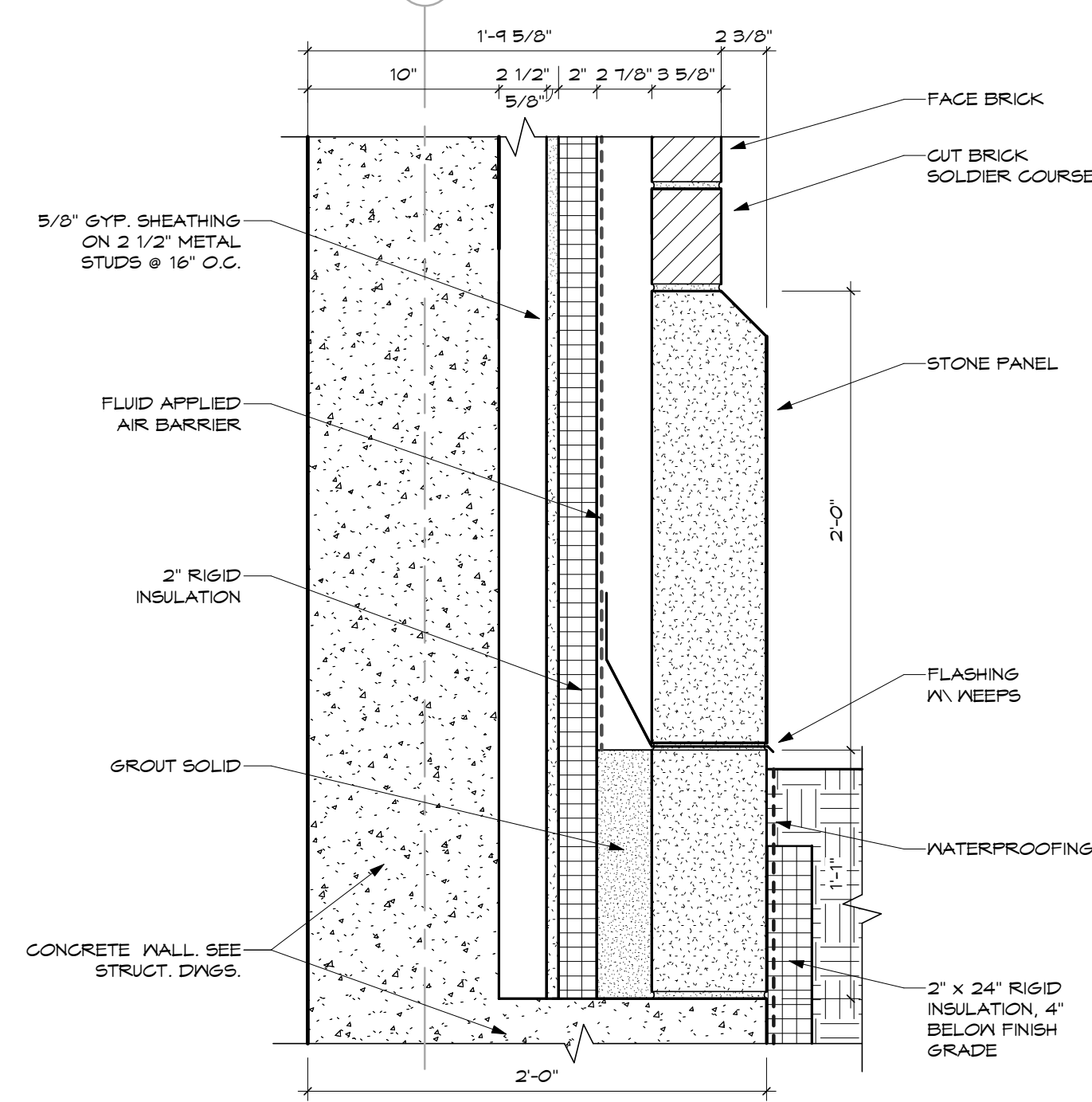
5 EXISTING STAIR OPENING INFILL AT AREAWAY
SCALE: 1 1/2" = 1'-0"

BID DOCUMENTS		11.10.2023
ADDENDUM #03		11.29.2023
No.	Revisions / Submissions	Date
<p>LWC INCORPORATED 434 East First Street Dayton, OH 45402 937.223.6500 712 East Main Street Richmond, IN 47374 765.966.3546</p>		
<p>UNION COUNTY PUBLIC LIBRARY LIBRARY ADDITION AND RENOVATION 2 EAST SEMINARY STREET LIBERTY, IN 47353</p>		
WALL SECTIONS & DETAILS		
Comm. No.	Date	
22106.00	11.10.2023	
Drawn	Drawing No.	
SAG	A504	
Checked		
KRM		
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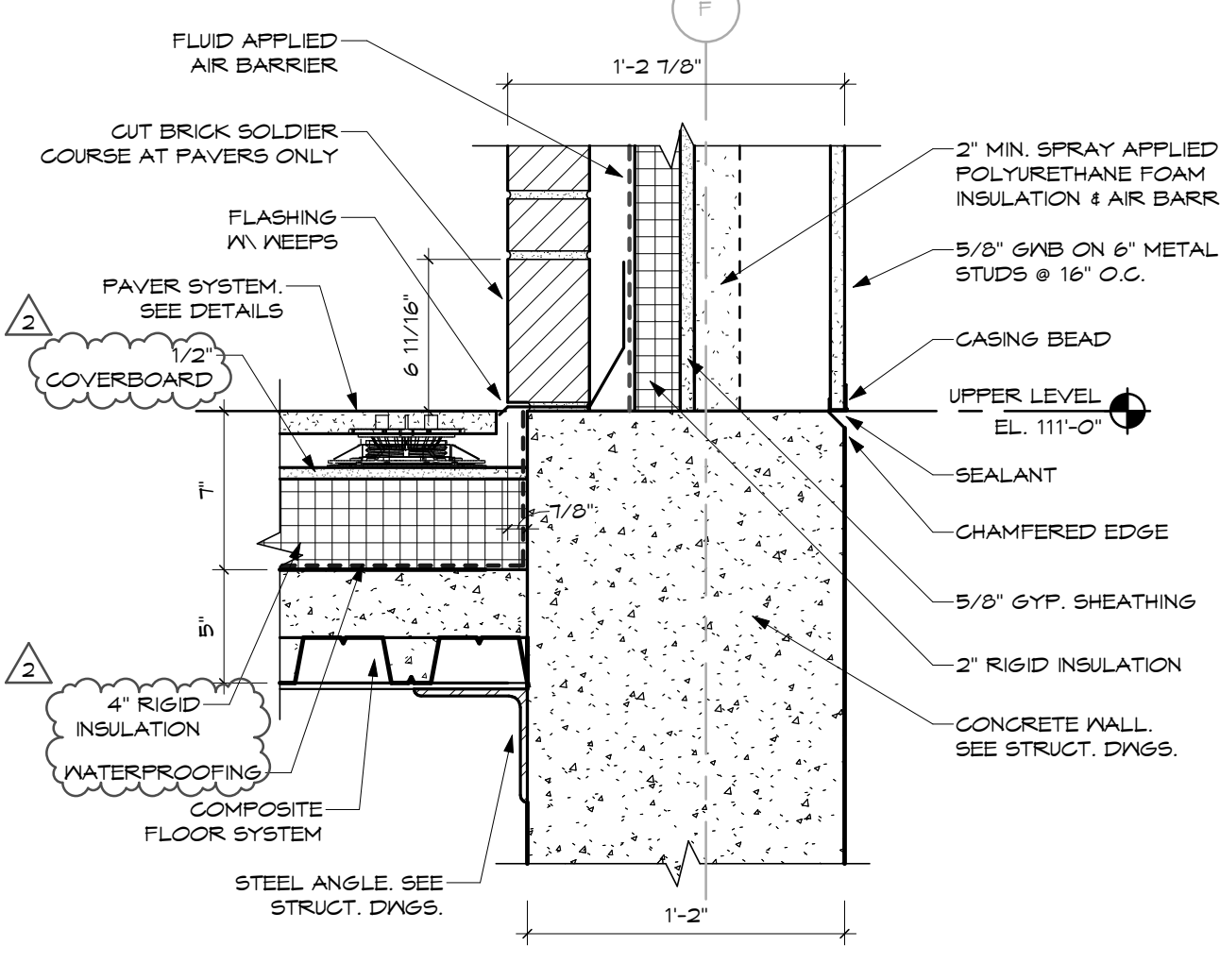
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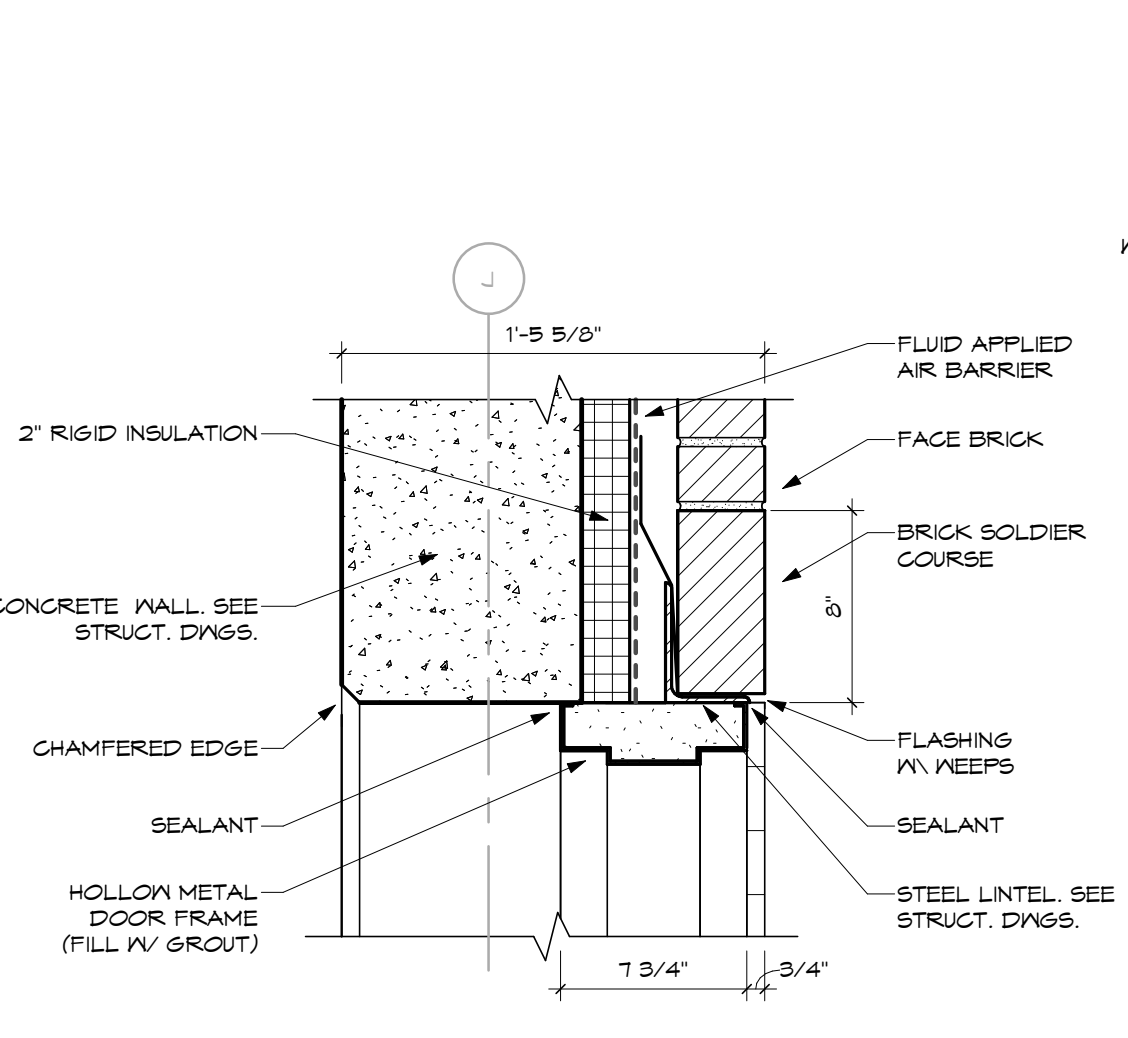
13 TYPICAL LOWER WINDOW JAMB
SCALE: 1 1/2" = 1'-0"



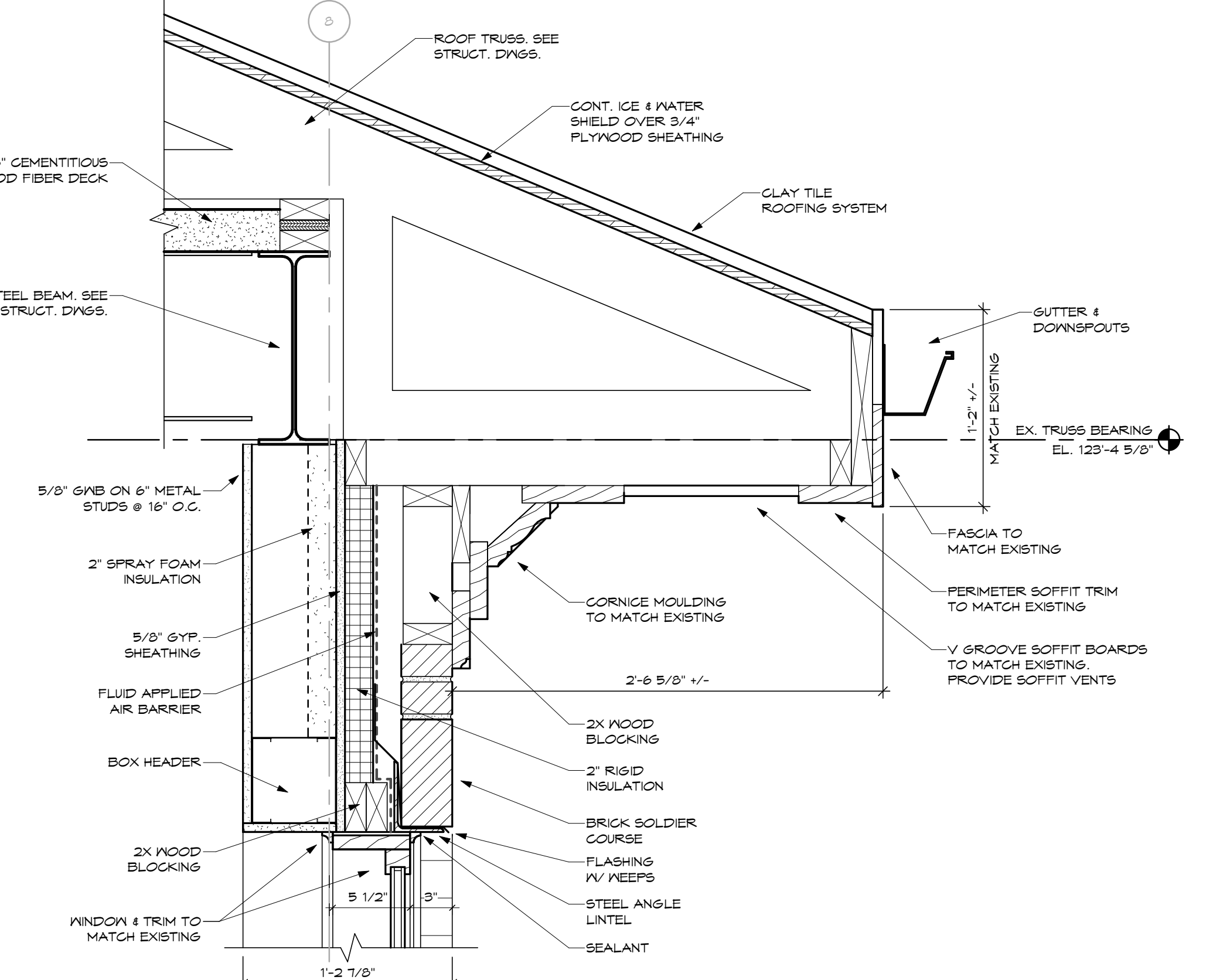
12 TYPICAL STONE PANEL @ PIER
SCALE: 1 1/2" = 1'-0"



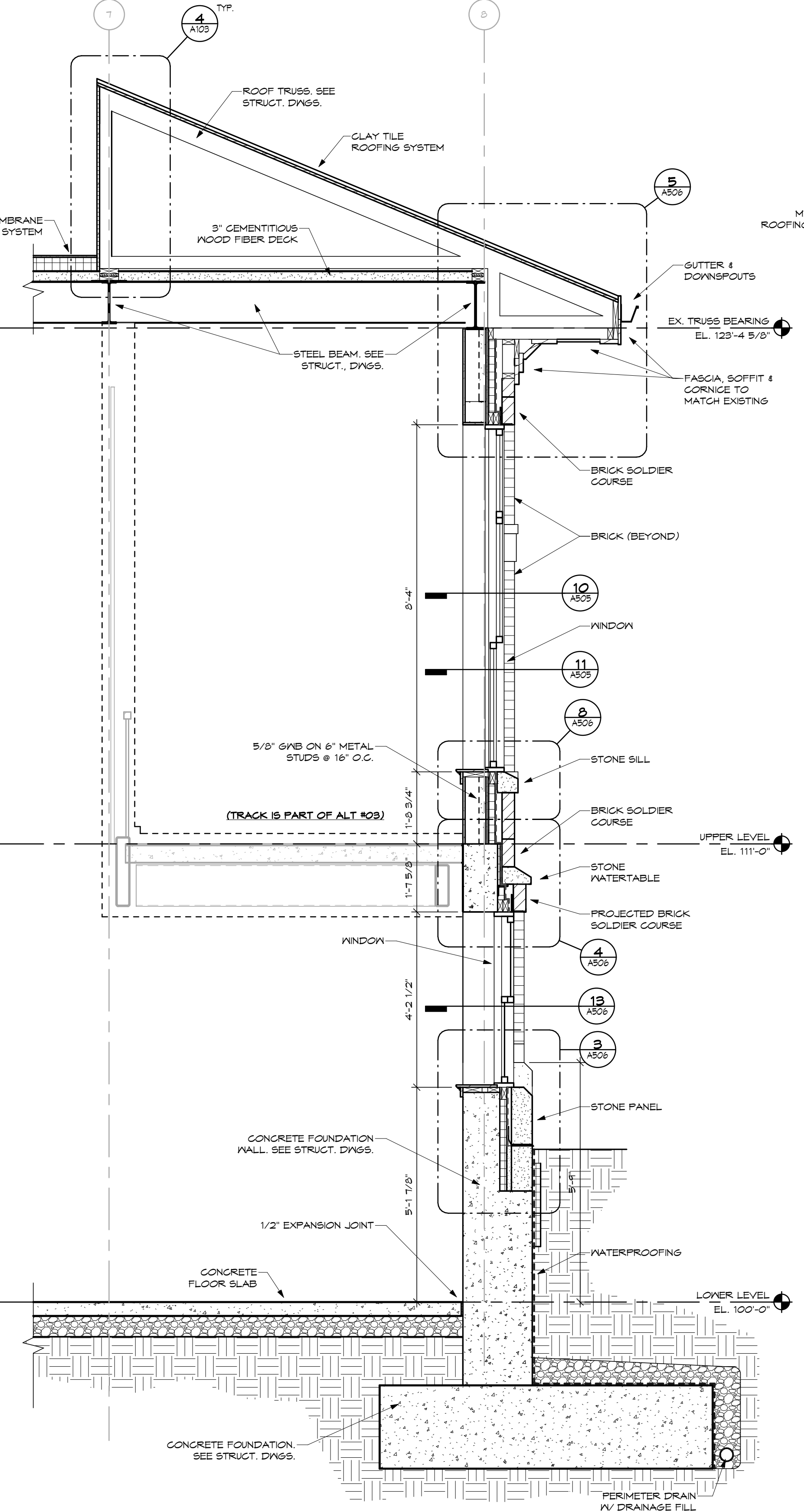
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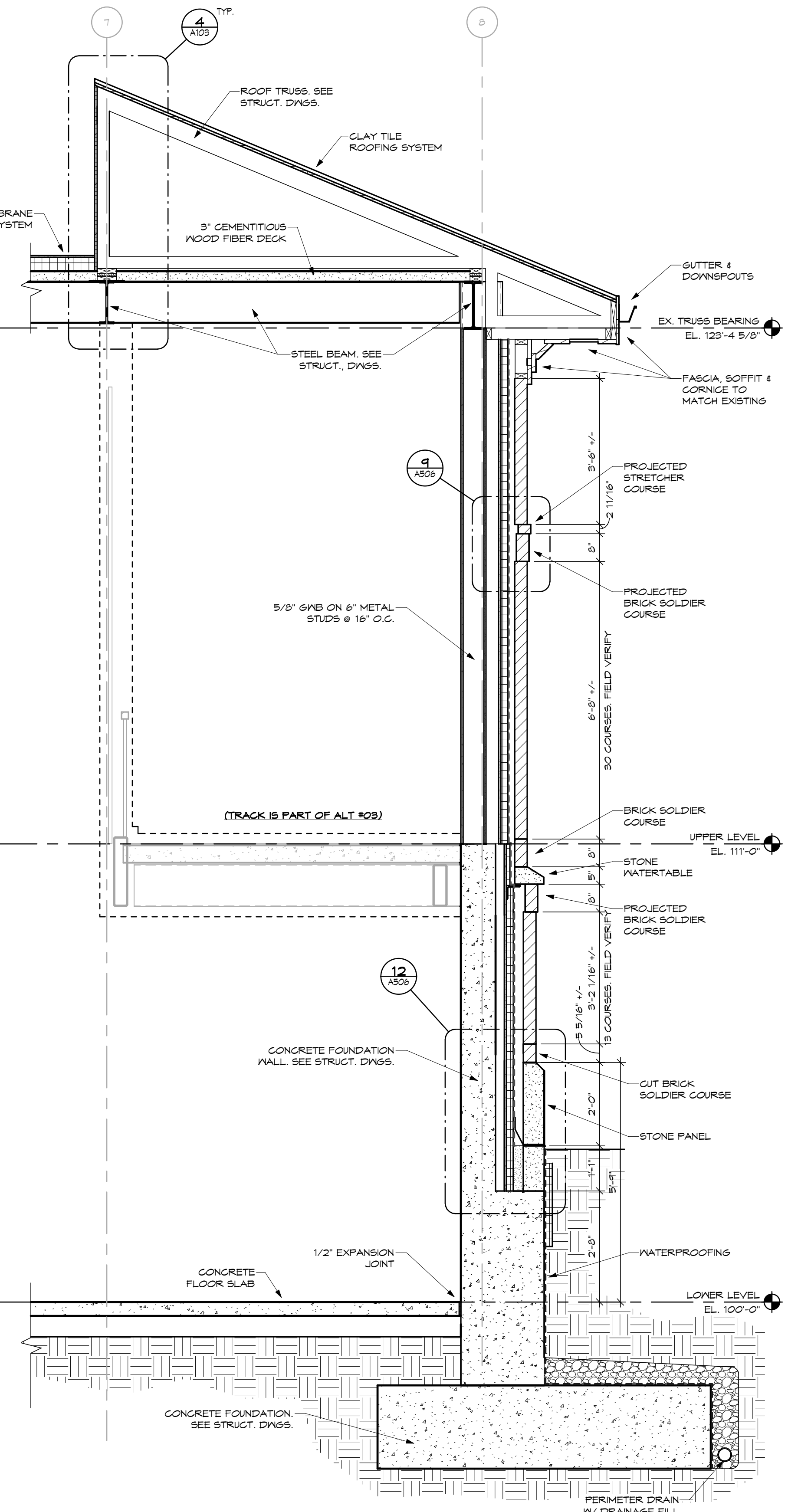
10 TYPICAL EXTERIOR DOOR HEAD
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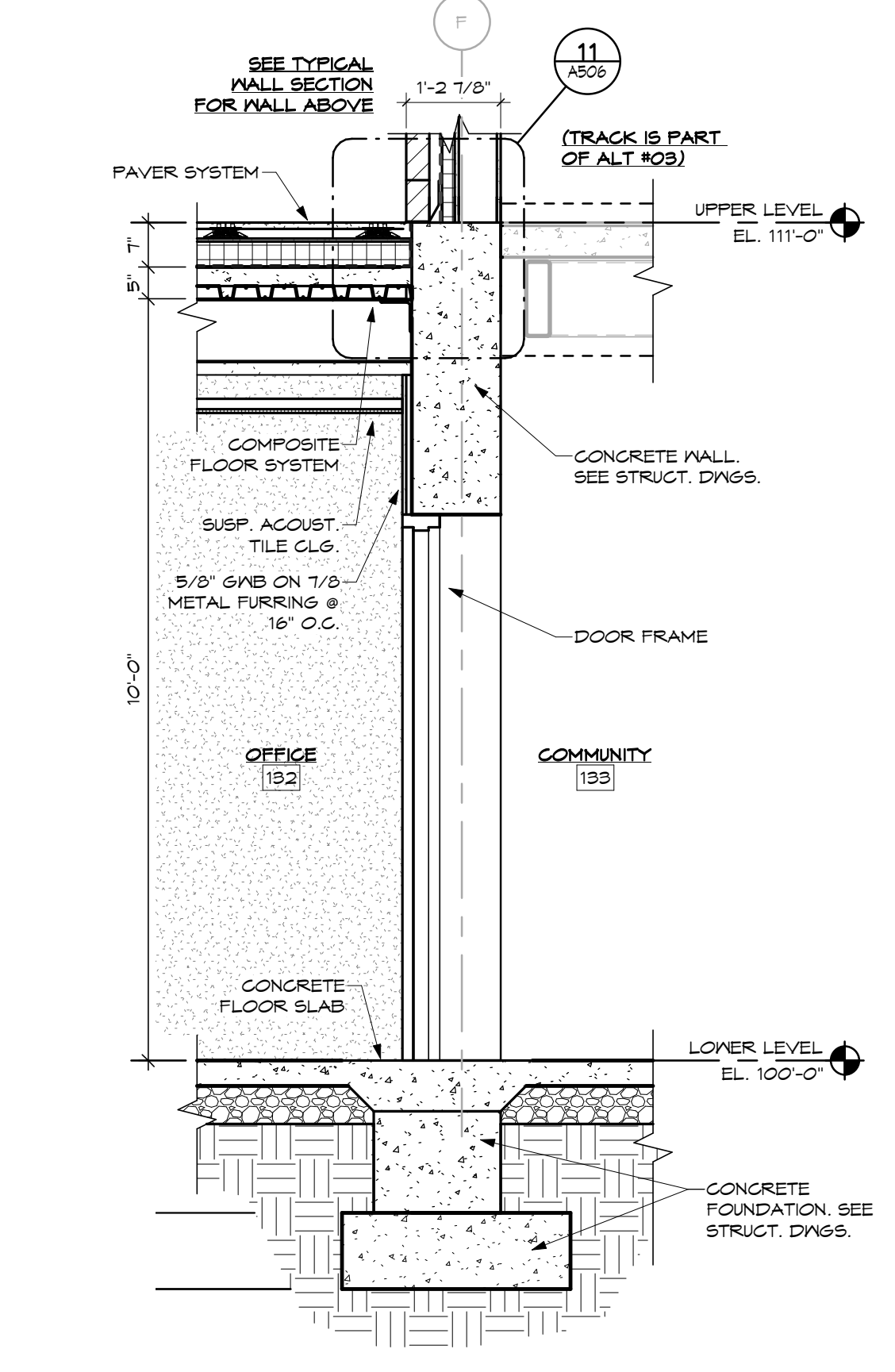
5 TYPICAL UPPER WINDOW HEAD, CORNICE, SOFFIT & FASCIA
SCALE: 1 1/2" = 1'-0"



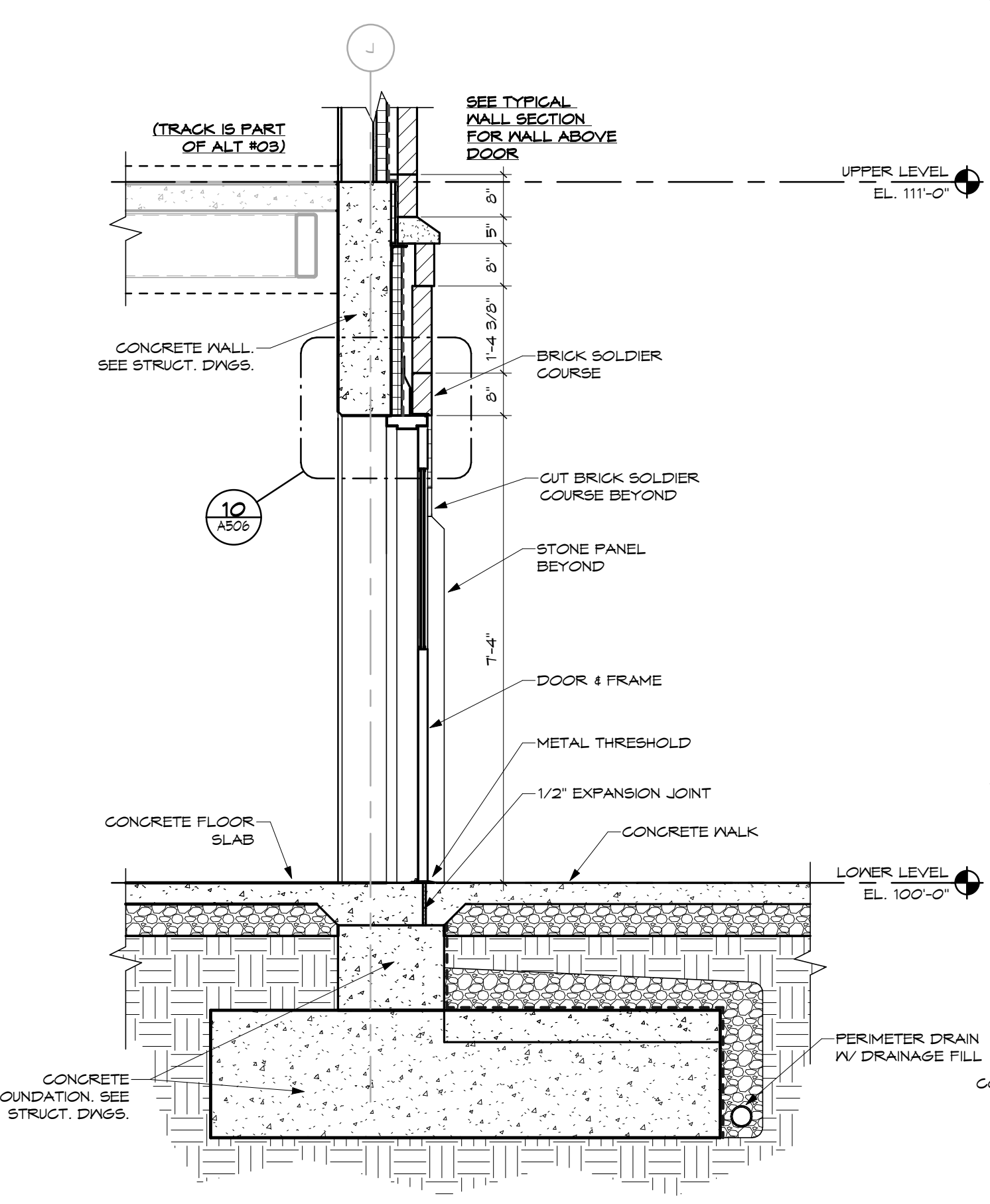
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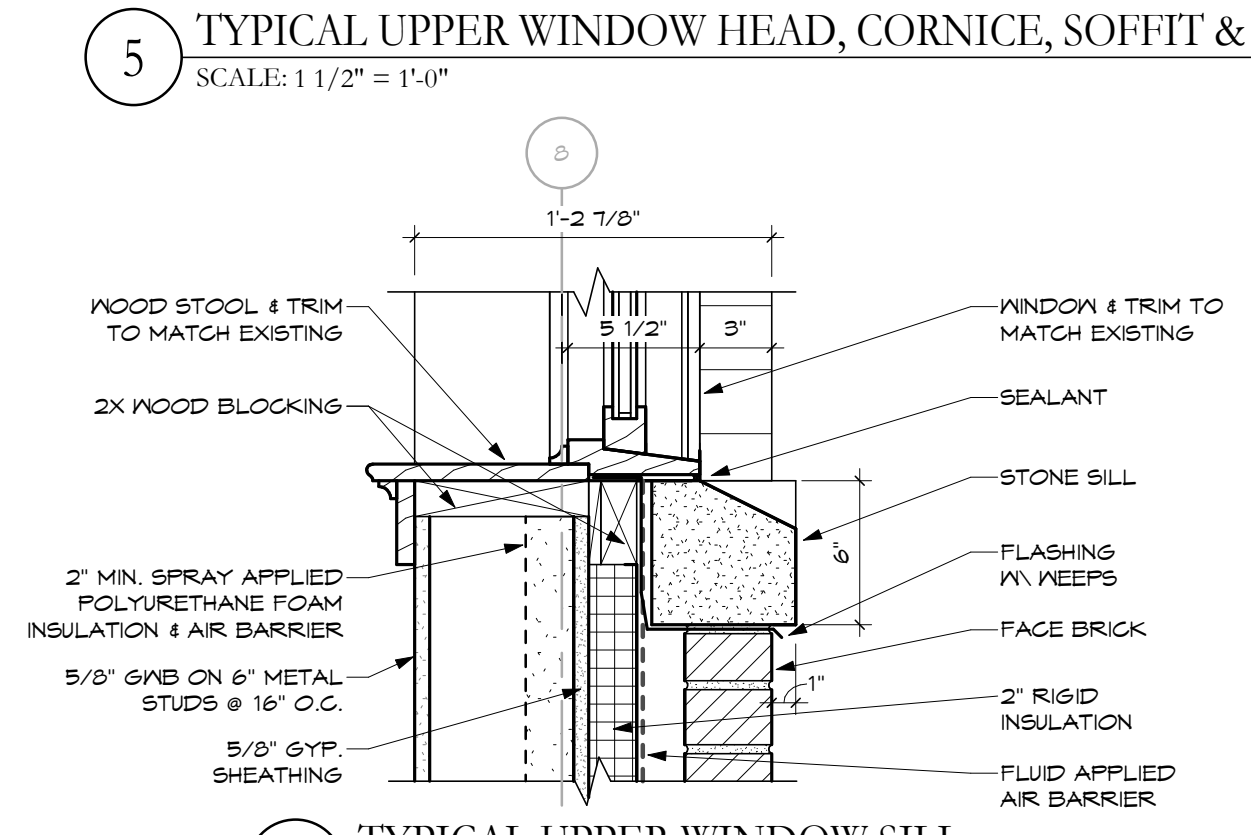
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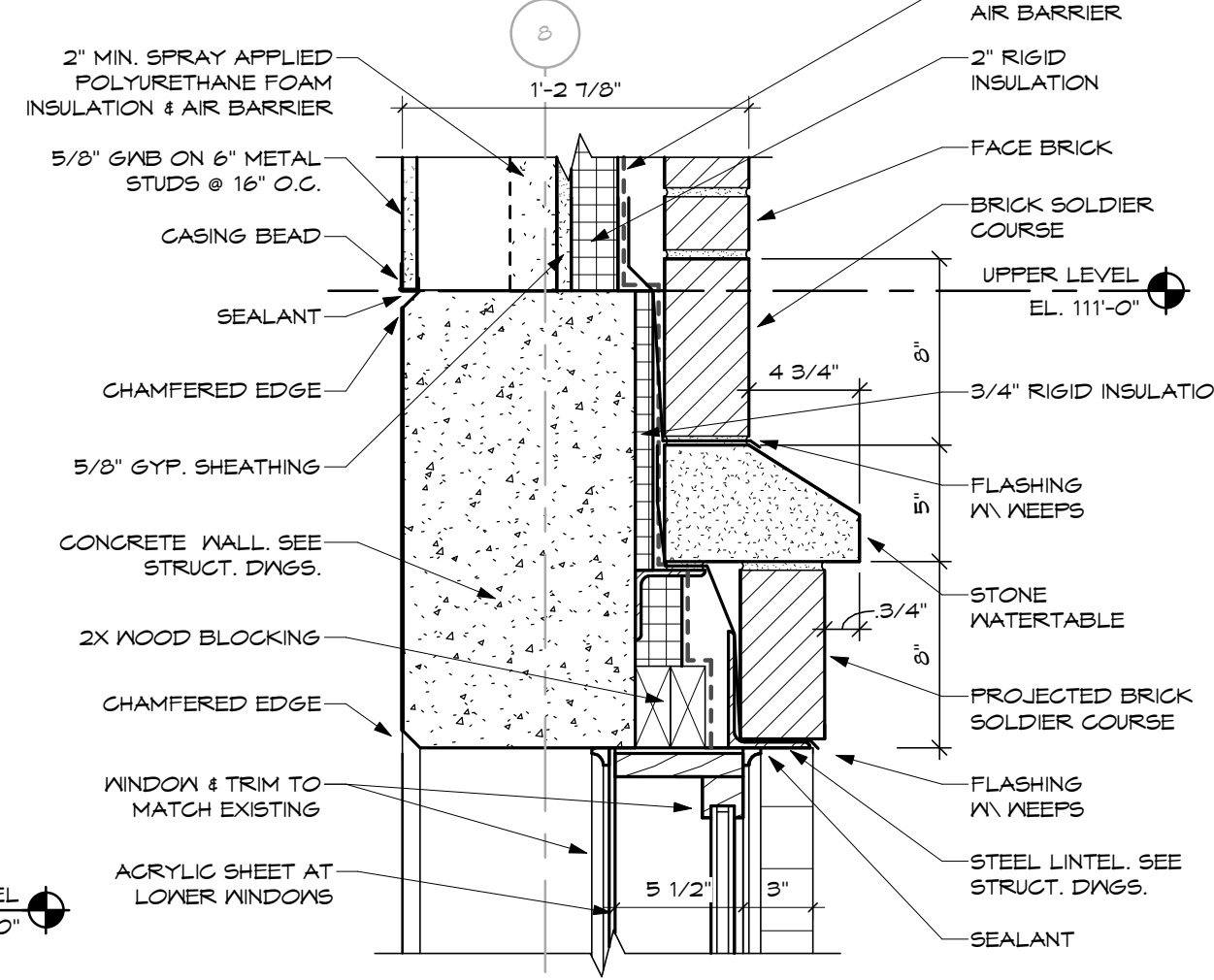
6 SECTION THRU COMMUNITY CENTER OFFICE
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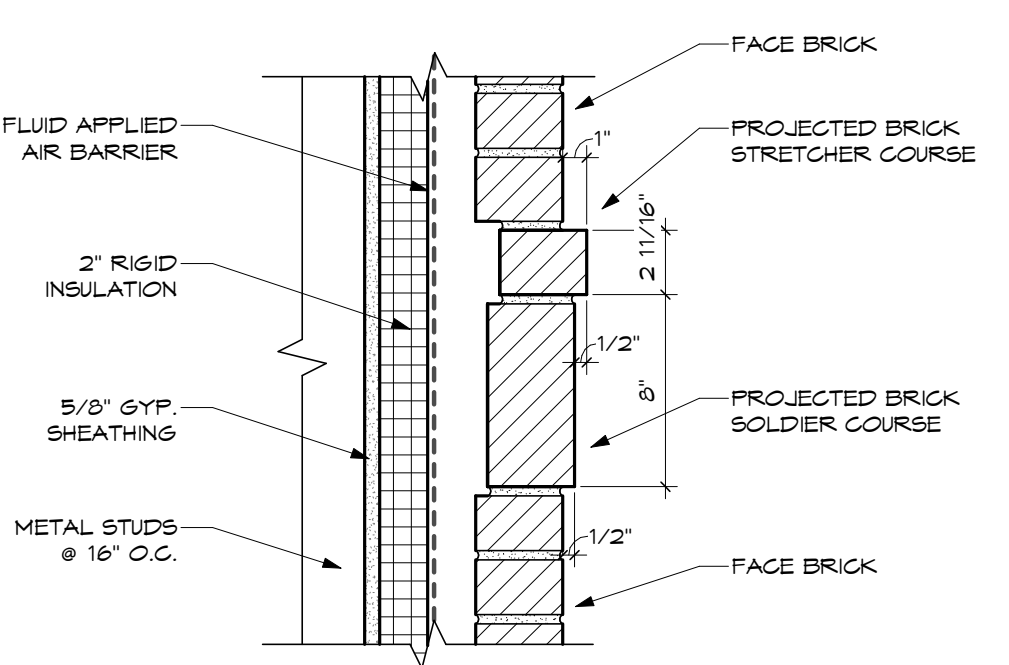
7 TYPICAL COMMUNITY CENTER DOOR
SCALE: 1/2" = 1'-0"



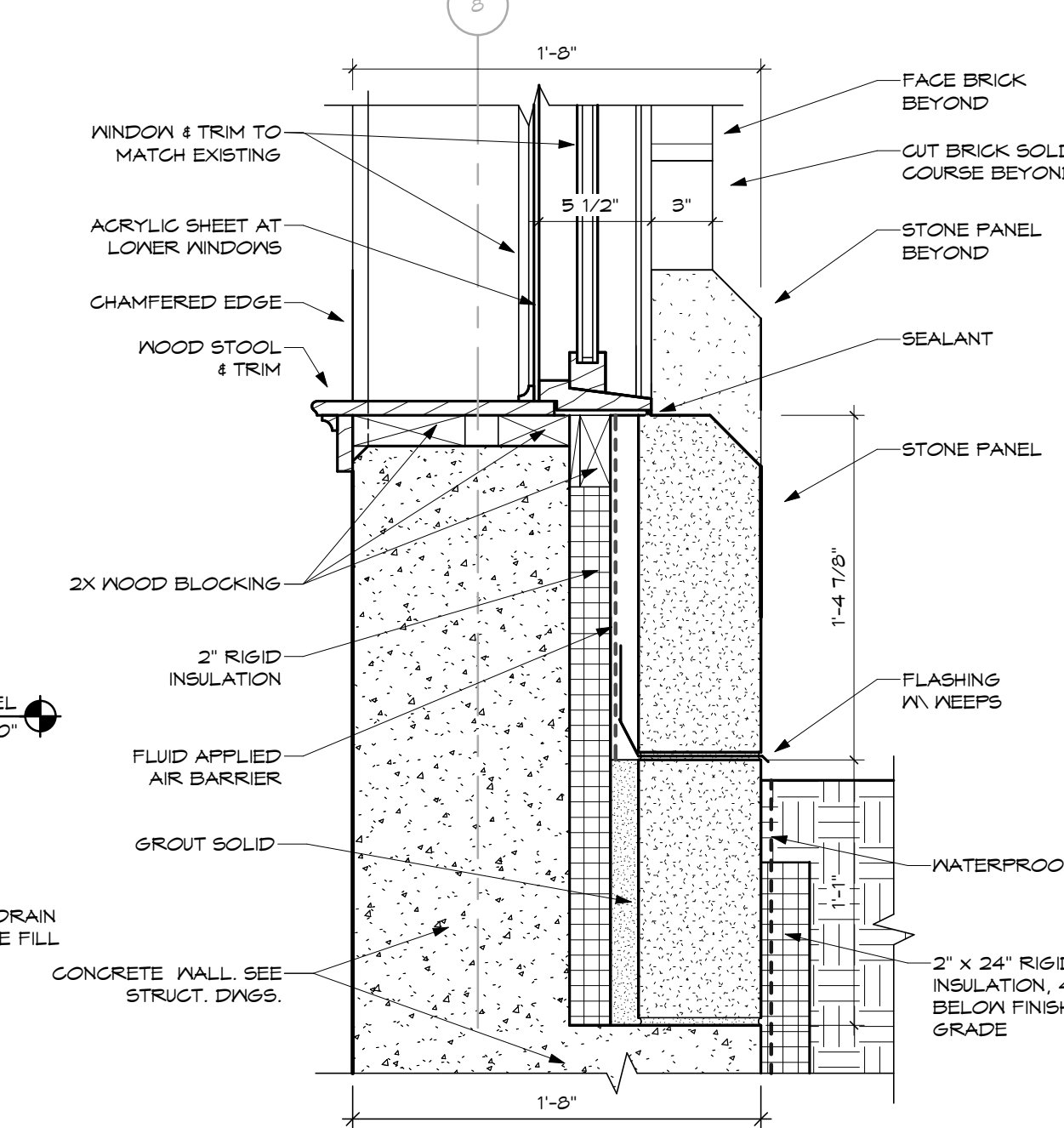
8 TYPICAL UPPER WINDOW SILL
SCALE: 1 1/2" = 1'-0"



4 TYPICAL LOWER WINDOW HEAD & WATERTABLE
SCALE: 1 1/2" = 1'-0"



9 TYPICAL PROJECTED SOLDIER & STRETCHER
SCALE: 1 1/2" = 1'-0"

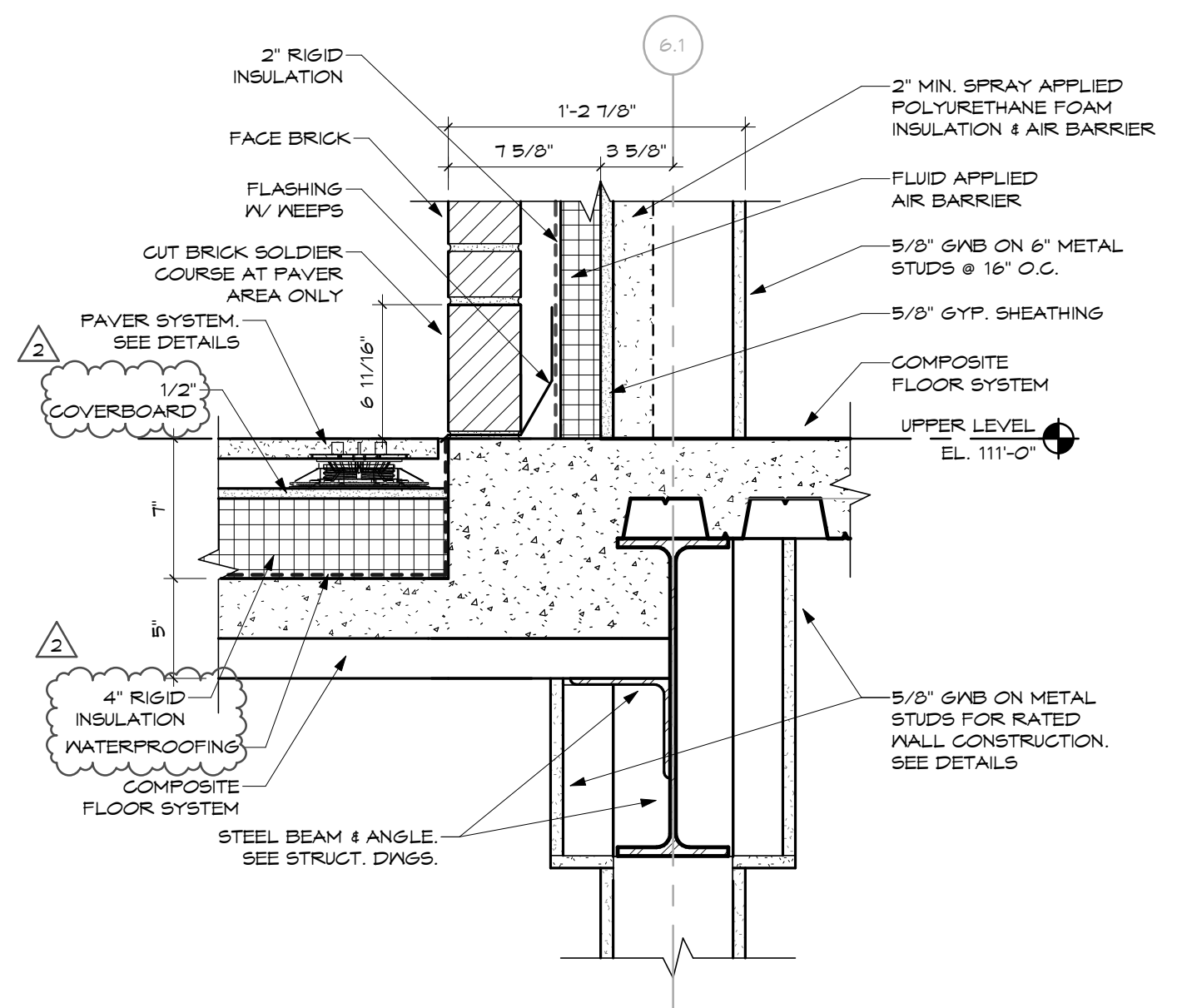


3 TYPICAL STONE PANEL @ WINDOW
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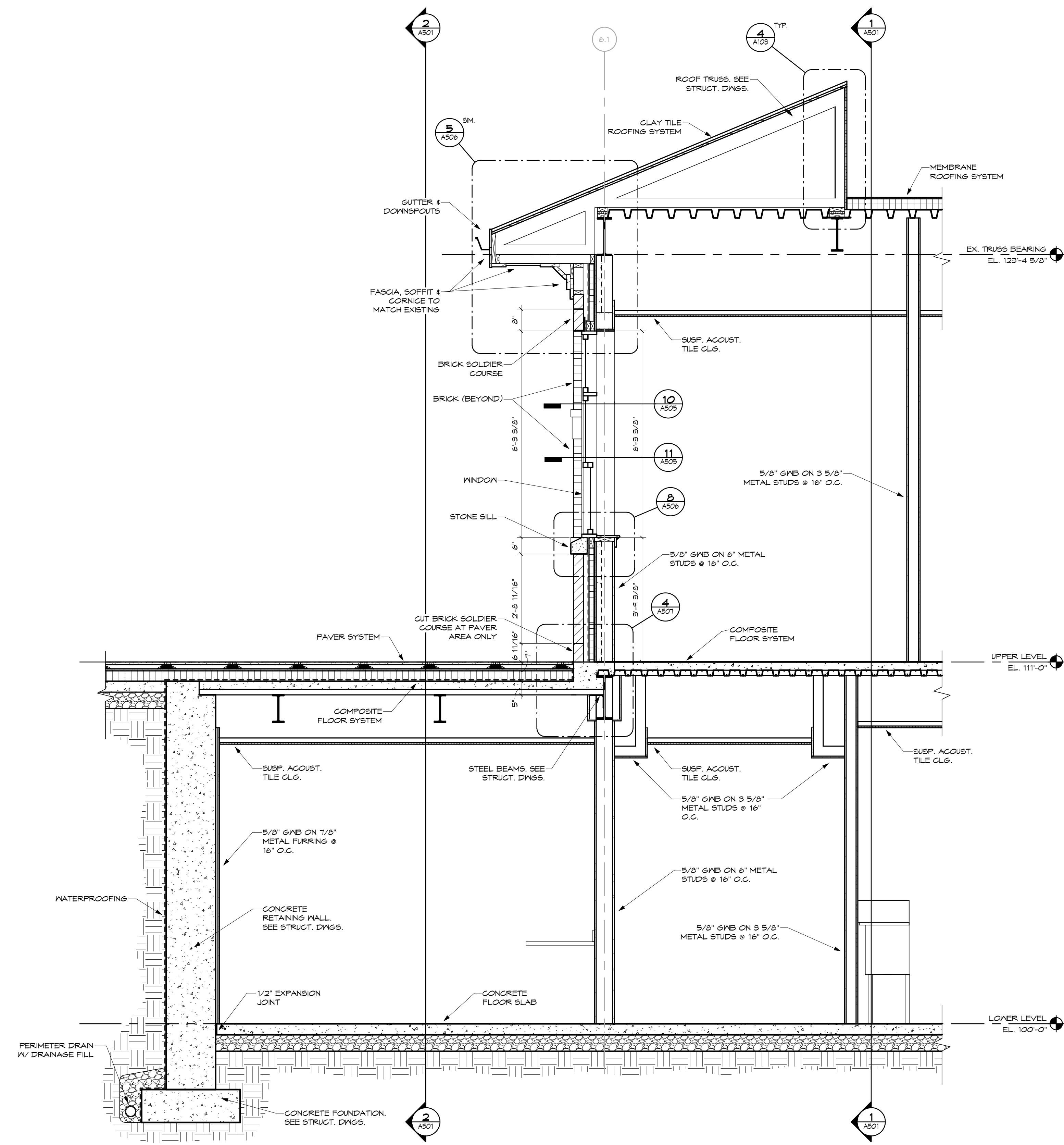
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ADDENDUM #03		11.29.2023
No.	Revisions / Submissions	Date
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UNION COUNTY PUBLIC LIBRARY LIBRARY ADDITION AND RENOVATION 2 EAST SEMINARY STREET LIBERTY, IN 47353		
WALL SECTIONS & DETAILS		
Comm. No.	Date	
22106.00	11.10.2023	
Drawn	TOD	
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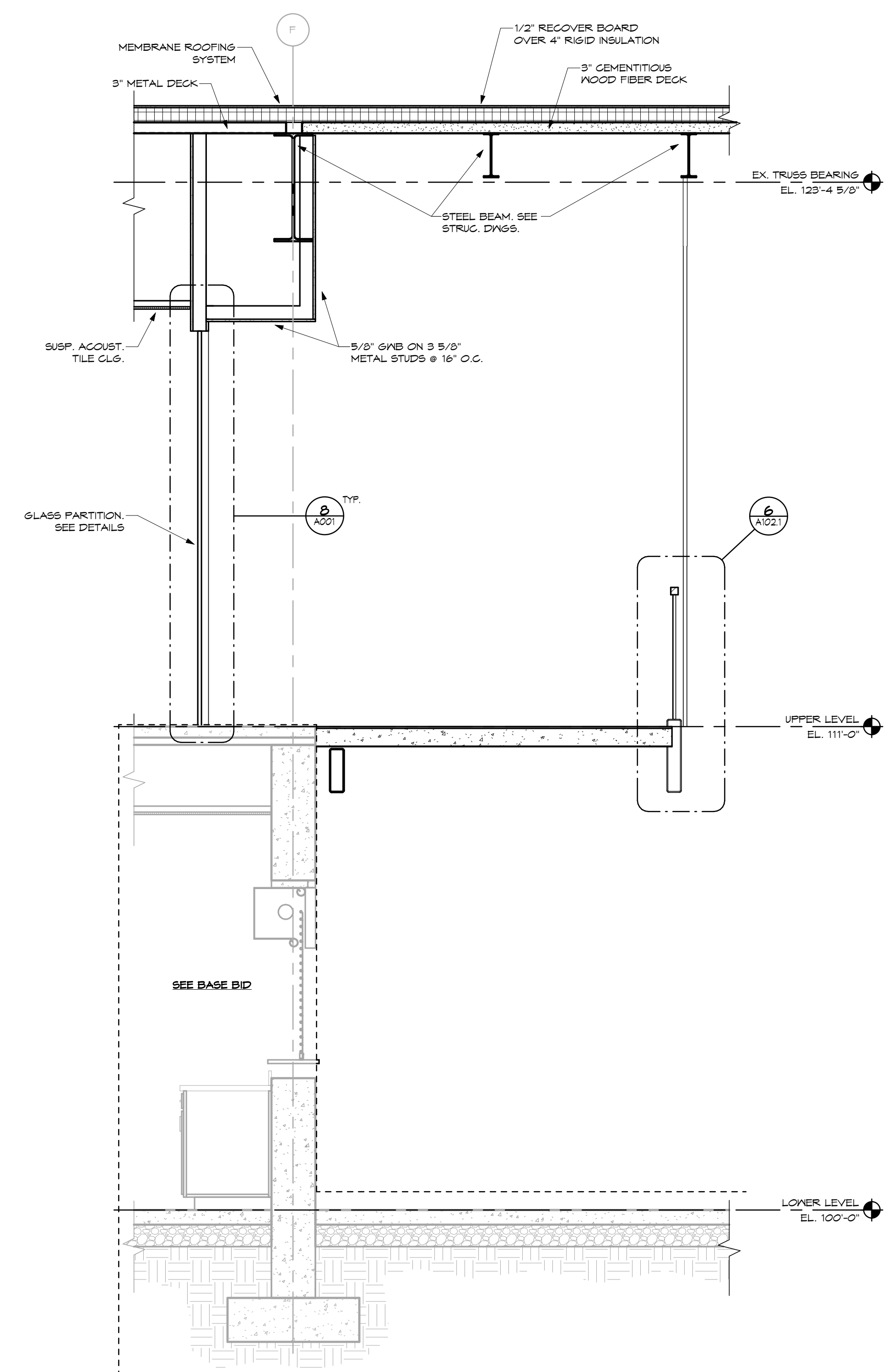
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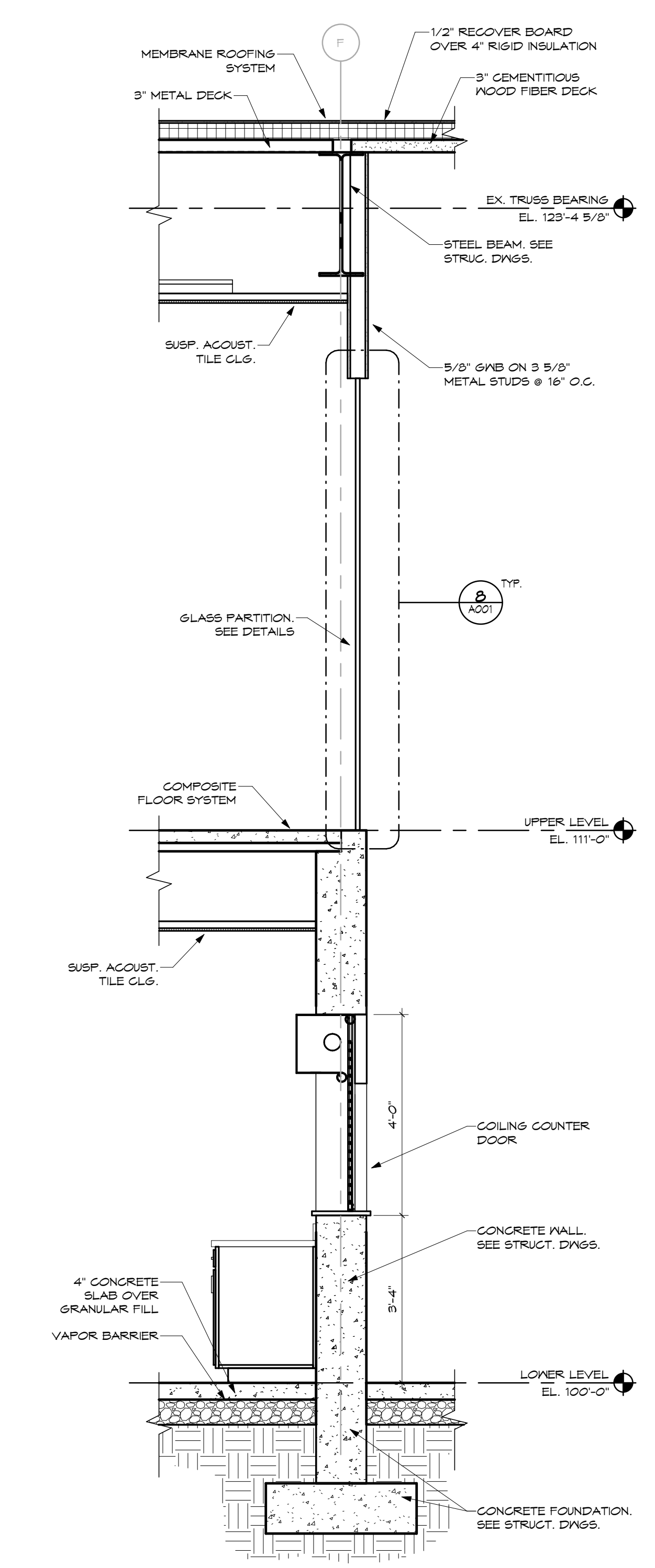
4 ENLARGED DETAIL
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1 SECTION THRU LOBBY/COMMUNITY OFFICE
SCALE: 1/2" = 1'-0"



2 SOFFIT AT GLASS PARTITION - ALT #03
SCALE: 1/2" = 1'-0"



3 WARMING KITCHEN OPENING & GLASS PARTITION AT MEETING
SCALE: 1/2" = 1'-0"

BID DOCUMENTS		11.10.2023
ADDENDUM #03		11.29.2023
No.	Revisions / Submissions	Date

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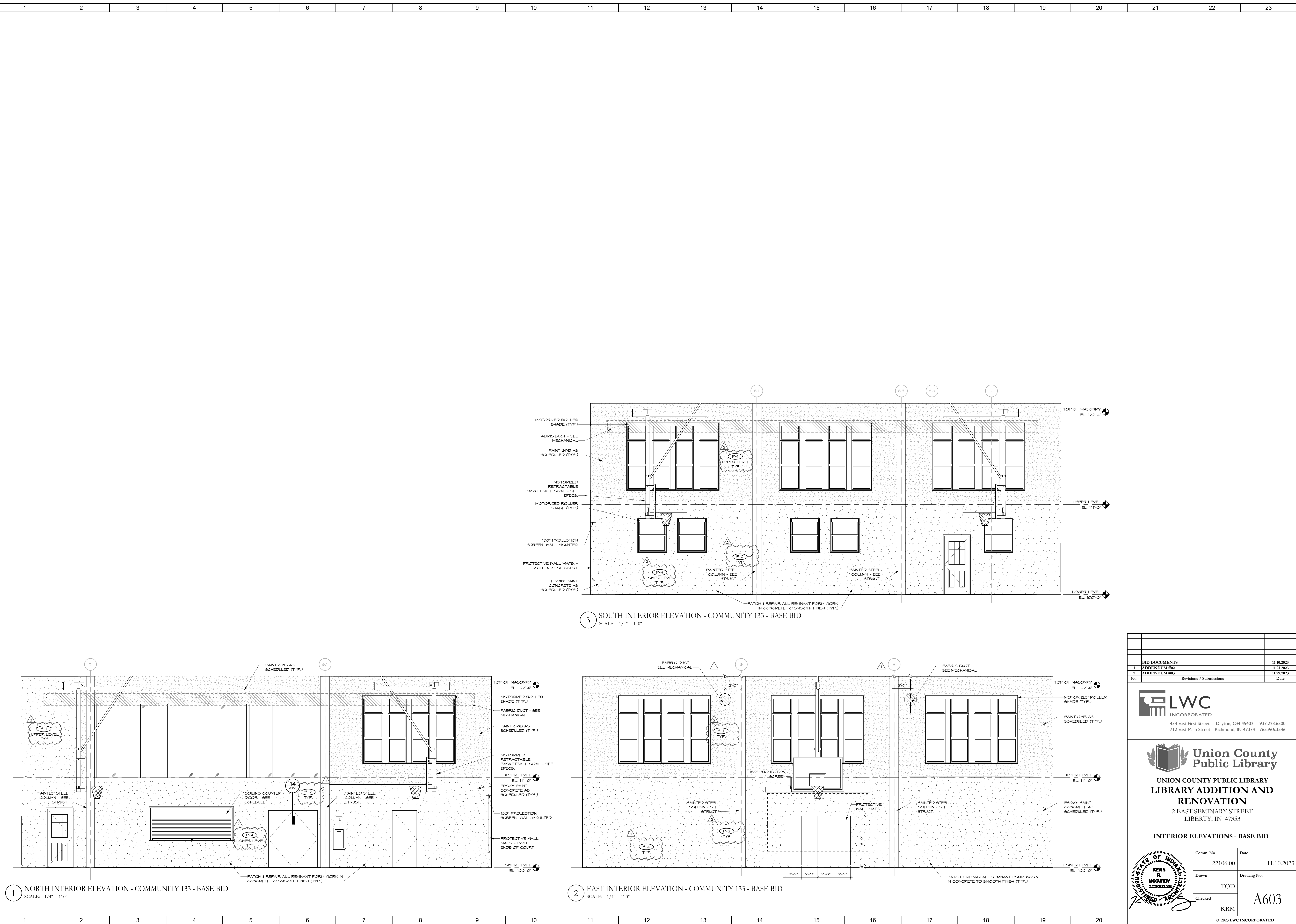
Union County Public Library
UNION COUNTY PUBLIC LIBRARY
LIBRARY ADDITION AND RENOVATION
2 EAST SEMINARY STREET
LIBERTY, IN 47353

WALL SECTIONS & DETAILS

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3 SOUTH INTERIOR ELEVATION - COMMUNITY 133 - BASE BID
SCALE: 1/4" = 1'-0"

2 EAST INTERIOR ELEVATION - COMMUNITY 133 - BASE BID
SCALE: 1/4" = 1'-0"

1 NORTH INTERIOR ELEVATION - COMMUNITY 133 - BASE BID
SCALE: 1/4" = 1'-0"

BID DOCUMENTS		11.10.2023
1	ADDENDUM #02	11.21.2023
2	ADDENDUM #03	11.29.2023
No.	Revisions / Submissions	Date

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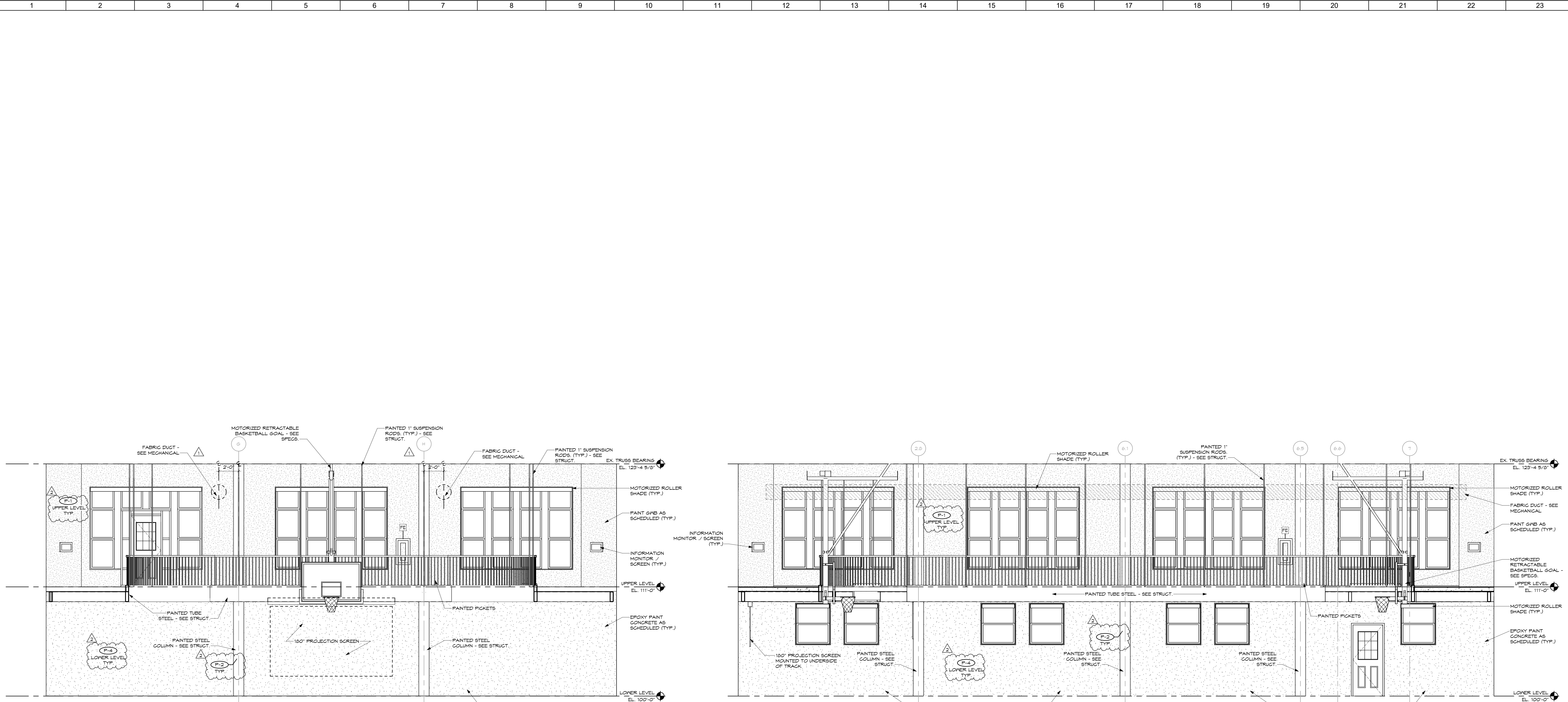
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LIBERTY, IN 47353

INTERIOR ELEVATIONS - BASE BID

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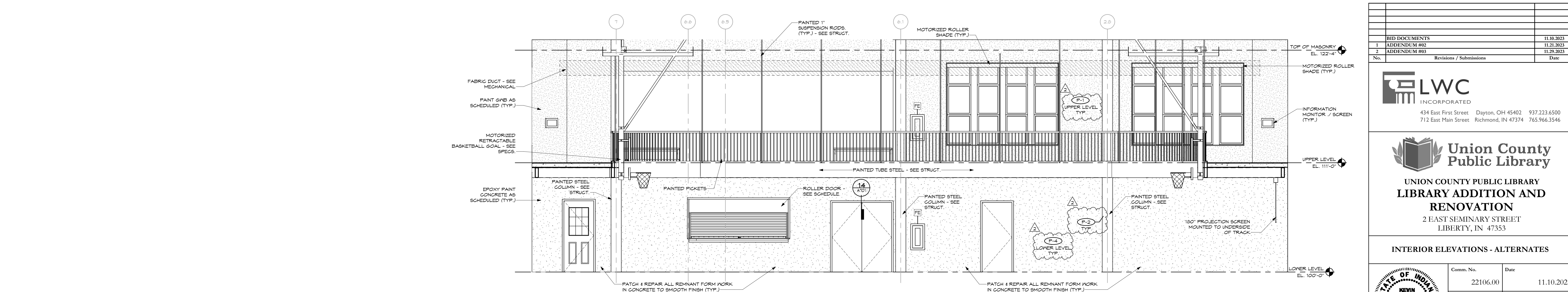
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3 ALTERNATE #01 & #03 - INTERIOR EAST ELEVATION - COMMUNITY 133
SCALE: 1/4" = 1'-0"

2 ALTERNATE #01 & #03 - INTERIOR SOUTH ELEVATION - COMMUNITY 133
SCALE: 1/4" = 1'-0"



1 ALTERNATE #01 & #03 - INTERIOR NORTH ELEVATION - COMMUNITY 133
SCALE: 1/4" = 1'-0"

BID DOCUMENTS		11.10.2023
1 ADDENDUM #02		11.21.2023
2 ADDENDUM #03		11.29.2023
No.	Revisions / Submissions	Date

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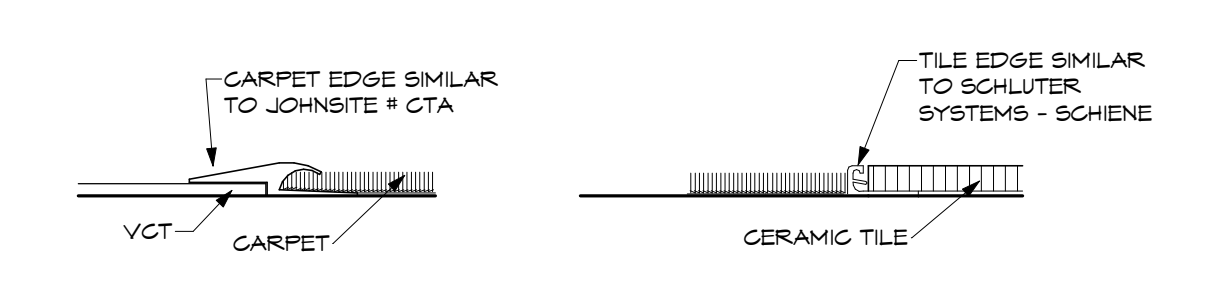
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INTERIOR ELEVATIONS - ALTERNATES

Comm. No.	22106.00	Date	11.10.2023
Drawn	TOD	Drawing No.	A604
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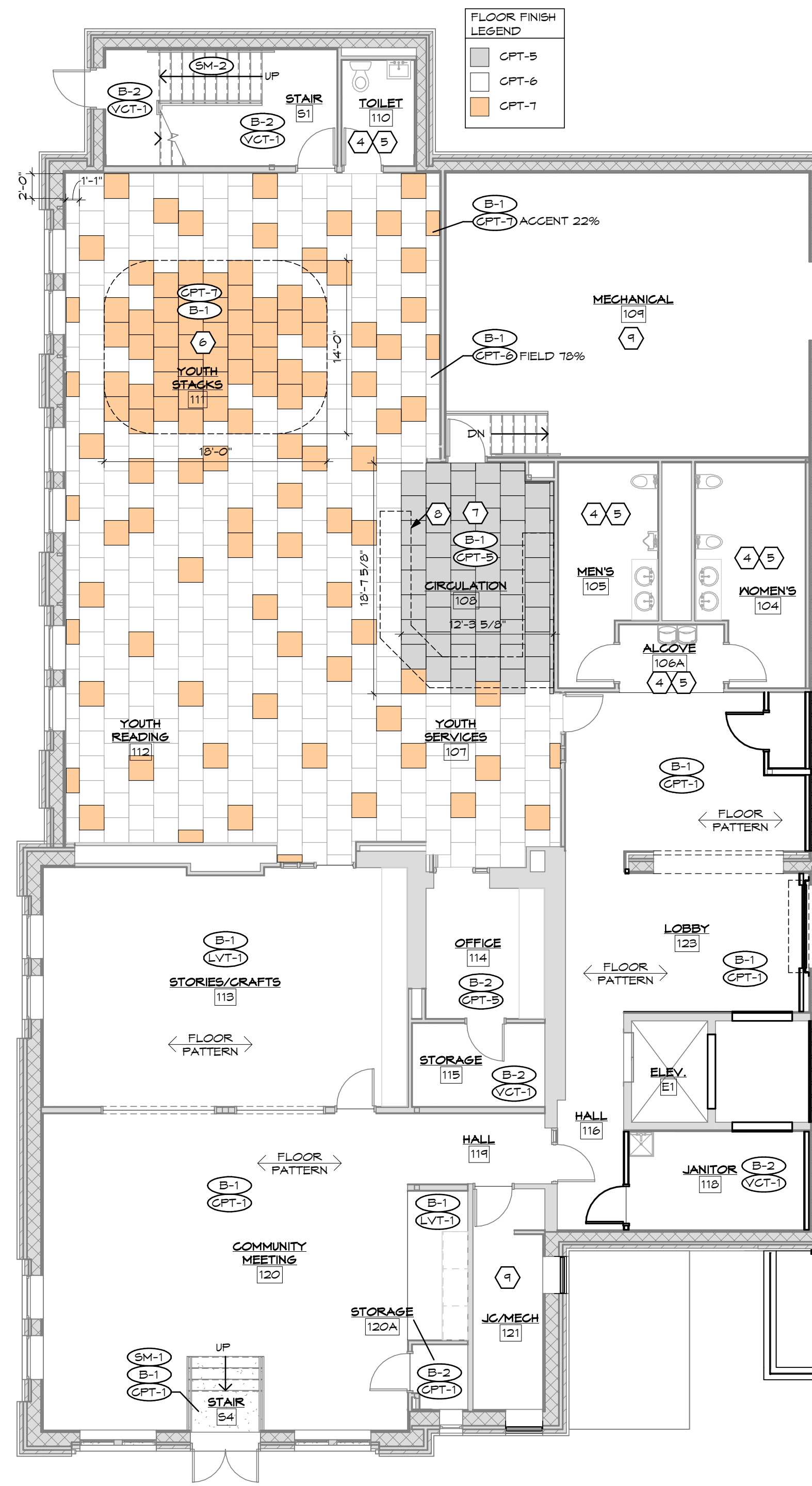


3 FLOOR EDGE DETAILS
SCALE: 6" = 1'-0"

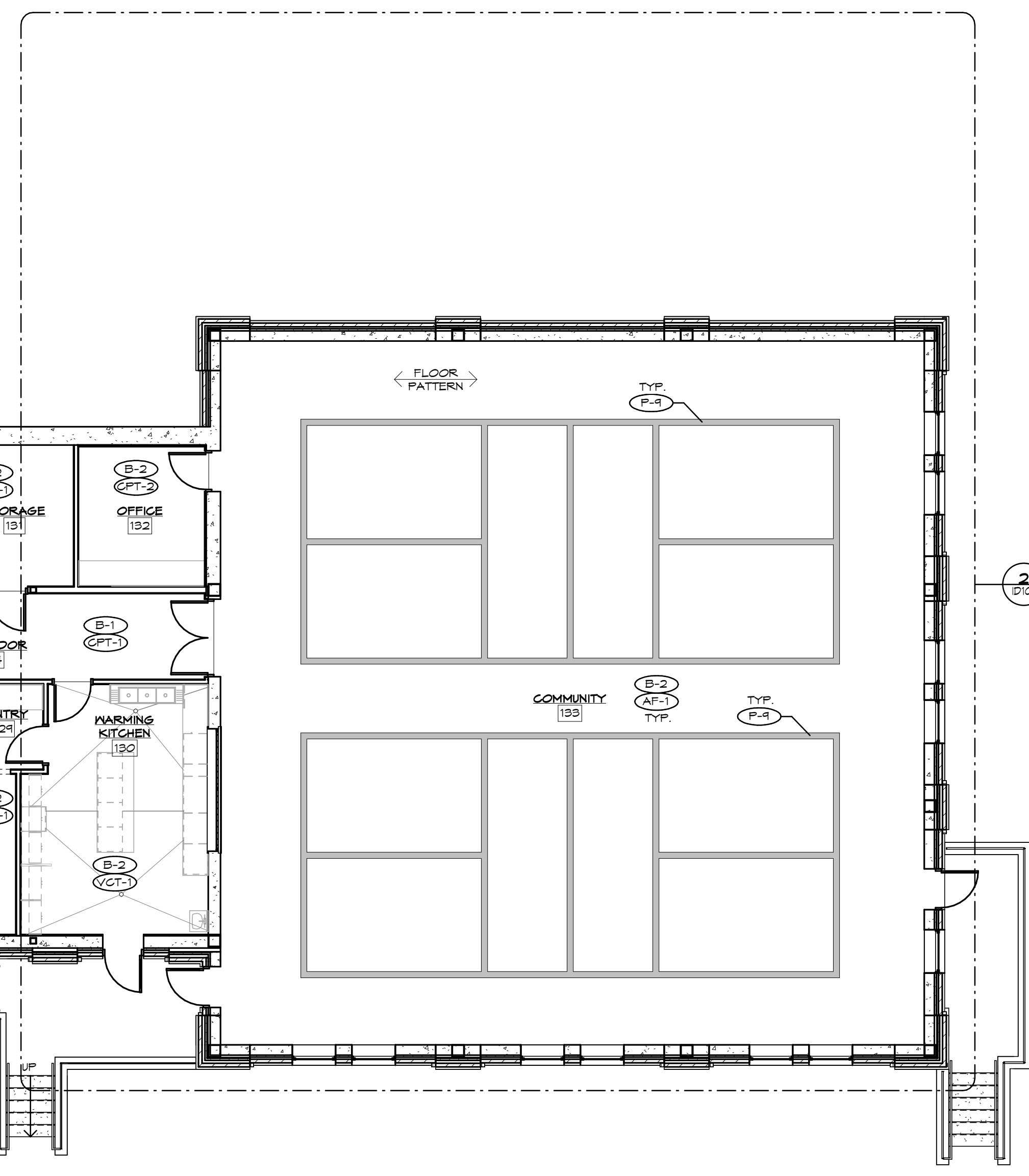
FINISH MATERIAL SCHEDULE table with columns: CODE, MATERIAL, MANUFACTURER, DESCRIPTION / PATTERN, COLOR / MATERIAL, REMARKS. Includes items for acoustic tile, athletic flooring, carpet, fiberglass reinforced panel, paint, plastic laminate, stair management, solid surface, stain, tile, transition, vinyl composite tile, and walk off carpet.

- SHEET NOTES: TYPICAL FOR ALL FLOOR FINISH SHEETS. ALL NOTES MAY NOT BE USED.
1. PREP EXISTING SUBSTRATE TO RECEIVE NEW FLOORINGS.
2. WALK OFF MAT TO BE CENTERED ON ENTRY DOORS.
3. REUSE SALVAGED BASE WHEN POSSIBLE. NEW WOOD BASE TO MATCH EXISTING.
4. EXISTING TILE TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
5. CLEAN TILE AND GROUT IN THIS AREA.
6. CARPET PATTERN TO BE HIGHLY CONCENTRATED WHERE SHOWN AND SPREADLY DISPERSED OUT. CONCENTRATED AREA TO BE COORDINATED WITH FURNITURE PLAN TO ENSURE IT FALLS WITHIN THE SEAT AREA.
7. CARPET PATTERN TO BE HIGHLY CONCENTRATED WHERE SHOWN AND SHOULD FALL WITHIN THE CIRCULATION DESK AREA.
8. OUTLINE TO SHOW WHERE CIRCULATION DESK IS LOCATED.
9. EXISTING FINISHES TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.

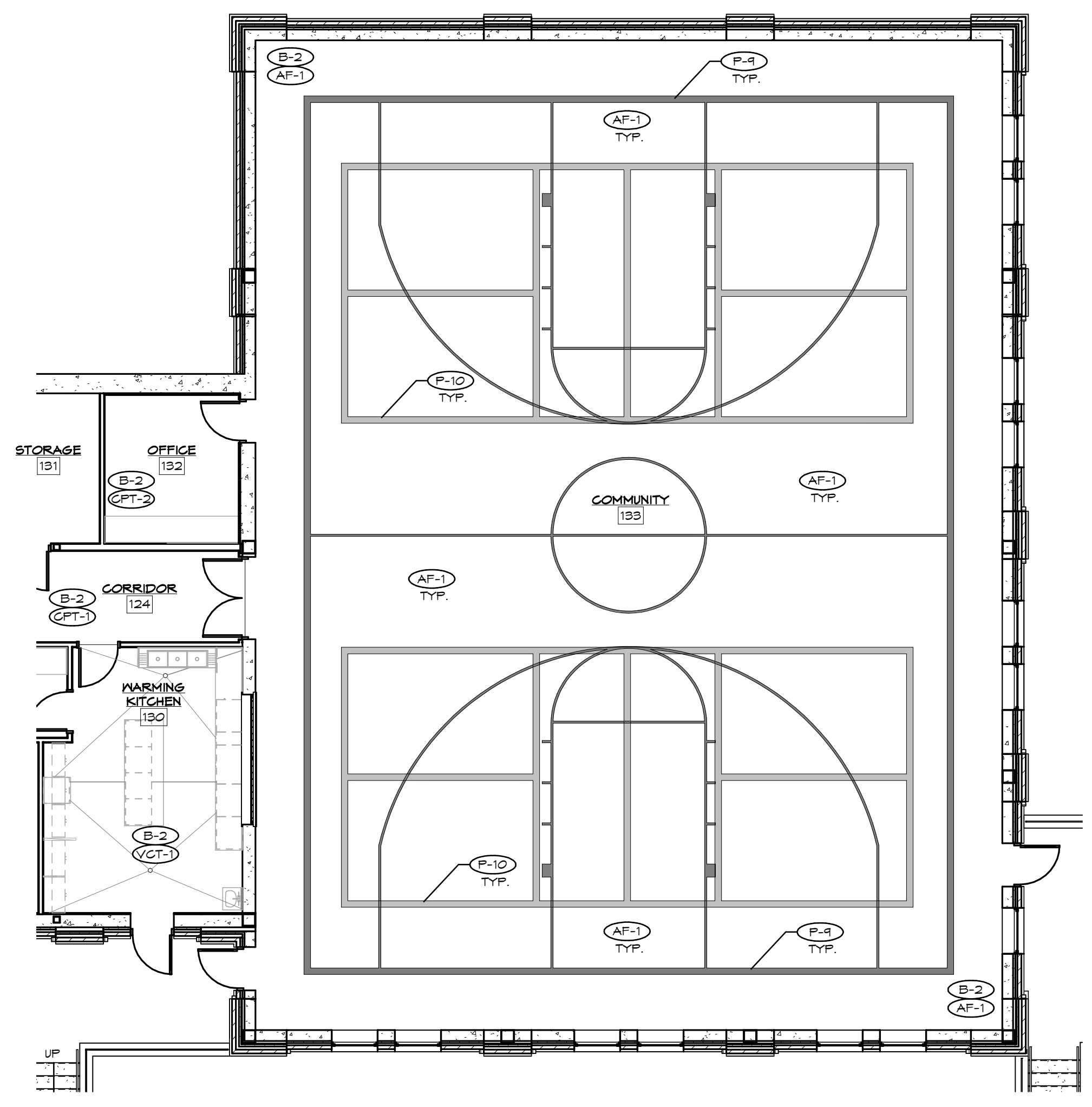
- GENERAL NOTES:
A. REFER TO INTERIOR FINISH SCHEDULE FOR FINISH INFORMATION.
B. COORDINATE ALL FINISH CONCERNS IN FIELD WITH ARCHITECT PRIOR TO INSTALLATION.
C. CONTRACTOR SHALL PROVIDE MATERIAL SAMPLES FOR ALL SPECIFIED FINISHES PRIOR TO CONSTRUCTION.
D. ALL ACoustICAL CEILING TO BE FINISH CODE ACT-1 UNLESS OTHERWISE NOTED. SEE RCP FOR FURTHER INFORMATION.
E. FLOORING CONTRACTOR SHALL SUBMIT TO ARCHITECT, SHOP DRAWINGS AND/OR MATERIAL SAMPLES INDICATING LAYOUT, PATTERN, COLOR AND SEAM LOCATIONS FOR ALL SPECIFIED FLOOR FINISHES PRIOR TO ORDERING MATERIALS, AND PRIOR TO INSTALLATION.
F. REFER TO FLOOR FINISH PLAN FOR PATTERN LAYOUT AND DIMENSIONS.
G. PERFORM FLOORING MOISTURE TESTS RECOMMENDED BY EACH MFG AND PROCEED WITH INSTALLATION OF FLOORING ONLY AFTER SUBSTRATES PASS TESTING.
H. PREPARE ALL SUBSTRATES ACCORDINGLY TO ITS FINISH MFG'S RECOMMENDATIONS.
I. CONTRACTOR TO INSTALL APPROPRIATE TRANSITION STRIP TYPES BETWEEN MATERIALS AS REQUIRED.
J. FLOOR/FATHER MATERIALS AS NEEDED TO CREATE A LEVEL AND EVEN SURFACE AT ALL TRANSITIONS.
K. CARPET SHALL BE INSTALLED PER MFG'S RECOMMENDATIONS AND/OR CURRENT ORI GUIDELINES.
L. CARPET SHALL BE LAID IN THE INSTALLATION PATTERN (I.E. HANDLITING BRICK PATTERN, RANDOM, ECT.) AS SPECIFIED ON THE INTERIOR FINISH SCHEDULE WITH THE PATTERN MATCHED TO MAINTAIN UNIFORMITY OF CARPET DIRECTION AND LAY OF TILE.
M. FLOORING SEAMS SHALL BE KEPT TO A MINIMUM POSITION IN INCONSPICUOUS AREAS IN COMPLIANCE WITH ORI 104 (CARPET & RUS INSTALLATION METHODS) AND MFG'S RECOMMENDATIONS FOR SEAM LOCATIONS AND DIRECTION OF CARPET. FLOORING SEAMS SHALL RUN THE LENGTH OF THE AREA RATHER THAN ACROSS A MAIN TRAFFIC PATTERN WHENEVER POSSIBLE. SEAMS SHALL NOT BE PERPENDICULAR TO DOORWAY OPENINGS.
N. ALL SHEET FLOORING SEAMS TO BE WELDED PER MFG'S RECOMMENDATIONS IN COLOR MATCHING WELD ROD.
O. USE VINYL ENHANCED TILE ADHESIVE AS RECOMMENDED BY TARKETT TO MEET SITE CONDITIONS.
P. PREPARE SUBSTRATES ACCORDING TO JOHNSTONE WRITTEN INSTRUCTIONS TO ENSURE ADHESION OF VINYL ENHANCED TILE.
Q. USE LUXURY VINYL TILE ADHESIVE AS RECOMMENDED BY MFG TO MEET SITE CONDITIONS.
R. PREPARE SUBSTRATES ACCORDING TO MFG'S WRITTEN INSTRUCTIONS TO ENSURE ADHESION OF VINYL ENHANCED TILE.
S. BASE TO BE INSTALLED PER MFG'S INSTRUCTION. WITER ALL CORNERS IN FIELD PER MFG'S INSTALLATION GUIDE USING APPROPRIATE TOOLS.
T. PROVIDE CLEAR SEALANT BETWEEN BASE AND HARD SURFACE FLOOR FINISH.
U. ALL WALLS TO BE PAINTED FINISH CODE P-1 UNLESS NOTED OTHERWISE.
V. ALL DOOR FRAMES TO BE PAINTED FINISH CODE P-1 UNLESS OTHERWISE NOTED.
W. CONTRACTOR TO SUBMIT PAINT DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO APPLICATION.
X. APPLY TWO COATS OF FINAL FINISH PRODUCT.
Y. FINISH CERTIFICATION BY THE PAINT MFG THAT PRODUCTS SUPPLIED COMPLY WITH LOCAL REGULATIONS CONTROLLING THE USE OF VOLATILE ORGANIC COMPOUNDS (VOC'S).
Z. ENHANCED STRUCTURE TO BE PAINTED WITH DRY FALL, FLAT PAINT IN ENTIRETY (STRUCTURE, ROOF DECK, DUCTWORK, CONDUIT, PIPING, AND OTHER SIMILAR ITEMS).
AA. KNOCKDRAIN DIRECTION OF PLASTIC LAMINATE TO BE VERTICAL ON FACE OF CABINETS, HORIZONTAL ON COUNTERTOPS AND SHELF EDGE BAND, UNLESS OTHERWISE NOTED.
BB. ALL SOLID SURFACE SEAMS TO BE HARD SEAM (NO SEAMS SHOWN).
CC. USE MFG'S RECOMMENDED MARKING INSTRUMENTS TO MINIMIZE THE NUMBER OF SEAMS IN SOLID SURFACE.
DD. SOLID SURFACE SIDE BACKPLASHES TO BE INTEGRAL COVERED WITH HARD SEAMS (NO SET ON SIDES, BACKPLASHES, ECT.).
EE. SOLID SURFACE TO HAVE EASED EDGE DETAIL, UNLESS OTHERWISE NOTED.
FF. CONTRACTOR TO SUBMIT ALL TILE SAMPLES TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING.
GG. TILE TO BE INSTALLED PER MFG'S RECOMMENDATIONS AND CURRENT TGA GUIDELINES.



1 BASE BID - LOWER LEVEL FLOOR FINISH PLAN
SCALE: 1/8" = 1'-0"



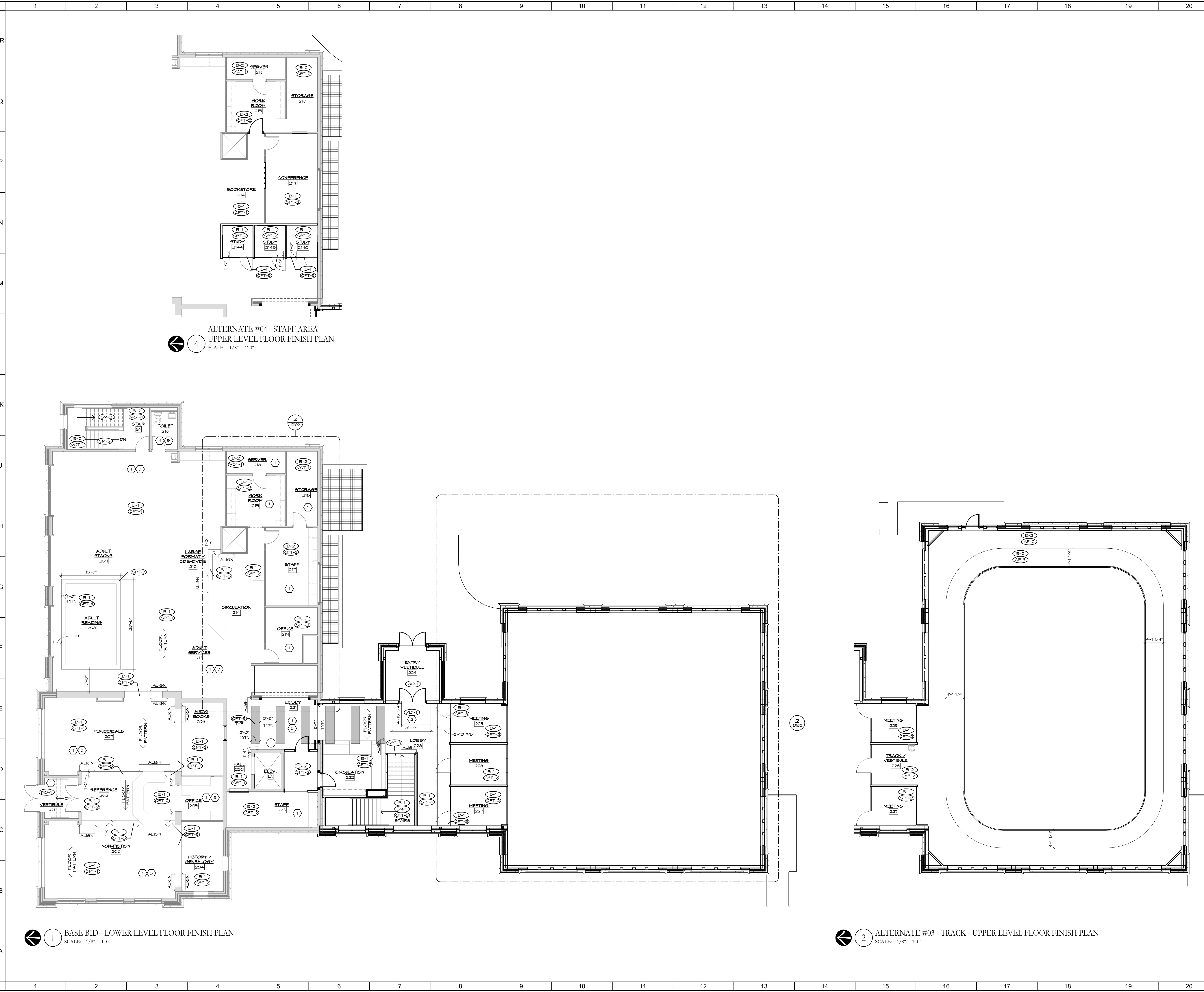
2 ALTERNATE #01 - COMMUNITY AREA
EXPANSION - LOWER LEVEL FLOOR FINISH PLAN
SCALE: 1/8" = 1'-0"



ALTERNATE #01 - COMMUNITY AREA
EXPANSION - LOWER LEVEL FLOOR FINISH PLAN
SCALE: 1/8" = 1'-0"

BID DOCUMENTS table with columns: No., Addendum #, Revisions / Submissions, Date. Includes LWC INCORPORATED logo and contact info, and Union County Public Library logo and address. Also includes a professional seal for Kevin R. McGurey, Licensed Professional Architect, No. 12002136.

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SHEET NOTES: TYPICAL FOR ALL FLOOR FINISH SHEETS. ALL NOTES MAY NOT BE USED.

1. PREP EXISTING SUBSTRATE TO RECEIVE NEW FLOORING
2. WALK OFF MAT TO BE CENTERED ON ENTRY DOORS.
3. REUSE SALVAGED BASE WHEN POSSIBLE. NEW WOOD BASE TO MATCH EXISTING.
4. EXISTING TILE TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
5. CLEAN TILE AND GROUT IN THIS AREA.
6. CARPET PATTERN TO BE HIGHLY CONCENTRATED WHERE SHOWN AND GRADUALLY DISAPPEAR OUT. CONCENTRATED AREA TO BE COORDINATED WITH FURNITURE PLAN TO ENSURE IT FALLS WITHIN THE SEAT AREA.
7. CARPET PATTERN TO BE HIGHLY CONCENTRATED WHERE SHOWN AND SHOULD FALL WITHIN THE CIRCULATION DESK AREA.
8. OUTLINE TO SHOW WHERE CIRCULATION DESK IS LOCATED.
9. EXISTING FINISHES TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.

GENERAL NOTES:

- A. REFER TO INTERIOR FINISH SCHEDULE FOR FINISH INFORMATION
- B. COORDINATE ALL FINISH CONCERNS IN FIELD WITH ARCHITECT PRIOR TO INSTALLATION.
- C. CONTRACTOR SHALL PROVIDE MATERIAL SAMPLES FOR ALL SPECIFIED FINISHES PRIOR TO CONSTRUCTION.
- D. ALL ACOUSTICAL CEILINGS TO BE FINISH CODE AC-1 UNLESS OTHERWISE NOTED; SEE RCP FOR FURTHER INFORMATION.
- E. FLOORING CONTRACTOR SHALL SUBMIT TO ARCHITECT, SHOP DRAWINGS AND/OR MATERIAL SAMPLES INDICATING LAYOUT, PATTERN, COLOR AND SEAM LOCATIONS FOR ALL SPECIFIED FLOOR FINISHES PRIOR TO ORDERING MATERIALS, AND PRIOR TO INSTALLATION.
- F. REFER TO FLOOR FINISH PLAN FOR PATTERN LAYOUT AND DIMENSIONS.
- G. PERFORM FLOORING MOISTURE TESTS RECOMMENDED BY EACH MFG AND PROCEED WITH INSTALLATION OF FLOORING ONLY AFTER SUBSTRATES PASS TESTING.
- H. PREPARE ALL SUBSTRATES ACCORDINGLY TO ITS FINISH MFG'S RECOMMENDATIONS.
- I. CONTRACTOR TO INSTALL APPROPRIATE TRANSITION STRIP TYPES BETWEEN MATERIALS AS REQUIRED.
- J. FLOTT/FEATHER MATERIALS AS NEEDED TO CREATE A LEVEL AND EVEN SURFACE AT ALL TRANSITIONS.
- K. CARPET SHALL BE INSTALLED PER MFG'S RECOMMENDATIONS AND/OR CURRENT CRI GUIDELINES.
- L. CARPET SHALL BE LAID IN THE INSTALLATION PATTERN (I.E. HONOLULU, BRICK PATTERN, RANDOM, ECT.) AS SPECIFIED ON THE INTERIOR FINISH SCHEDULE WITH THE PATTERN MATCHED TO MAINTAIN UNIFORMITY OF CARPET DIRECTION AND LAY OF FILE.
- M. FLOORING SEAMS SHALL BE KEPT TO A MINIMUM POSITION IN INCONSPICUOUS AREAS IN COMPLIANCE WITH CRI 104 (CARPET & RUS INSTITUTE INSTALLATION METHODS) AND MFG'S RECOMMENDATIONS FOR SEAM LOCATIONS AND DIRECTION OF CARPET. FLOORING SEAMS SHALL RUN THE LENGTH OF THE AREA RATHER THAN ACROSS A MAIN TRAFFIC PATTERN WHENEVER POSSIBLE; SEAMS SHALL NOT BE PERPENDICULAR TO DOORWAY OPENINGS.
- N. ALL SHEET FLOORING SEAMS TO BE WELDED PER MFG'S RECOMMENDATIONS IN COLOR MATCHING WELD ROD.
- O. USE VINYL ENHANCED TILE ADHESIVE AS RECOMMENDED BY TARKETT TO MEET SITE CONDITIONS.
- P. PREPARE SUBSTRATES ACCORDING TO JOHNSONITE WRITTEN INSTRUCTIONS TO ENSURE ADHESION OF VINYL ENHANCED TILE.
- Q. USE LUXURY VINYL TILE ADHESIVE AS RECOMMENDED BY MFG TO MEET SITE CONDITIONS.
- R. PREPARE SUBSTRATES ACCORDING TO MFG'S WRITTEN INSTRUCTIONS TO ENSURE ADHESION OF LUXURY VINYL TILE.
- S. BASE TO BE INSTALLED PER MFG'S INSTRUCTION. MITER ALL CORNERS IN FIELD PER MFG'S INSTALLATION GUIDE USING APPROPRIATE TOOLS.
- T. PROVIDE CLEAR SEALANT BETWEEN BASE AND HARD SURFACE FLOOR FINISH.
- U. ALL WALLS TO BE PAINTED FINISH CODE P-1 UNLESS NOTED OTHERWISE.
- V. ALL DOOR FRAMES TO BE PAINTED FINISH CODE P-1 UNLESS OTHERWISE NOTED.
- W. CONTRACTOR TO SUBMIT PAINT DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO APPLICATION.
- X. APPLY TWO COATS OF FINAL FINISH PRODUCT.
- Y. FURNISH CERTIFICATION BY THE PAINT MFG THAT PRODUCTS SUPPLIED COMPLY WITH LOCAL REGULATIONS CONTROLLING THE USE OF VOLATILE ORGANIC COMPOUNDS (VOC'S).
- Z. EXPOSED STRUCTURE TO BE PAINTED WITH DRY FALL, FLAT PAINT IN ENTRY (STRUCTURE, ROOF DECK, DUCTWORK, CONDUIT, PIPING, AND OTHER SIMILAR ITEMS).
- AA. WOODGRAIN DIRECTION OF PLASTIC LAMINATE TO BE VERTICAL ON FACE OF CABINETS; HORIZONTAL ON COUNTERTOPS AND SHELF EDGE BAND, UNLESS OTHERWISE NOTED.
- BB. ALL SOLID SURFACE SEAMS TO BE HARD SEAM (NO SEAMS SHOWING).
- CC. USE MFG'S RECOMMENDED MAXIMUM WIDTH LENGTHS TO MINIMIZE THE NUMBER OF SEAMS IN SOLID SURFACE.
- DD. SOLID SURFACE SIDE BACKPLASHES TO BE INTEGRAL COVERED WITH HARD SEAMS (NO SET ON SIDES, BACKPLASHES, ECT.).
- EE. SOLID SURFACE TO HAVE EASED EDGE DETAIL, UNLESS OTHERWISE NOTED.
- FF. CONTRACTOR TO SUBMIT ALL TILE SAMPLES TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING.
- GG. TILE TO BE INSTALLED PER MFG'S RECOMMENDATIONS AND CURRENT TGA GUIDELINES.

No.	Revisions / Submissions	Date
1	BID DOCUMENTS	11.10.2023
2	ADDENDUM #03	11.29.2023

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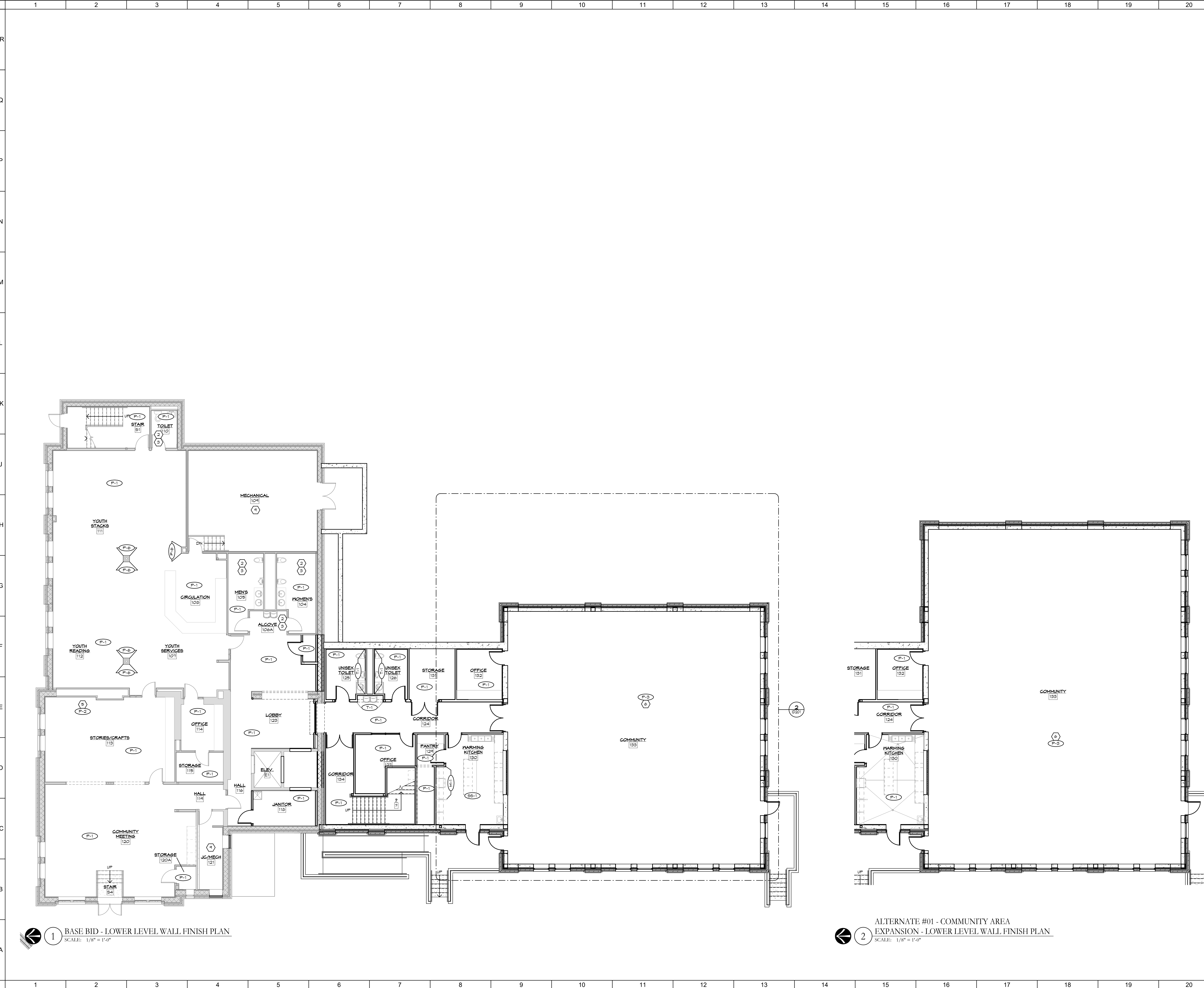
UPPER LEVEL - FLOOR FINISH PLAN		
Comm. No.	Date	
22106.00	11.10.2023	
Drawn	Drawing No.	
M.K.S.	ID102	
Checked	KRM	
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1 BASE BID - LOWER LEVEL FLOOR FINISH PLAN
SCALE: 1/8" = 1'-0"

2 ALTERNATE #03 - TRACK - UPPER LEVEL FLOOR FINISH PLAN
SCALE: 1/8" = 1'-0"

4 ALTERNATE #04 - STAFF AREA - UPPER LEVEL FLOOR FINISH PLAN
SCALE: 1/8" = 1'-0"

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SHEET NOTES: TYPICAL FOR ALL WALL FINISH SHEETS. ALL NOTES MAY NOT BE USED.

1. PREP EXISTING SURFACES TO RECEIVE NEW PAINT.
2. EXISTING TILE TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
3. CLEAN TILE AND GROUT IN THIS AREA.
4. PICTURE RAIL TRIM TO BE PAINTED AS INDICATED BY FINISH TAG.
5. UPPER LEVEL OF COMMUNITY SPACE TO BE PAINTED P-1 U.N.O. AND SHOULD STOP WHERE THE LOWER LEVEL CONCRETE BEGINS. COLUMNS IN SPACE TO BE PAINTED P-2 U.N.O.
6. LOWER LEVEL OF COMMUNITY SPACE TO BE PAINTED P-4 U.N.O. AND SHOULD STOP WHERE THE UPPER LEVEL GYPSUM BEGINS. COLUMNS IN SPACE TO BE PAINTED P-2 U.N.O.

GENERAL NOTES:

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- B. COORDINATE ALL FINISH CONCERNS IN FIELD WITH ARCHITECT PRIOR TO INSTALLATION.
- C. CONTRACTOR SHALL PROVIDE MATERIAL SAMPLES FOR ALL SPECIFIED FINISHES PRIOR TO CONSTRUCTION.
- D. ALL ACOUSTICAL CEILINGS TO BE FINISH CODE ACT-1 UNLESS OTHERWISE NOTED; SEE RCP FOR FURTHER INFORMATION.
- E. FLOORING CONTRACTOR SHALL SUBMIT TO ARCHITECT, SHOP DRAWINGS AND/OR MATERIAL SAMPLES INDICATING LAYOUT, PATTERN, COLOR AND SEAM LOCATIONS FOR ALL SPECIFIED FLOOR FINISHES PRIOR TO ORDERING MATERIALS, AND PRIOR TO INSTALLATION.
- F. REFER TO FLOOR FINISH PLAN FOR PATTERN LAYOUT AND DIMENSIONS.
- G. PERFORM FLOORING MOISTURE TESTS RECOMMENDED BY EACH MFG AND PROCEED WITH INSTALLATION OF FLOORING ONLY AFTER SUBSTRATES PASS TESTING.
- H. PREPARE ALL SUBSTRATES ACCORDINGLY TO ITS FINISH MFG'S RECOMMENDATIONS.
- I. CONTRACTOR TO INSTALL APPROPRIATE TRANSITION STRIP TYPES BETWEEN MATERIALS AS REQUIRED.
- J. FLOAT/FEATHER MATERIALS AS NEEDED TO CREATE A LEVEL AND EVEN SURFACE AT ALL TRANSITIONS.
- K. CARPET SHALL BE INSTALLED PER MFG'S RECOMMENDATIONS AND/OR CURRENT ORI GUIDELINES.
- L. CARPET SHALL BE LAID IN THE INSTALLATION PATTERN (I.E. HONOLULU, BRICK PATTERN, RANDOM, ECT.) AS SPECIFIED ON THE INTERIOR FINISH SCHEDULE WITH THE PATTERN MATCHED TO MAINTAIN UNIFORMITY OF CARPET DIRECTION AND LAY OF FILE.
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- N. ALL SHEET FLOORING SEAMS TO BE WELDED PER MFG'S RECOMMENDATIONS IN COLOR MATCHING WELD ROD.
- O. USE VINYL ENHANCED TILE ADHESIVE AS RECOMMENDED BY TARKETT TO MEET SITE CONDITIONS.
- P. PREPARE SUBSTRATES ACCORDING TO JOHNSONITE WRITTEN INSTRUCTIONS TO ENSURE ADHESION OF VINYL ENHANCED TILE.
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- U. ALL WALLS TO BE PAINTED FINISH CODE P-1 UNLESS NOTED OTHERWISE.
- V. ALL DOOR FRAMES TO BE PAINTED FINISH CODE P-2 UNLESS OTHERWISE NOTED.
- W. CONTRACTOR TO SUBMIT PAINT DRAWNDOWNS TO ARCHITECT FOR APPROVAL PRIOR TO APPLICATION.
- X. APPLY TWO COATS OF FINAL FINISH PRODUCT.
- Y. FURNISH CERTIFICATION BY THE PAINT MFG THAT PRODUCTS SUPPLIED COMPLY WITH LOCAL REGULATIONS CONTROLLING THE USE OF VOLATILE ORGANIC COMPOUNDS (VOC'S).
- Z. EXPOSED STRUCTURE TO BE PAINTED WITH DRY FILL, FLAT PAINT IN ENTIRETY (STRUCTURE, ROOF DECK, DUCTWORK, CONDUIT, PIPING, AND OTHER SIMILAR ITEMS).
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No.	Revisions / Submissions	Date
1	BID DOCUMENTS	11.10.2023
2	ADDENDUM #03	11.29.2023

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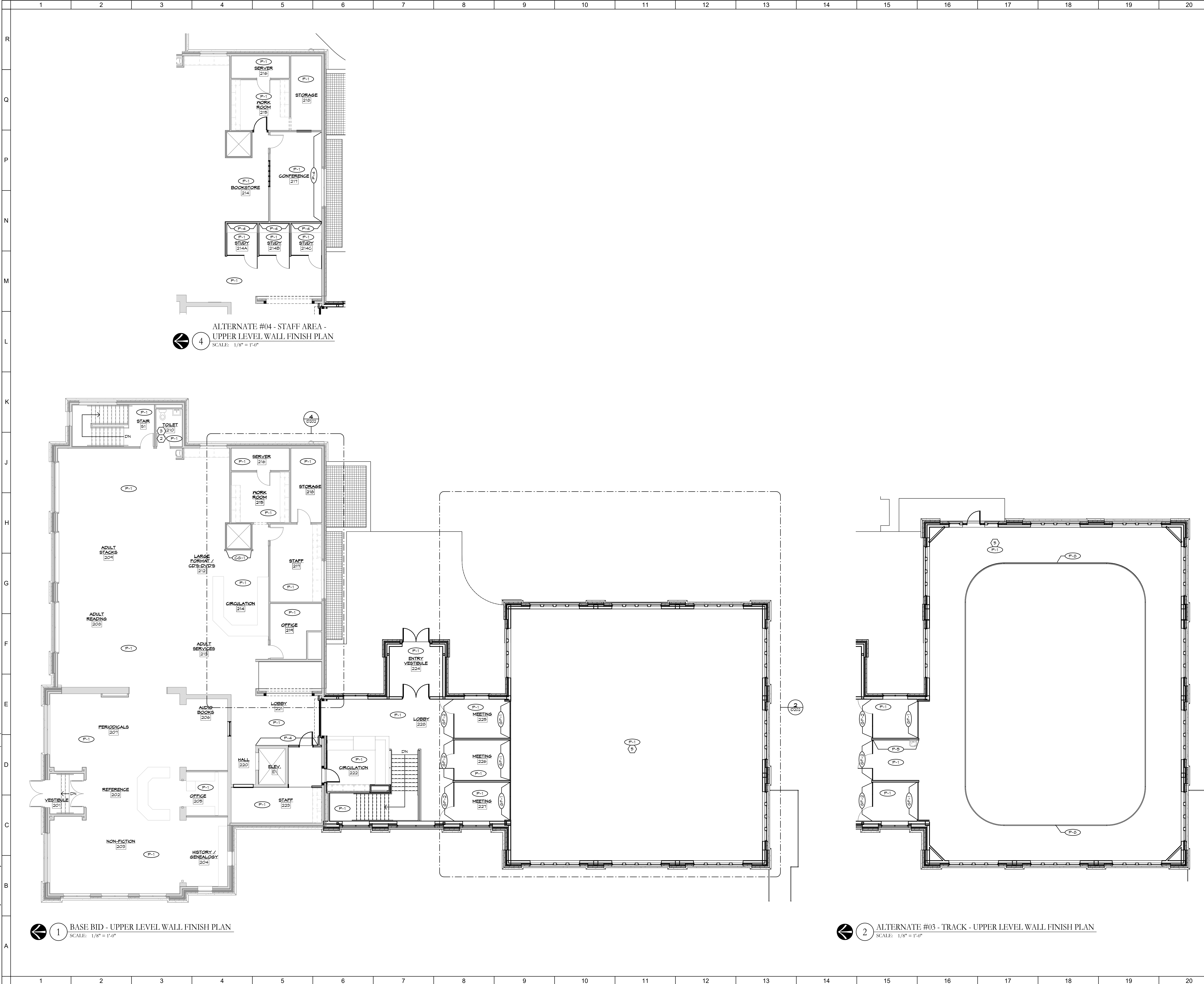
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LOWER LEVEL - WALL FINISH PLAN

	Comm. No.	Date
	22106.00	11.10.2023
	Drawn	Drawing No.
	M.K.S.	ID201
Checked	KRM	
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2. EXISTING TILE TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
3. CLEAN TILE AND GROUT IN THIS AREA.
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5. UPPER LEVEL OF COMMUNITY SPACE TO BE PAINTED P-1 U.N.O. AND SHOULD STOP WHERE THE LOWER LEVEL CONCRETE BEGINS. COLUMNS IN SPACE TO BE PAINTED P-2 U.N.O.
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UPPER LEVEL - WALL FINISH PLAN	
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Checked	
KRM	
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1 BASE BID - UPPER LEVEL WALL FINISH PLAN
SCALE: 1/8" = 1'-0"

2 ALTERNATE #03 - TRACK - UPPER LEVEL WALL FINISH PLAN
SCALE: 1/8" = 1'-0"