

**UNION COUNTY PUBLIC LIBRARY
LIBRARY RENOVATIONS AND ADDITION**

LWC Commission No. 22110.00

**ADDENDUM #02
NOVEMBER 21, 2023**

LWC, Inc.
712 EAST MAIN ST
RICHMOND, IN 47374

To Prospective Bidders:

This addendum is a modification of the Contract Documents for the above referenced project and is hereby incorporated into and becomes a part of said Contract Documents. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification. It is to be considered in the Proposals and covers additions to or changes in the Contract Documents as indicated below.

This addendum consists of the following:

General Items:

- 2nd Site Tour scheduled for **November 28, 2023 at 9:00 AM**

Attachments:

- Specifications:
 - Section 00001 - Index Phased
 - Section 000500 - Preliminary Project Schedule
 - Section 001072 - Modifications to General Conditions
 - Section 233717 – Fabric Ductwork
 - Section 283100 – Fire Detection and Addressable
 - Section 329200 - turf and grasses
 - Section 329300 - plants
 - Division 26 Index

- Drawings:
 - L-1.0 – SITE LANDSCAPE PLAN
 - L-2.0 – SITE LANDSCAPE PLAN ALTERNATE (BUILDING ADDITION)
 - AS100 – ARCHITECTURAL SITE PLAN
 - AS201 – EXTERIOR STAIRS AND RAILING DETAILS
 - S001 – GENERAL NOTES
 - S006 – TYPICAL DETAILS
 - SD100 – DEMOLITION PLANS AND DETAILS
 - S102 – UPPER LEVEL FRAMING PLAN
 - S102.1 – UPPER LEVEL FRAMING PLAN – ALTERNATE #01 AND ALTERNATE #03
 - S103 – ROOF FRAMING PLAN
 - S103.1 – ROOF FRAMING PLAN – ALTERNATE #01

- S104 – ROOF TRUSS FRAMING PLAN
- S104.1 – ROOF TRUSS FRAMING PLAN – ALTERNATE #01
- S301 – FOUNDATION SECTIONS AND DETAILS
- S311 – FOUNDATION WALL ELEVATIONS
- S501 – FRAMING SECTIONS AND DETAILS
- AD102.2 – ALTERNATE DEMOLITION PLANS
- A202 – UPPER LEVEL REFLECTED CEILING PLAN – BASE BID
- A202.1 – ALTERNATE REFLECTED CEILING PLANS
- A301 – EXTERIOR BUILDING ELEVATIONS
- A401 – VERTICAL CIRCULATION PLANS, SECTIONS AND DETAILS
- A505 – WALL SECTIONS & DETAILS
- A601 – ENLARGED PLANS AND INTERIOR ELEVATIONS
- A602 – ENLARGED PLANS, INTERIOR ELEVATIONS AND CASEWORK DETAILS
- A603 – INTERIOR ELEVATIONS – BASE BID
- A604 – INTERIOR ELEVATIONS – ALTERNATES
- E101 – ELECTRICAL LIGHTING – LOWER LEVEL – NEW WORK
- E102 – ELECTRICAL LIGHTING – UPPER LEVEL – NEW WORK
- E102.1 – ELECTRICAL LIGHTING – ALTERNATE LOCATIONS ENLARGED VIEWS – ALTERNATE STAFF AND TRACK – NEW WORK
- E201 – ELECTRICAL POWER AND SYSTEMS – LOWER LEVEL – NEW WORK
- E202.1 – ELECTRICAL POWER AND SYSTEMS – ALTERNATE LOCATIONS ENLARGED VIEWS – ALTERNATES STAFF AND TRACK
- E501 – ELECTRICAL SCHEDULES

SPECIFICATIONS

ITEM NO.1 – Section 00001 – Index Phased

- Corrected specification list to eliminate Section 072414 – EIFS Recoat Systems
- Corrected specification number for Section 142400 to match specification.

ITEM NO.2 – Section 000500 – Preliminary Project Schedule

- Corrected Construction Start date to read 2024.
- Corrected Substantial Completion date to read 2024.

ITEM NO.3 – Section 001072 – Modifications to General Conditions

- Corrected footer spec number to match section number.

ITEM NO.4 – Division 26 Index

- Revised to add new sections

ITEM NO.5 – Section 233717 – Fabric Ductwork

- Section added.

ITEM NO.6 – Section 283100 – Fire Detection and Alarm Addressable

- Section added.

ITEM NO.7 – Section 329200 – Turf and Grasses

- Section Revised.

ITEM NO.8 – Section 329300 – Plants

- Section Added.

DRAWINGS

ITEM NO.1 – L-1.0 – Site Landscape Plan

- Sheet added

ITEM NO.2 – L-2.0 – Site Landscape Plan Alternate (Building Addition)

- Sheet added

ITEM NO.3 – AS100 – Architectural Site Plan

- Removed Bench from Site plan
- Removed drafting artifact from Site Plan

ITEM NO.4 – AS201 – Exterior Stairs and Railing Details

- Revised notes in detail.

ITEM NO.5 – S001 – General Notes

- Added plywood loading under Design Criteria

ITEM NO.6 – S006 – Typical Details

- Revised notes in Detail 4

ITEM NO.7 – SD100 – Demolition Plans and Details

- Revised elevations

ITEM NO.8 – S102 – Upper Level Framing Plan

- Added note in plan at existing
- Added section cut at new opening in existing wall
- Added note under HSS5x5 column at column grid 7
- Added Note 9 to the plan notes

ITEM NO.9 – S102.1 – Upper Level Framing Plan – Alternate #01 and Alternate #03

- Added slab and grade beams at door entrance

ITEM NO.10 – S103 – Roof Framing Plan

- Revised 2 beam sizes and add section cut near existing

ITEM NO.11 – S103.1 – Roof Framing Plan – Alternate #01

- Revised 2 beam sizes and add section cut near existing

ITEM NO.12 – S104 – Roof Truss Framing Plan

- Revised Note 5

ITEM NO.13 – S104.1 – Roof Truss Framing Plan – Alternate #01

- Revised Note 5

ITEM NO.14 – S301 – Foundation Sections and Details

- Added detail 9

ITEM NO.15 – S311 – Foundation Wall Elevations

- Revised wall elevation 4

ITEM NO.16 – S501 – Framing Sections and Details

- Added details 5, 6 and 7

ITEM NO.17 – AD102.2 – Alternate Demolition Plans

- Added Note 28

ITEM NO.18 – A202 – Upper Level Reflected Ceiling Plan

- Revised detail
- Added Notes 34, 35, 36, 37, and 38

ITEM NO.19 – A202.1 – Alternate Reflected Ceiling Plan

- Added Notes 34, 35, 36, 37, and 38
- Revised Sheet View 1, 2, and 3

ITEM NO.20 – A301 – Exterior Building Elevations

- Added Note 29

ITEM NO.21 – A401 – Vertical Circulation Plans, Sections and Details

- Revised Detail 4
- Revised Detail 8

ITEM NO.22 – A505 – Wall Sections & Details

- Added Detail 12

ITEM NO.23 – A601 – Enlarged Plans and Interior Elevations

- Revised Details 1, 2, & 4

ITEM NO.24 – A602 – Enlarged Plans, Interior Elevations, and Casework Details

- Revised Details 18, 19, 20, & 21

ITEM NO.25 – A603 – Interior Elevations – Base Bid

- Revised Details 2

ITEM NO.26 – A604 – Interior Elevations – Alternates

- Revised Details 2

ITEM NO.27 – T001 – Title Sheet

- Revised Drawing Index

ITEM NO.28 – E101 – Electrical Lighting – Lower Level – New Work

- Revised lighting in Corridor 124 and Storage 128

ITEM NO.29 – E102 – Electrical Lighting – Upper Level – New Work

- Revised lighting in Lobby 221, Circulation 222, and Lobby 228

ITEM NO.30 – E102.1 – Electrical Lighting – Alternate Locations Enlarged Views – Alternate Staff and Track – New Work

- Revised lighting in Community Room 133

ITEM NO.31 – E201 – Electrical Power and Systems – Lower Level – New Work

- Added motorized projection screen, control switch and Plan Note #19

ITEM NO.32 – E202.1 – Electrical Power and Systems – Alternate Locations Enlarged Views – Alternate Staff and Track – New Work

- Added motorized projection screen, display screen power (4 locations) & Plan Notes #9, 10, and 11

ITEM NO.33 – E501 – Electrical Schedules

- Added MPS to Motor Control Schedule

BIDDER QUESTIONS:

- Question:
 - Response: None

END OF ADDENDUM 02

SPECIFICATION

For

**Addition and Renovation
Union County Public Library
(ADDENDUM 02)**

VOLUME 1 – SPECIFICATIONS – Divisions 0-14		
	PERMIT SET	CONSTRUCTION SET
DIVISION 0 SECTIONS – BIDDING AND CONTRACT REQUIREMENTS		
000210 – Invitation to Bid	X	
000400 – Form of Proposal	X	
000401 – Form 96 Revised 2013	X	
000500 – Preliminary Project Schedule	X	
000900 – Geotech Report	X	
001031 – A101 – 2017 Standard Form of Agreement	X	
001031A – A101 – 2017 Exhibit A Insurance and Bonds	X	
001050 – A310 – 2010 Bid Bond	X	
001060 – A312 – 2010 Payment Bond	X	
001070 – A312 – 2010 Performance Bond	X	
001071 – A201 – 2017 General Conditions	X	
001072 – Modifications to General Conditions	X	
002113 – A201 – Instructions to Bidders	X	
002123 – Supplementary Instructions to Bidders	X	
DIVISION 1 SECTIONS – GENERAL CONDITIONS		
011000 – Summary of Work	X	
012100 - Allowances	X	
012200 – Unit Prices	X	
012300 - Alternates	X	
012500 – Substitution Procedures	X	
012600 – Contract Modification Procedures	X	
012900 – Payment Procedures	X	
013100 – Project Management and Coordination	X	
013200 – Construction Progress Documentation	X	
013233 – Photographic Documentation	X	
013300 – Submittal Procedures - Shop Drawings, Product Data and Samples	X	
013310 – Agreement and Waivers	X	
014000 – Quality Requirements	X	
014200 - References	X	
015000 – Temporary Facilities and Controls	X	
016000 – Product Requirements	X	
017300 - Execution	X	
017329 – Cutting and Patching	X	
017700 – Closeout Procedures	X	
017823 – Operation and Maintenance Data	X	
017839 – Project Record Documents	X	

017900 – Demonstration and Training	X	
DIVISION 2 SECTIONS – EXISTING CONDITIONS		
024119 – Selective Structure Demolition	X	
DIVISION 3 SECTIONS - CONCRETE		
031000 – Concrete Formwork	X	
032000 – Concrete Reinforcement	X	
033000 – Cast in Place Concrete	X	
035113 – Cementitious Wood Fiber Planks	X	
036000 – Epoxy Grout	X	
036001 - Grouting	X	
DIVISION 4 SECTIONS - MASONRY		
040111 – Exterior Surfaces Cleaning	X	
042000 – Unit Masonry	X	
DIVISION 5 SECTIONS - METALS		
051200 – Structural Steel Framing	X	
053123 – Steel Roof Decking	X	
052600 – Composite Metal Decking	X	
055000 – Metal Fabrications	X	
055213 – Pipe and Tube Railings	X	
055313 – Bar Gratings	X	
DIVISION 6 SECTIONS		
061000 – Rough Carpentry	X	
061600 - Sheathing	X	
061760 – Metal Plate Connected Wood Trusses	X	
064023 – Interior Architectural Woodwork	X	
DIVISION 7 SECTIONS		
071413 – Fluid Applied Waterproofing	X	
072100 – Thermal Insulation	X	
072723 – Spray Polyurethane Foam Insulation and Air Barrier	X	
072726 - Fluid Applied Membrane Air Barriers	X	
073200 – Roof Tile	X	
075323 – EPDM Roofing	X	
076200 – Sheet Metal Flashing	X	
077100 – Roof Specialties	X	
077200 – Roof Accessories	X	
077600 – Pedestal Paver System	X	
078413 – Penetration Firestopping	X	
078446 – Fire-Resistive Joint Systems	X	
079200 – Joint Sealants	X	
DIVISION 8 SECTIONS		
081113 – Hollow Metal Doors and Frames	X	
081433 – Stile and Rail Wood Doors	X	
083113 – Access Doors and Frames	X	

VOLUME 2 – SPECIFICATIONS – Divisions 20-32		
DIVISION 20 SECTIONS		
NOT USED		
DIVISION 21 SECTIONS		
NOT USED		
DIVISION 22 SECTIONS		
220501 – Basic Plumbing Requirements	X	
220502 – Agreement and Waiver for the Use of Electronic files	X	
220502A – Electronic Files – Heapy Release Form to Contractors	X	
220504 – Basic Plumbing Materials and Methods	X	
220505 – Firestopping	X	
220507 – Piping Materials and Methods	X	
220509 – Excavation, Backfill and Surface Restoration	X	
220519 – Meters and Gauges for Plumbing Piping	X	
220523 – General Duty Valves for Plumbing Piping	X	
220529 – Hangers and Supports for Plumbing Piping	X	
220530 – Bases and Supports for Plumbing Equipment	X	
220553 – Identification of Plumbing Piping and Equipment	X	
220719 – Plumbing Piping Insulation	X	
221116 – Interior Domestic Water Piping	X	
221119 – Interior Domestic Water Piping Specialties	X	
221316 – Interior Drainage and Vent Systems	X	
221319 – Drainage System Specialties	X	
221329 – Plumbing Pumps - Drainage	X	
223300 – Domestic Water Heaters	X	
224200 – Plumbing Fixtures	X	
DIVISION 23 SECTIONS		
230501 – Basic HVAC Requirements	X	
230502 – Agreement and Waiver for the Use of Electronic files	X	
230502A – Electronic Files – Heapy Release Form to Contractors	X	
230504 – Basic HVAC Materials and Methods	X	
230505 – Firestopping	X	
230507 – Piping Materials and Methods	X	
230513 – Electrical Requirements for HVAC Equipment	X	
230529 – Hangers and Supports for HVAC Equipment	X	
230530 – Bases and Supports for HVAC Equipment	X	
230549 – Vibration Control for HVAC	X	
230553 – Identification of HVAC Piping and Equipment	X	
230593 – Testing, Adjusting and Balancing for HVAC	X	
230713 – Duct Insulation	X	
230719 – HVAC Pipe Insulation	X	
230923 – Building Automation System for HVAC	X	
230925 – Instrumentation and Control Devices for HVAC	X	
230947 – Control Power and Wiring for HVAC	X	
232113 – Hydronic Piping	X	

232300 – Refrigerant Piping	X	
233113 – HVAC Ductwork	X	
233300 – Air Duct Accessories	X	
233400 – HVAC Fans	X	
233700 – Air Outlets and Inlets	X	
233716 – Fabric Ductwork	X	
236215 – Condensing Units Air Cooled	X	
238216 – Cooling Coil	X	
238239 – Unit Heaters	X	
DIVISION 26 SECTIONS		
260501 – Basic Electrical Requirements	X	
260502 – Agreement and Waiver for Use of Electronic Files	X	
260502A – Electronic Files – Heavy Release Form to Contractors	X	
260504 – Basic Electrical Materials and Methods	X	
260505 – Firestopping	X	
260509 – Excavation, Backfill and Surface Restoration	X	
260519 – Low-Voltage Electrical Power Conductors - Copper	X	
260526 – Grounding and Bonding for Electrical Systems	X	
260533 – Raceways and Boxes for Electrical Systems	X	
260543 – Manholes, Handholes, Underground Ducts and Raceways for Electrical	X	
260553 – Identification for Electrical Systems	X	
260923 – Lighting Control Devices	X	
262416A – Panelboards	X	
262726 – Wiring Devices and Coverplates	X	
262813 – Fuses	X	
262816 – Disconnect Switches	X	
262913 – Motor Controllers	X	
265113 – Interior Luminaires Lamps and Ballasts	X	
265200 – Exit and Emergency Lighting	X	
265600 – Exterior Lighting	X	
DIVISION 27 SECTIONS		
NOT USED		
DIVISION 28 SECTIONS		
283100B – Fire Detection and Alarm (Addressable)	X	
DIVISION 31 SECTIONS		
311000 – Site Clearing	X	
Refer to Site / Civil Drawings		
DIVISION 32 SECTIONS		
321216 – Asphalt Paving	X	
323300 – Site Furnishings	X	
329200 – Turf and Grasses	X	
DIVISION 33 SECTIONS		
Refer to Site / Civil Drawings	X	

END OF INDEX

SECTION 000500 – PRELIMINARY PROJECT SCHEDULE (ADDENDUM 02)

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 PROJECT SCHEDULE

- A. First Advertisement: By **November 10, 2023**
- B. Second Advertisement: By **November 17, 2023**
- C. Pre-bid Meeting: **November 24, 2023, 9:00 am – (ADDENDUM 01)**
- D. Last Day for Bidder Questions: **December 13, 2023**
- E. Date of Last Addendum: **December 13, 2023**
- F. Bids Due: **Friday, December 15, 2023 – Union County Public Library, 3:00 pm.**
- G. **Week of December 18, 2023:** Meetings with Lowest Responsive Bidders to evaluate and determine Lowest Responsible Bidder.
- H. Recommendations to the Board of Trustees: **January 08, 2024**
- I. Notice of Award: **January 09, 2024**
- J. Issue Notice to Proceed: by **January 15, 2024**
 - 1. Prepare Contracts, obtain signatures
- K. Pre-Construction Conference: Within 15 Days of Contract Execution:
 - 1. **No later than January 30, 2024**
- L. Informational Submittals: **February 15, 2024**
 - 1. List of Key Personnel Assignments: Superintendent, Managers contact information.
 - 2. Submittals Schedule: Prepare list of all required submittals, including submission date for each. Critical path submittals shall be identified and scheduled accordingly, allowing 15 days for Architects initial review.
- M. Construction Start: **February 01, 2024 (ADD 02)**

1. Prepare critical path shop drawings for submission to A/E
- N. Substantial Completion: **Approximately August 2025 (ADD 02)**

END OF SECTION

SECTION 001017 – MODIFICATION TO GENERAL CONDITIONS (ADD 02)

These Supplementary Conditions modify, change, delete from or add to the "General conditions of the Contract for Construction" AIA Document A201 / 2017 Edition, and are hereby made a part of the Contract. Where any Article of the General Conditions is modified or any Paragraph, Subparagraph, or Clause thereof is modified or deleted by these Supplementary Conditions, the unaltered provisions of that Article, paragraph, Subparagraph or Clause shall remain in effect.

ARTICLE 1 – GENERAL PROVISIONS

Add the following Subparagraph 1.1.1.1 as follows:

"The Contract Documents shall include the Bidding Documents such as the Invitation to Bid, the Instructions to Bidders, Sample Forms, the Contractor's Bid, all Addenda and other documents as specifically enumerated in the Owner-Contractor Agreement."

Add the following Subparagraphs 1.1.9 through 1.1.16:

1.1.9 The term "products(s)" as used in the Contract Documents refers to the materials, systems, and equipment provided by the Contractor for use in the Work of the Project.

1.1.10 The terms "warranty" and "guarantee" as used in the Contract Documents shall have the same meanings and shall be defined as "legally enforceable assurance of the duration of satisfactory performance or quality of a product or Work."

1.1.11 Where materials, systems, and equipment items are referred to in the singular, such reference shall not serve to limit the quantity required. Furnish quantities as required by the Contract Documents to complete the Work.

1.1.12 The Project Manuals are the volumes which include the Bidding Documents and Bid Forms; the Contracts, Conditions of the Contract and Division 1 - General Requirements, and the specifications noted on the drawings. Requirements set forth in the various sections of the Project Manual are interrelated and are binding on the Contractor in their entirety whether issued as one or multiple documents or volumes.

1.1.13 The term "Contractor" as used in the Contract Documents refers to the Contractor.

1.1.14 The general character and scope of the physical construction are shown by the drawings. Where a portion of the Work is fully drawn and the remainder is merely indicated, the portion fully drawn shall apply.

1.1.15 Calculated dimensions shall be followed in preference to scaled measurements. Dimensions on drawings and within the physical construction are subject to field verification.

1.1.16 Reasonable Time - Whenever a "reasonable time" is specified in any of the Contract Documents, the time allowed shall be forty eight (48) hours, weekends and holidays excluded, unless otherwise indicated or agreed upon. However, if it is necessary for any Contractor or Subcontractor to repair or replace any work after final acceptance of all work, the repair or replacement shall be done forthwith without regard for the foregoing provisions.

Add the following Subparagraphs 1.2.4, 1.2.5, and 1.2.6:

1.2.4 The limits of the Work shall not be restricted because of the arrangement of the Specifications. Where responsibility for particular work is required of a particular trade or contract, that trade or contract shall not be released from that responsibility by reason of the location of the specification working or drawing information which establishes the responsibility.

1.2.4.1 It is understood and agreed by the Contractor that the Work described in the Contract Documents is intended to be as complete as possible. The Contractor shall be held to provide all labor, equipment, materials, and related services necessary for the entire completion of the physical construction described in the Contract Documents and reasonably implied therefrom. The Contract Documents indicate the intended occupancy and utilization of the building and its individual systems, facilities, and components, and it is intended that the Contractor supply a building that is fit for the indicated use.

1.2.5 Should the Contract Drawings and Specifications be in disagreement with each other relative to quality or quantity of Work required, the better quality and/or the greater quantity shall govern, and shall be provided, unless instructions are otherwise furnished to the Contractor by the Architect in writing. If an item is shown on the Drawings, but not specified, the Contractor shall provide the item of a similar quality to other items specified, as determined by the Architect. If an item is specified but not shown on the Drawings, it shall be located as directed by the Architect.

1.2.5.1 Where a number is listed in the Contract Documents (as for gauges, weights, temperatures, amount of time, etc.) the number shall be interpreted as that or better. Variations must be requested in writing by the Contractor and must be approved in writing by the Architect.

1.2.6 The Contractor shall perform its duties hereunder with due diligence; in a good and workmanlike manner using new, good quality materials; in full compliance with the Drawings and Specifications; in accordance with all applicable laws, ordinances, and rules, and regulations.

1.5.2 After the last word "consultants," insert the phrase ",which shall not be unreasonably withheld."

ARTICLE 2 - OWNER

Add the following Paragraph 2.5:

2.5 COST OF COMPLETION

2.5 Neither the Owner nor its officers, agents, employees, or representatives are in any way liable or accountable to the Contractor for the method by which completion of Work, or any portion thereof, is accomplished or for the price paid therefore. The Contractor is responsible for all costs of completing the work in excess of the Contract Sum. The Owner does not forfeit the right to recover damages from the Contractor for failure to complete the Contract by taking over the work or declaring the Contractor in default. Maintenance of the work remains the Contractor's responsibility.

ARTICLE 3 - CONTRACTOR

Add the following Subparagraph 3.2.2.1:

3.2.2.1 The Drawings shall not be scaled. Indicated or figured dimensions shall be followed: In case of any discrepancy in the figures, the Contractor shall bring the matter to the attention of the Architect for decision before proceeding with the Work. Failure to follow this procedure shall be at the Contractor's own risk.

To Subparagraph 3.4.1 add the following Clause 3.4.1.1:

3.4.1.1 The Contractor shall place orders for materials and equipment to be incorporated in the Work as soon as possible after award of the Contract and receipt of approvals where applicable. The Contractor shall keep the Architect informed as to availability of all specified materials and equipment.

Add the following Subparagraphs 3.4.4 and 3.4.5:

3.4.4 The Contractor agrees that neither he nor his subcontractors will discriminate against any employee or applicant for employment, to be employed in the performance of this Contract, with respect to hire, tenure, conditions, or privileges of employment, or any matter directly or indirectly related to employment, because of race, age, sex, color, religion, national origin, ancestry, or sexual orientation. Breach of this covenant may be regarded as a material breach of this Contract.

3.4.5 The Contract Sum will not be increased because of increases in labor rates, increases in material and equipment costs, and/or increases in equipment rental charges.

Add the following Subparagraphs to 3.5 as follows:

3.5.1 When so requested by the Architect, the Contractor and his Subcontractors and manufacturers or suppliers shall certify in writing that materials furnished by them comply with requirements described in Specifications and reference standards, including tests, and are so guaranteed by them. Certification shall be by affidavit from Contractor if so requested by the Architect.

3.5.2 As part of the Work, the Contractor shall properly adjust and regulate all systems and equipment so that such systems and equipment will function as intended; and it is understood that such systems and equipment cannot be properly regulated or adjusted until they are in actual use or operation.

3.5.3 The Contractor shall not be relieved of his general warranty obligation by the specification of a particular product or procedure.

3.5.4 The Contractor shall warrant all Work for a period of two years after the date established for substantial completion. Determination of this date shall be at the Architect's sole and absolute discretion and shall be final. The Contractor shall replace, without cost to the Owner or interference with Owner's operation, any defective workmanship or materials. All work shall be completed to the satisfaction of the Owner and Architect.

3.5.5 Manufacturers and fabricators of materials and products shall warrant their materials or products for a minimum period of one year after the date of substantial completion unless otherwise indicated in the Specifications. Owner may request such warranties in writing.

3.5.6 The responsibility for defective work shall not terminate at the end of the guarantee period. The Contractor shall continue to provide even beyond the two-year period, without limitation, such additional replacements or repairs required to correct all defective workmanship and materials for which written notice of the failure of compliance with Contract Documents has been given prior to the expiration of the two-year period.

3.5.7 The provisions contained in this paragraph 3.5 shall not be construed as restricting the Contractor's liability (or the Owner's right to recover damages) for breach of Contract by reason of non-conformance with the specifications or defects or faulty workmanship.

To Subparagraph 3.6 add the following Clauses 3.6.1, 3.6.2, 3.6.3, 3.6.4:

3.6.1 The Contractor shall pay all Social Security, unemployment and other taxes required by Federal, State, and Local Laws.

3.6.2 Contractors shall be responsible for informing themselves of tax laws, requirements, regulations, and interpretations as they apply to this Project.

3.6.3 Unless otherwise specified, the Contract Sum shall include all taxes applicable under tax laws in effect as of the date of Bid Opening, and which are applicable to the Work. If tax laws are subsequently amended by legislation, equitable net adjustment to the Contract Sum shall be made upon claim by either party involved. Separate Contractors and Subcontractors shall pay all taxes on materials, labor, or services furnished by them.

3.6.4 As provided in Clause 3.6.1, allowances shall include all applicable taxes, and failure by the Contractor to include applicable taxes shall not be cause to increase the Contract Sum.

Add the following Subparagraph 3.7.1:

3.7.1.1 The Contractor shall obtain and pay for a Certificate of Occupancy as required by governing authorities prior to final acceptance of the Project. Certificate shall be forwarded to the Owner.

3.7.1.2 LWC Incorporated will submit documents to the State and the Contractor shall obtain and pay for the General Building Permit as required by authorities having jurisdiction. All other permits, fees required by local authorities of the Contractor or his Sub-contractors shall be included with the Contractor's Bid. The Contractor shall obtain and pay for the "Occupancy Permit".

3.7.1.3 The Contractor shall obtain and pay for required "Tap in Fees".

3.7.1.4 The Contractor shall pay for the "Aid to Construction" charge.

Add the following Paragraph 3.10.4 and Subparagraphs 3.10.4.1 through 3.10.4.4:

3.10.4 When it becomes apparent from the weekly progress meeting that any activity completion date may not be met, the Contractor shall take some or all of the following actions at no additional cost to the Owner or the Architect:

3.10.4.1 Increase construction manpower in such quantities as will eliminate the backlog of work and put the Project back on schedule.

3.10.4.2 Increase the number of working hours per shift, shifts per working day, working days per week, or the amount of construction equipment, or any combination of the foregoing as will substantially eliminate the backlog of work and put the project back on schedule.

3.10.4.3 Reschedule activities to achieve maximum practical concurrency of accomplishment of activities and put the Project back on schedule.

3.10.4.4 If a Contractor fails to take any of the above actions within forty-eight (48) hours after receiving written notice, the Owner may take action to attempt to put the Project back on schedule, and deduct the cost of such actions from the moneys due or to become due the Contractor.

To Subparagraph 3.12.2 add the following Clause 3.12.2.1:

3.12.2.1 All Work shall be furnished and installed in accordance with the Drawings, Specifications, and as additionally required by the manufacturer's printed instructions. The Contractor shall review the manufacturer's instructions, and where conflict occurs between the Drawings or Specifications and the manufacturer's instructions, the Contractor shall request clarification from the Architect prior to commencing the work.

Modify Subparagraph 3.12.8 as follows:

3.12.8 In the first sentence, delete the words "approved submittals" and substitute in lieu thereof the words "submittals reviewed by the Architect" and delete the words "Architect's approval" and substitute in lieu thereof the words "Architect's review". In last sentence, delete the words "Architect's approval" and substitute "Architect's review".

Add the following Subparagraph 3.12.8.1:

3.12.8.1 The Contractor shall provide full information to the manufacturer as to the relevant performance requirements and conditions under which materials, systems, or equipment will be expected to operate. Certifications received shall be in the form of a presentation or assurance of performance at the Project site.

Add the following Subparagraph to 3.14:

3.14.3 Contractor and his Subcontractors shall provide chases, holes, and openings which are in correct location and of proper size, in their own work as may be necessary for proper installation of their own and other Subcontractor's work. Subcontractors shall consult with Contractor and any other Subcontractors concerned regarding proper location and size of chases, holes, and openings. In case of failure to leave or cut same in place, the Contractor, or Subcontractor shall cut them afterwards at his own expense. No excessive cutting will be permitted nor shall any structural members be cut without the consent of the Architect.

3.14.4 Each Contractor shall protect his work from damage at all times in a proper manner, or as the Architect may direct. Erect all necessary barriers, furnish and keep lighted and required danger signals at night, employ necessary watch person when required and take every precaution to prevent injury to persons or property.

3.14.5 Each Contractor shall be responsible for any damage which may accrue to the property of any other Contractor connected with the work, or to adjacent private or public properties, or to any portion of the structure which in any way results from the acts or neglect of his employees.

3.14.6 No Contractor shall cut away any structure, or other parts, or in any case allow the same to be done without the full knowledge and consent of the Architect and shall be held responsible for any damage resulting from any violations of the provisions of this clause.

Add the following Subparagraph 3.15.3 through 3.15.7:

3.15.3 All other Contractors and Subcontractors shall deposit their debris in a dumpster. Each Contractor shall be responsible for the removals daily of his crates and cartons in which materials, equipment, or fixtures are received. Failure of a Contractor to do so will require that this be done by the Owner and labor for doing so be charged to responsible Contractor. Debris removed from work site will be transported to an acceptable disposal site. Any debris, mud, or deleterious material from the building site will be removed from said streets at the end of each working day, or before, if directed by the Local Authority.

3.15.4 At the completion of the project, the Contractor, in addition to removal to accumulated rubbish, shall clean all first floor glass, clean windows both sides, replace any broken glass, remove paint, remove stains, spots, and marks from finish work and hardware.

3.15.5 At the completion of the project, the Contractor shall clean all plumbing fixtures and equipment he installs, including any fixtures which were used during construction.

3.15.6 The Contractor shall clean all light fixtures, including lenses, and miscellaneous devices which will include removing bugs, debris, stains, rust, and dirt after the completion of the building. Re-lamp all re-purposed/re-used fixtures. Re-lamp or furnish lamps to Owner for all fixtures used during construction.

3.15.7 The Contractor, at the completion of the work, shall remove all surplus material.

Add the following Subparagraph 3.18.3:

3.18.3 The Contractor shall be obligated to report errors or inconsistencies to the Architect and shall be liable for extra costs resulting from failure to give adequate notice of errors and inconsistencies.

Add the following Paragraph 3.19:

3.19 LABOR DISPUTES

3.19.1 The Contractor agrees to indemnify and hold the Owner and the Architect harmless from any and all losses or damages arising out of jurisdictional labor disputes or other labor troubles of any kind that may occur during performance of the Contract.

To Subparagraph 4.2 add the following Clauses 4.2.15, 4.2.16, 4.2.17:

4.2.15 The Architect will not be responsible for means and methods indicated by submittals.

4.2.16 The Architect will not be responsible for specified construction procedures. The Contractor shall be responsible for all construction means, methods, materials, and procedures. The Specifications may indicate or specify means, methods, and materials (including manufacturer's instructions, and reference codes and standards). Where the Architect makes such reference, it is merely to indicate a standard by which Work may be judged and to indicate means, methods, materials, and systems whose suitability has been demonstrated by "Rules of the Trade", by certified test data, industry standards, governing regulations, and manufacturer's recommendations. The Contractor shall be responsible for making timely objections, proposing alternative, or making discrepancies known to the Architect when procedures and materials are specified.

4.2.17 Products, materials, or methods, etc., were selected by the Architect and are reasonably fit for the particular purpose and for the use indicated; and the Architect may rely on the sellers, manufacturers, fabricators, referenced standard, or Contractor's judgement regarding the specific uses of materials, methods, or equipment.

ARTICLE 5 - SUBCONTRACTORS

To Subparagraph 5.1.1 add the following Clause 5.1.1.1:

5.1.1.1 Material and equipment suppliers shall be included in the definition of Subcontractors.

Add the following Subparagraph 5.1.3:

5.1.3 If any Contractor, Subcontractor, or Sub-Subcontractor desires to obtain the services of any other Subcontractor or Sub-Subcontractor, the party hired to do the work shall become a Subcontractor or Sub-Subcontractor under the party who has hired him, and shall be subject to all provisions of the Contract Documents which pertain to Subcontractors and Sub-Subcontractors as applicable.

Add the following Subparagraph 5.2.5:

5.2.5 The Contractor shall submit, prior to the award of a Contract, to the Architect a list of the names of the Subcontractors proposed for all portions of the Work. The above list shall be submitted either on AIA Document G805 or on the Contractor's letterhead, in which case the list shall identify the work to be done, the firm's name, the address, the phone number, and the contact representative for each Subcontractor listed.

5.2.5.1 No Work shall be commenced and no payment will be approved until the Architect has received the above noted list of Subcontractors.

Add the following Subparagraph 5.3.1:

5.3.1 All subcontracts shall be in writing and the Contractor shall be responsible for forwarding copies to the Architect or Owner upon request.

ARTICLE 6 – CONSTRUCTION BY OWNER OR BY SEPARATE CONTRACTORS

To Subparagraph 6.1.3 add the following Clause 6.1.3.1:

6.1.3.1 The Contractor's cooperation, as required by Subparagraph 6.1.3 shall include, but not necessarily be limited to, requirements for phased construction, the Owner's phased occupancy and all other needs for the project.

Add the following Subparagraph 6.1.5:

6.1.5 Any use of the premises and partial occupancy by the Owner shall not be construed as an acceptance of any portion of the Work nor a waiver of any claims.

ARTICLE 7 - CHANGES IN THE WORK

Add the following to Subparagraph 7.1:

7.1.4 The Contractor shall promptly notify the Architect should the Contractor encounter any concealed condition which might result in a claim for adjustment of the Contract Sum including adjustment on the basis of established unit prices. Failure to promptly notify the Architect will waive the right of the Contractor to seek an increase in the Contract Sum.

7.1.5 The Contractor shall verify all information given prior to beginning his work. The Contractor shall make careful investigation to establish the exact location of items indicated on the Drawings. The Contractor shall be responsible for all costs arising out of damage to such items which result from his work.

7.1.6 The Contractor shall be alert to any indication or evidence of existing or concealed utilities not shown on the Drawings and shall notify the Architect of such evidence. If the Contractor encounters such utilities or structures he shall cease operations immediately to minimize damage, and shall notify the Architect. Cost of unavoidable initial damage, and such supplemental and remedial work which is ordered by the Architect, shall be borne by the Owner in accordance with the General Conditions. The Contractor shall bear the cost of damage resulting from his failure to exercise reasonable care in his work, or from continuing operations without notifying the Architect.

7.1.7 Contractors bidding on this work are encouraged to visit the site and determine all local conditions that may in any way affect their work.

7.1.8 After award of the Contract, no substitutions of manufacturer, products, materials, equipment, or technique will be considered unless a formal written request is submitted by the Contractor to the Architect and substantiated by one or more of the following conditions:

7.1.8.1 Required for compliance with code requirements or insurance regulations not existing at the time of award of the Contract.

7.1.8.2 Impossibility of supplying in conformance with the Contract Documents, through no fault of the Contractor.

7.1.8.3 Where the substitution would clearly serve the Owner's best interest, in terms of cost, time, value, or other consideration.

7.1.8.4 Represents that the Contractor has personally investigated the proposed substitute product and determined that it is equal or superior in all respects to that specified;

7.1.8.5 Represents that the Contractor will provide the same warranty for the substitution that the Contractor would for that specified;

7.1.8.6 Certifies that the cost data presented is complete and includes all related costs under this Contract but excludes costs under separate contracts, and excludes the Architect's redesign costs, and waives all claims for additional costs related to the substitution which subsequently become apparent; and

7.1.8.7 Will coordinate the installation of the accepted substitute, making such changes as may be required for the Work to be complete in all respects.

7.1.8.8 Substitution requests shall be timely, stating the reason why the substitution is being proposed and accompanied by complete data on the proposed substitution, substantiating compliance with the Contract Documents including product identification and description; drawings and catalog cuts; performance and test data, references and samples where applicable; and an itemized comparison of the proposed substitution with that as originally specified along with data relating to other portions of the work and the effect of such substitution on the Contract time schedule, design and artistic effect where

applicable, and its relationship or effects on separate Contracts, if any; and accurate cost data on the proposed substitution in comparison with that as originally specified whether or not modification of the Contract Sum is to be a consideration.

7.1.8.9 The Architect shall be the judge of all proposed substitutions and his decision shall be final. Acceptable changes shall be incorporated in the Contract by Change Order, by Shop Drawings in accordance with Subparagraph 3.12.8, or other written order.

7.1.9 By making requests for substitutions, the Contractor:

7.1.9.1 Represents that he has personally investigated the proposed substitute product and determined that it is equal or superior in all respects to that originally specified.

7.1.9.2 Represents that he shall provide the same guarantee or warranty for the substitution that would be required for the item originally specified;

7.1.9.3 Certifies that the cost data presented is complete and includes all related costs under this Contract but excludes costs under Separate Contracts, and excludes the Architect's re-design costs, and further waives all claims for additional costs related to the substitution which subsequently become apparent; and,

7.1.9.4 Shall coordinate the installation of the accepted substitute, making such changes as may be required for the Work to be complete in all respects.

7.1.10 Substitutions will not be considered if:

7.1.10.1 They are indicated or implied on Shop Drawings, Product Data, or Sample submissions without the formal written request required in applicable Subparagraph above; or,

7.1.10.2 For their implementation they require a substantial revision of the Contract Documents or work of the Owner or separate contractors in order to accommodate their use.

To Subparagraph 7.2.1 add the following Clauses 7.2.2, 7.2.3, and 7.2.4:

7.2.2 If requested, the Contractor shall submit to the Architect a detailed breakdown.

7.2.3 CHANGE ORDER PRICING GUIDELINES

- A. Labor - all field labor expended by the Trade Contractor at the base rate without fringe benefits. The payroll to be based on straight time (if overtime is needed, it should be included in the proposal), and to include number of hours and rate for each item in Bulletin.
- B. All establishing payroll taxes, assessments and fringe benefits. This may include Bond, FICA, Federal Unemployment, Local Health and Welfare, Local Pension Fund, State Unemployment Workers' Compensation, Public Liability and Property, Local Apprentice Fund. Each of these categories is to be a separate line item.

- C. Rental:
Heavy equipment and trucking.
- D. Travel Expense:
 - 1. Travel expense for men brought to the job specifically for this work.
- E. Overhead:
 - 1. Overhead on Items A, B, C, D: 10 percent.
- F. Materials:
 - 1. All materials purchased by the Trade Contractor for this work.
 - 2. Agreed on value of materials taken from the Contract work, either as used or unused new materials.
- G. Profit on Items A, B, C, D, E, F: 5 percent.
- H. All Trade Subcontractor labor and material (enclose quotations).
- I. Trade Subcontractor Overhead and Profit:: 8 percent
- J. Other reimbursable items - (without overhead or profit):
 - 1. Extra "out of pocket" insurance premiums, job connected.
 - 2. Telephone, telegrams, photos, etc.
 - 3. Fees for permits, licenses, inspections, etc.
 - 4. Premium payments for overtime work or special conditions.
- K. The use of the Trade Contractors' small tools, light weight equipment, gear, simple scaffolds, etc., shall be considered a part of the overhead cost.
- L. The Architect reserves the right to approve items entering into the "actual field cost" before commitments are made.
- M. The Owner has the right to audit the Contractor's records insofar as the "line item cost" work is concerned.

7.2.4 Proposals are submitted to the Architect on the approved form. Attached to Proposal shall be an Itemized Breakdown of each Item Applicable A through L used in preparing Estimate.

ARTICLE 8 - TIME

To Subparagraph 8.1.1 add the following Clause 8.1.1.1:

8.1.1.1 The Contract Time is a period of time allotted in the Contract Documents for the Substantial completion of all Work as defined in Subparagraph 8.1.3, including authorized adjustments thereto. The Contract Time includes the time required for clean up and preparation for Owner move in. The time required for Contractor shall be in accordance with the durations established in the Progress Schedule.

To Subparagraph 8.1.2 add the following Clause 8.1.2.1:

8.1.2.1 Notice to proceed will be issued to the Contractor. The Contractor shall obtain insurance and permits, file documents, and notices as required and necessary, and shall commence the Work immediately.

Add the following Subparagraphs 8.2.4 and 8.2.5:

8.2.4 Each Contractor and Subcontractor shall prosecute the work regularly and diligently at a rate of progress that maintains the Project Schedule and that insures the achievement of Substantial completion and the issuance of a "Certificate of Substantial Completion" no later than that date specified by the Project Schedule.

8.2.5 The items listed in the Architect's Certificate of Substantial Completion to be completed or corrected shall be completed by the Contractor and Subcontractor within 10 days after the Owner's and Contractor's written acceptance of the responsibilities assigned to them in such Certificate, as stated in Paragraph 9.8 of the General Conditions. Items not completed or corrected within 10 days of the date of Substantial Completion shall be completed or corrected by the Contractor and Subcontractor within the next 30 days but only during non-business hours of the Owner's facility, at no additional cost to the Owner.

8.3.1 Delete the term "arbitration".

To Subparagraph 8.3.1 add the following Clauses 8.3.1.1 and 8.3.1.2:

8.3.1.1 Wherever any provisions of any Section of the Contract Documents conflict with any agreements or regulations of any kind at any time in force among members of any Trade Associations, Unions, or Councils which regulate or distinguish what work shall or shall not be included in the work of any particular trade, the Contractor shall make all necessary arrangements to reconcile any such conflict without delay, recourse, damage, or cost to the Owner or the Architect.

8.3.1.2 In case the progress of the Work is affected by any undue delay in furnishing or installing any items of material or equipment required under the Contract Documents because of a conflict involving any such Labor Union agreement or regulation, the Owner or Architect may require that other material or equipment of equal kind or quality be provided at no additional cost to the Owner or Architect.

Add the following Subparagraphs 8.3.4, 8.3.5, 8.3.6, and 8.3.6:

8.3.4 Contractor's written claims for extension of time shall be accompanied by detailed dates, correspondence, notices, and other data which provide proof of the events which are the basis for the claim.

8.3.5 Delays due to tardy shop drawings submittal, tardy material ordering, or shipment, or any other delays caused by a supplier or a Subcontractor of the Contractor shall not be deemed valid causes for delay and shall not be accepted as a basis for claims for extension of time, as the scheduling and control of suppliers and Subcontractors is a part of each Contractor's responsibility.

8.3.6 Time extensions will be granted for legitimate cause to a Contractor on an individual basis. Granting of a time extension to one Contractor does not imply nor will it necessarily constitute the granting of similar time extensions to other contractors. Extensions of time, when granted, will be by written Change Order, which shall be the only valid form. Where a change in the Work is ordered by written Change Order, any agreed upon extension of time required because of the change in the Work

shall be a part of the Change Order. No extension of time will be granted subsequent to the execution of a change order, on account of work which is changed by said Change Order. Permitting the Contractor to continue and finish the work after the dates to which the time for completion may have been extended, shall in no way operate as a waiver on the part of the Owner of any of his rights under the Contract.

Add the following Paragraph 8.4 and related Subparagraphs 8.4.1 through 8.4.6:

8.4 RECOVERY OF DAMAGES

8.4.1 It is hereby understood and mutually agreed, by and between the Contractor and the Owner, that the date of beginning and the time for completion as specified in the Contract, of the work to be done hereunder, are essential conditions of this Contract; and it is further mutually understood and agreed that the work embraced in this Contract shall be commenced on a date to be specified in the Notice to Proceed.

8.4.2 The Contractor agrees that said work shall be prosecuted regularly, diligently, and uninterruptedly at such rate of progress as will insure full completion thereof within the time specified. It is expressly understood and agreed, by and between the Contractor and the Owner, that the time for the completion of the work described herein is an achievable time for the completion of the same, taking into consideration the average climatic range and usual industrial conditions prevailing in this locality.

8.4.3 There is no liability for damages upon work resulting from delay caused by third persons which is not the result of interference on the part of the Owner as a contracting party. Any loss that may ensue that is caused by the failure of the Contractor to finish his work at a scheduled time is the responsibility of the Contractor.

8.4.4 It is further agreed that time is of the essence of each and every portion of this Contract and of the Specifications wherein a definite and certain length of time is fixed for the performance of any act whatsoever; and where under the Contract an additional time is allowed for the completion of any work, the new time limit fixed by such extension shall be of the essence of this Contract provided that the Contractor shall not be charged with damages when the delay in completion of the work is due:

1. To any preference, priority, or allocation order duly issued by the Government.
2. To unforeseeable cause beyond the control and without the fault or negligence of the Contractor, including but not restricted to, acts of God, or the public enemy, acts or omissions of another Contractor in the performance of a Contract with the Owner, fires, floods, epidemics, quarantine restrictions, strikes, freight embargoes, and unusually severe weather; and
3. To any delays by Subcontractors or Suppliers occasioned by any of the causes specified in 1 and 2 of this Subparagraph.
4. To a stop work order which may only be issued by the Owner or the Architect with a copy of the order sent by registered mail.
5. To sizable Change Orders that affect timing and cause delays that involve extra work on the part of the Contractor.

Provided further, that the Contractor shall, within twenty (20) days from the beginning of such delay, inform the Architect in writing of the cause of delay. Within fifteen (15) days of the Contractor's request, the Architect will recommend or approve with comments concerning data or circumstances for the delay. Delay time will be evaluated near the completion of the Project and consideration will then be given for any extensions the Owner believes have been justified.

ARTICLE 9 - PAYMENTS AND COMPLETION

To Subparagraph 9.3.1 add the following Clause 9.3.1.3:

9.3.1.3 Pay application to be submitted on AIA G703.

Add the following Subparagraphs 9.3.4, 9.3.5, 9.3.6, and 9.3.7:

9.3.4 Until the Work is 50 percent (50%) complete, the Owner will pay 90 percent (90%) of the amount due the Contractor on account of progress payments for labor. There shall be paid to the Contractor a sum at the rate of 90% of the invoice costs, not to exceed the bid price for material delivered to the site or other approved storage area, but not incorporated into the work. At the time the Work is 50 percent complete and thereafter, if the manner of completion of the Work and its progress are and remain satisfactory to the Architect and Owner and in the absence of other good and sufficient reasons, the Architect with the consent of the Owner, will (on presentation by the Contractor of Consent of Surety for each Application) and at the request of the Contractor, may, at his discretion, deduct the increment retained in connection with any subsequent progress payments, or make any subsequent progress payments in full. Unconditional waiver of lien must be included with pay application.

9.3.4.1 The full retainage of 10% of the entire Contract Amount may be reinstated if the manner of completion of the Work and its progress do not remain satisfactory to the Owner, or the Architect, or if the Surety withholds its consent, or for other good and sufficient reasons.

9.3.5 The Contractor shall pay for transportation, services, materials, tools, expendables, and subcontract work. Each payment shall be in an amount equal to the percentage of completion allowed to the Contractor for each item or category, less the same percentage retained from payments to the Contractor.

9.3.6 In order to facilitate the Contractors' timely ordering and delivery of materials so as to minimize the Contractor's difficulties which could arise out of failure to have proper materials and equipment on hand when needed for construction, the Owner will make payment on account of materials or equipment not incorporated in the Work, but delivered and suitably stored at some other location, if prior approval has been obtained from the Architect for such storage. Owner's payment will be contingent upon receipt of the Contractor's statement of responsibility in a form acceptable to the Owner. The Owner's payment for off-site stored materials will not include the Contractor's overhead and profit. Contractor's statement of responsibility shall as a minimum:

9.3.6.1 Accurately describe the material and/or equipment for which payment is being requested.

9.3.6.2 State the amount of payment being requested. The amount of payment being requested shall not include the Contractor's overhead and profit.

9.3.6.3 Be accompanied by such invoices or bills of sale as the Owner or Architect requires in order to verify the amount of payment being requested.

9.3.6.4 Identify the location of the off-site storage.

9.3.6.5 Be accompanied by a Certificate of Insurance showing type and limits of coverage acceptable to the Owner.

9.3.6.6 Include a statement by the Contractor agreeing that the Owner's payment for off-site stored material and/or equipment in no way relieves the Contractor from performing all the Work required by the Contract Documents, and further, indemnifying the Owner against all damages, losses, and expenses arising out of any circumstance associated with loss of damage of off-site stored materials for which the Owner makes payment.

9.3.6.7 Be signed by a person who is authorized to sign agreements on behalf of the Contractor, said signature being witness by a Notary Public.

9.3.7 Contractor shall be fully responsible for all procedures necessary to protect himself from damages, losses, and expenses arising out of loss or damage to off-site stored materials for which the Owner has made payment, which procedures may include but not limited to Bonded Warehousing, adequate insurance, etc.

In Subparagraph 9.5.1 add the following to the list concerning the withholding of payments:

- .8 Erroneous estimates by the Contractor of the value of the work performed.
- .9 Unauthorized deviations by the Contractor from the Contract Documents.
- .10 Failure of the Contractor to provide record documents.
- .11 Failure to provide materials and subcontractor list prior to initial pay request.
- .12 Failure to provide and update Progress Schedule.
- .13 Failure to provide contract cost breakdown prior to first pay request.
- .14 Failure to provide a neat, error-free, legible request; one copy of which must be an "original" copy.
- .15 Failure to keep record documents up to date on a monthly basis.
- .16 Funds may also be withheld on account of damages resulting from the Contractor's failure to give notice of errors and inconsistencies.
- .17 Failure to provide documentation required for Living Building Challenge Certification.
- .18 Failure to keep documentation required for Living Building Challenge Certification up to date on a monthly basis.

Delete Subparagraph 9.10.4 entirely.

Add Subparagraph 9.10.6

9.10.6 The acceptance by the Contractor of final payment shall further constitute a release of the Owner and Architect from all uninsured liability for all things done or furnished in connection with the Work and for every uninsured act of omission or neglect by the Owner and Architect relating to or arising out of the Work. Each Contractor, before final payment, shall also execute and deliver a general release to the Architect of all liability as set forth in the preceding sentence.

ARTICLE 10 - PROTECTION OF PERSONS AND PROPERTY

To Subparagraph 10.1 add the following Clause 10.1.1:

10.1.1 Contractor shall provide methods and equipment for protecting the building, all materials, and personnel from fire damage prior to starting work. Methods and equipment are subject to approval of the local fire department or State Fire Marshal which shall have jurisdiction.

To Subparagraph 10.2.2 add the following Clause 10.2.2.1:

10.2.2.1 The Contractor shall comply with the Department of Labor Occupational Safety and Health Act (OSHA). "Act" means the William-Stiger Occupational Safety and Health Act of 1970 (84-State 1590). The Contractor shall also comply with all applicable provisions of the "Manual of Accident Prevention in Construction" of the Associated General Contractors of America, Inc., and IC-3 of the Industrial Commission of Ohio.

Delete Subparagraph 10.2.8 and substitute the following:

10.2.8 If any party suffers injury or damage to person or property because of an act or omission of another party, or of others for whose acts such party is legally responsible, written notice of such injury or damage, whether or not insured, shall be given to the other party within a reasonable time not exceeding 21 days after discovery. The notice shall provide sufficient detail to enable the other party to investigate the matter.

ARTICLE 11 – INSURANCE AND BONDS

Delete Subparagraph 11.1.2 and substitute the following:

11.1.2 The insurance required by Section 11.1.1 shall be written for not less than limits of liability specified in the Contract Documents or required by law, whichever coverage is greater. Coverages shall be written on an occurrence basis and be maintained without interruption from the date of the commencement of the Work until the date of final payment and termination of any coverage required to be maintained after final payment, and, with respect to the Contractor's completed operations coverage, until the expiration of the period for correction of Work or for such other period for maintenance of completed operations coverage as specified in the Contract Documents.

11.1.2.1 The Insurance required by Subparagraph 11.1.1 shall be written for not less than the following:

1. Worker's Compensation
 - (a) State Statutory
 - (b) Applicable Federal Statutory
(e.g., Longshoremen's)
2. Contractor's Liability Insurance
 - (a) The Contractor shall acquire and maintain during the term of the Contract Bodily Injury and Property Damage Liability Insurance under a standard Comprehensive General/Automobile Liability Policy which shall provide and include coverage on all Contractor's Operations, Contractor's Protective (Sublet) Liability, Contractual Liability, Completed Operations Liability, Owned Automobiles, and Non-Owned and Hired Automobiles.
 - (b) Coverage for an "if any" basis. Property Damage Liability Insurance shall be provided on any demolition, blasting, excavating, shoring or similar operation on an "if any" basis.
 - (c) Bodily Injury Liability limits shall be for an amount of no less than Five Hundred Thousand Dollars (\$500,000.00) for injuries, including wrongful death to any one person, and subject to the same limit for each person, in an amount of not less than One Million Dollars (\$1,000,000.00) on the account of any one occurrence..
 - (d) Property Damage Liability Insurance in an amount of not less than Five Hundred Thousand Dollars (\$500,000.00) per occurrence with General Liability extended to provide "Broad Form Property Damage Liability", and in an amount of not less than Two Million Five Hundred Thousand Dollars (\$2,500,000.00) aggregate for damage on account of all occurrences.
 - (e) Any combination of underlying Comprehensive General/Automobile Liability coverage with Umbrella/Excess Liability coverage which provides no less than Two Million Five Hundred Thousand Dollars (\$2,500,000.00) Single Limit Bodily Injury & Property Damage Liability Insurance for the Contractor will also be acceptable.

Add the following Subparagraph 11.1.4 as follows:

11.1.4.1 The Contractor shall furnish one (1) copy of each Certificate of Insurance herein required for each copy of any applicable agreement which shall specifically set forth evidence of all coverage required. The form of the Certificates shall be AIA Document G705 or similar form. The Contractor shall furnish to the Owner copies of any endorsements that are subsequently issued amending coverage or limits.

Add the following Subparagraph 11.1.5:

11.1.5 No Contractor shall be allowed to continue to work on site after the expiration of full insurance coverage. Contractor progress payments shall be withheld until current Certificates of Insurance are submitted to the Architect. It is agreed that it is the Contractor's responsibility to maintain the insur-

ance coverages noted below. If the Contractor fails to maintain these coverages, all Liabilities shall be borne by the Contractor, and the Contractor shall Hold Harmless the Owner and the Architect.

To Subparagraph 11.2 add the following Clauses 11.2.1 and 11.2.2.

11.2.1 During the term of the Contract, the Owner will furnish and maintain the following Liability Insurance coverage as provided for in the General Conditions.

To Paragraph 11.3.1.1 add the following Subparagraph 11.3.1.1.1:

11.3.1.1.1 During the term of the Contract, the Owner will furnish the following Property Insurance as provided for in the General Conditions.

- .1 Endorsements: All-risk.
- .2 On the following form: Completed value.
- .3 In the names of the Owner, as their interests may appear with limits as follows: Full insurable value of the Work.

Add the following Subparagraph 11.4.3:

11.4.3 Simultaneously with his delivery of the executed Contract and if required by the Owner the Contractor shall furnish Performance Bond and Labor and Material Payment Bond executed on current AIA forms or related types of forms as required by the Owner. The surety on such bond(s) shall be a duly authorized Surety Company authorized to do business in the State in which the Project is located, and satisfactory to the Owner and Architect. The Contractor shall require the attorney-in-fact who executes the required bonds on behalf of the surety to affix thereto a certified and current copy of his power of attorney, indicating the monetary limit of such power.

ARTICLE 12 - UNCOVERING AND CORRECTION OF WORK

Subparagraph 12.2.2.3: Remove the word "not."

Add the following Subparagraph 12.2.6:

12.2.6 In the case of minor repairs to newly finished interior surfaces of the building (not covered by Property Insurance), the cost of said repairs shall be pro-rated to the Contractors in proportion to the manpower employed during the period when the damage occurred if the Contractor causing the damage is unknown. The Architect will endeavor to determine the Contractor or other parties responsible for damage, but inability to determine responsibility shall in no way waive the Architect's right to pro-rate repair costs.

ARTICLE 13 - MISCELLANEOUS PROVISIONS

13.1 Insert a period (.) after the word "located". Delete the paragraph after that period.

To Subparagraph 13.1 add the following clause 13.1.1:

13.1.1 The governing law shall mean codes or regulations of the State, County, and local municipality where the Project is situated; also, any regulation or requirement of utility companies and insurance companies having jurisdiction of the Work, whether insurance companies having jurisdiction of the Work, whether such regulations are legally mandatory or not, if same are binding upon the Owner. Each trade engaged on the Project shall also be bound by National Codes and standards which apply to materials and practices applying to such respective trades. If, and to the extent that any provision of this contract shall be unlawful or contrary to public policy, the same shall not be deemed to invalidate or otherwise affect the other provisions hereof.

ARTICLE 14 - TERMINATION OR SUSPENSION OF THE CONTRACT

Delete Subparagraph 14.1.1 and substitute the following:

14.1.1 If work is stopped for a period of 30 days under any order of a court or any public authority having jurisdiction, or as a result of any act of government, such as declaration of national emergency making materials unavailable, through no act or fault of the Contractor or subcontractor or their agents or employees or any other persons performing any of the work under a contract with the Contractor, then the Contractor may, upon seven days written notice to the Owner and Architect, terminate the Contract and recover from Owner payment for all work executed and for any proven loss resulting upon any material, equipment, tools, construction equipment and machinery, including reasonable profit.

To Subparagraph 14.2.1 add the following:

- .5 Failure to complete the work within the Contract Time or any extension thereof.
- .6 Failure or refusal to comply with any directive of the Architect within a reasonable time.
- .7 Failure or refusal to remove rejected materials.
- .8 Failure or refusal to perform anew any defective or unacceptable work.
- .9 Bankruptcy or insolvency, or making of an assignment for the benefit of creditors.
- .10 Failure to provide qualified superintendent, or subcontractors to carry on the work in an acceptable manner.
- .11 Failure to prosecute the work according to agreed schedule of completion.

In the event of termination pursuant to Paragraph 14.2.1, Contractor shall, if requested, promptly assign to Owner such of Contractor's subcontracts as Owner may request, and Contractor shall remove such materials, tools, and equipment used by Contractor in the performance of the work as Owner may direct."

Add the following Subparagraph 14.2.3.1:

14.2.3.1 Where the Contractor's services have been so terminated by Owner, said termination shall not affect any rights of Owner against Contractor then existing or which may thereafter accrue. Any retention or payment of moneys by Owner due Contractor shall not release Contractor from liability.

To subparagraph 15.1.1 add the following Clause 15.1.1.1:

15.1.1.1 Claims for additional cost arising out of an error or inconsistency shall be denied where the Contractor has failed to review the documents or report the error or inconsistency.

Delete Subparagraph 15.1.6 entirely.

15.2.5 Insert a period (.) after the phrase "but subject to mediation" and delete the remainder of that sentence.

15.2.6.1 Insert a period (.) after the word "meditate." Delete the remaining sentence after that period.

15.3.1 Delete references to Paragraphs 9.10.4 and 15.1.6.

15.3.2 Delete the paragraph starting with the sentence "The request may be made concurrently with the filing of binding dispute resolution proceedings but ..."

15.4 ARBITRATION – Delete this article entirely.

Add the following Article 16:

16.1 COMMITMENT TO ECONOMIC INCLUSION AND DIVERSITY

16.1.1 Each Contractor shall be committed to maximizing contracting and subcontracting opportunities for qualified businesses who are certified by an organization or entity or who subcontract with businesses so certified, in one of the following categories: Small Business Enterprise ("SBE"), Minority-Owned Enterprise ("MBE"), or Woman-Owned Enterprise ("WBE") (collectively referred to as "certified diverse businesses").

END OF SECTION 000816

DIVISION 26 - ELECTRICAL INDEX

UNION COUNTY PUBLIC LIBRARY RENOVATION AND EXPANSION

Architect
LWC

HEAPY
MEP Engineer
Indianapolis, IN Project No. 2023-07083

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October, 2023

23 37 16 FABRIC DUCTWORK

PART 1 - GENERAL

- 1.1 Fabric ductwork shall be utilized as shown on the drawings and as specified herein.
- 1.2 The fabric duct manufacturer shall study the floor plans and application and the design data noted on the floor plans, and shall provide engineered to scale drawings showing the supports layout, duct runs, orifice layout and performance data, including throws.

The fabric duct supplier shall participate in coordination meetings due to the very limited and congested installation area and complex coordination issues with the other trades such as conduit, sprinkler pipes, dry agent piping, etc..

- 1.3 Fabric ducts shall be listed and labeled in compliance with UL 2518.
- 1.4 Fabric ducts shall be treated with an EPA registered antimicrobial agent.
- 1.5 Manufacturer shall have documented design support information including duct sizing, vent and orifice location, vent and orifice sizing, length and suspension. Parameters for design, including maximum air temperature, velocity, pressure and fabric permeability, shall be considered and documented in the shop drawing submittal.
- 1.6 Manufacturer shall provide a 10-year warranty for products supplied for the fabric portion of this system.

PART 2 - PRODUCTS

- 2.1 Fabric ducts shall be DuctSox Sedona-Xm or equal by FabricAir, KE Fibertec, SoftDucts, or NanoSox, constructed of woven fire-retardant fabric complying with the following physical characteristics:
 - A. Fabric Construction: 100 percent Flame Retardant and treated with a machine washable anti-microbial agent from the manufacturer.
 - B. Weight: 6.75 oz./yd. per ASTM D3776
 - C. Color: determined by Architect (Custom color)
 - D. Custom Graphics: Determined by Architect with coordination with Owner.
 - E. Air Permeability: 2 (+2/-1) cfm/ft. per ASTM D737, Frazier
 - F. Temperature Range: 0 degrees F to 180 degrees F.
 - G. Fire Retardancy: Classified by Underwriters Laboratories in accordance with the flame spread/smoke developed requirements of NFPA 90-A and ICC AC167.
 - H. Antimicrobial agent shall be proven 99 percent effective after 10 laundry cycles per AATCC Test Method 100.
- 2.2 Systems Fabrication Requirements:

- A. Air dispersion accomplished by linear vent and permeable fabric, linear vent to consist of many .187 inch diameter open orifices rather than a mesh style vent to reduce maintenance requirements of mesh style vents.
- B. Size of and location of linear vents to be specified and approved by manufacturer.
- C. Inlet connection to metal duct via fabric draw band with anchor patches as supplied by manufacturer. Anchor patches to be secured to metal duct via. zip screw fastener.
- D. Inlet connection includes zipper for easy removal / maintenance.
- E. Lengths to include required zippers as specified by manufacturer.
- F. System to include Adjustable Flow Devices to balance turbulence, airflow and distribution as needed. Flow restriction device shall include ability to adjust the airflow resistance from 0.06 – 0.60 in w.g. static pressure.
- G. End cap includes zipper for easy maintenance.
- H. Fabric system shall include connectors to accommodate suspension system listed below.
- I. Any deviation from a straight run shall be made using a gored elbow or an efficiency tee. Normal 90 degree elbows are 5 gores and the radius of the elbow is 1.5 times the diameter of the fabric duct.
- J. Provide ring support system, full round to keep the fabric duct system at 98% full round with no air supply.

2.3 Design Parameters:

- K. Fabric diffusers shall be designed from 0.25 inch water gage minimum to 3.0 inches maximum.
- L. Fabric air diffusers shall be limited to design temperatures between 0 degrees F. and 180 degrees F.
- M. Design CFM, static pressure and diffuser length shall be designed or approved by the manufacturer, in accordance with the plans and specs.

2.4 Suspension Hardware

- N. Tension Cable: System shall be installed using a tension cable system in accordance with the requirements of the manufacturer. Instructions for installation shall be provided by the manufacturer with product.

PART 3 - EXECUTION

3.1 Delivery, Storage and Handling

- A. Protect fabric air dispersion systems from damage during shipping, storage and handling.
- B. Where possible, store products inside and protect from weather. Where necessary to store outside, store above grade and enclose with a vented water proof wrapping.

- 3.2 Installation shall be in strict accordance with the manufacturer's instructions, including stretching the fabric duct to be wrinkle free.
- 3.3 Cleaning And Protection:
- C. Clean air handling unit and ductwork prior to the fabric duct system unit-by-unit as it is installed. Clean external surfaces of foreign substance which may cause corrosive deterioration of facing.
 - D. Temporary Closure: At ends of ducts which are not connected to equipment or distribution devices at time of ductwork installation, cover with polyethylene film or other covering which will keep the system clean until installation is completed.
 - E. If fabric duct systems become soiled during installation, they should be removed and cleaned following the manufacturers standard terms of laundry.

END OF SECTION

28 31 00 FIRE DETECTION AND ALARM ADDRESSABLE

PART 1 - GENERAL

1.1 Fire Alarm System

- A. System shall be a microprocessor based double supervised, closed circuit fire alarm system of modular design utilizing addressable technology for remote devices. Wiring shall be Class "B" for signaling and notification circuits. Smoke detectors shall be analog, addressable units with control panel adjustable sensitivity. All units of equipment shall be labeled by Underwriters' Laboratories for fire alarm signaling use and shall comply with UL 864 Ninth Edition.
- B. The fire alarm system and installation shall be in compliance with local, city, state, NFPA, ADAAG and IBC Codes.
- C. The system shall also be UL listed for simultaneous supervisory service to provide supervised monitoring of building safety, security and other building alarms as described herein.
- D. Operation of any addressable manual or automatic fire alarm initiating device shall initiate the following:
 - 1. Sound a Code-3 temporal pattern (non-coded, continuous,) audible fire alarm signal and illuminate fire signal lights in a synchronous mode until alarms have been silenced at the main fire alarm system control panel or at a remote operator's control panel by means of the "alarm silence" switch or the device returned to normal and a "reset" switch is manually actuated.
 - 2. Display alarm condition on integral alphanumeric LCD displays in the control panel(s), and remote annunciator(s), indicating the alarming device and its location. Each manual and automatic alarm initiating device shall be individually addressed.
 - 3. Print the assigned English language message and activate control-by-event functions, with time and date, for the monitored point in alarm at the printer at the control panel.
 - 4. Initiate a separate trouble and alarm signal for connection to the municipal fire department or remote monitoring service organization via two leased telephone lines.
 - 5. Transmit a signal over two supervised telephone lines to a central station operation for fire alarm trouble and alarm conditions via the fire alarm digital communicator.
- E. In the event of operating power failure or an open or a grounded circuit in the system, a trouble signal and trouble LED shall be activated until the system is restored to normal. The trouble event shall be recorded within the control panel historical trouble log, and printed on the system printer (when applicable). The trouble signal may be silenced by means of a button located on the control panel operator's interface. Upon restoration of the system to normal condition, the trouble indicators shall automatically extinguish.
- F. Supervised Monitoring
 - 1. Operation of the supervisory service of the fire alarm system shall provide for the central monitoring and programmed control of various pieces of equipment and/or systems. These pieces of equipment shall be interfaced with the fire alarm system via dry contacts and supervised circuitry utilizing individual addressable modules (Monitor IAM) and

programmable relay control module (Relay IAM) that are connected to the fire alarm systems data wiring.

2. The fire alarm supplier shall provide individual programming for each monitor point and control point for customized response. As a minimum, programmed response shall include the ability to sound the system trouble alarm at any or all operator control panels and annunciators, display unique alpha-numeric messages, re-initiate a silenced alarm that has not been corrected after a programmed time and initiate a higher alarm status for designated alarms that have not been acknowledged in a programmed time.

1.2 Emergency Control Functions and Interfaces

A. Operation of any addressable manual or automatic fire alarm initiating device shall interface with the components described herein.

B. Elevator Emergency Service Mode Controls

1. All existing monitoring and control circuits that are connected to the existing elevator from the existing fire alarm control panel shall be extended to the new fire alarm control panel and remote annunciator. Contractor shall field verify all existing connections and include in his bid. Some of the typical monitoring and control items are listed below.
2. Initiate control signals for primary and alternate elevator recall, via programmable relays located in the elevator machine room, upon receipt of an alarm from associated smoke detectors. An alarm from any non-primary egress level elevator lobby or top of the shaft smoke detectors or elevator machine room, if located in non-primary level shall activate the primary recall function. An alarm from the elevator machine room or main egress level elevator lobby smoke detectors shall activate the alternate recall function. These smoke detectors shall conform to NFPA 72, ANSI / ASME A17.1, and the State Elevator Code.
3. Initiate a control signal for fireman's elevator alert operation, via a programmable relay located in the elevator machine room, upon receipt of an alarm from smoke detectors in the elevator machine room or at the top of the elevator shaft.
4. Initiate a control signal to activate the elevator shunt trip, via a programmable relay located near the shunt trip breaker, upon receipt of an alarm from heat detectors located in the elevator machine room or at the top of the elevator shaft.
5. Initiate a supervisory signal to the control unit and remote annunciator(s), via an addressable monitoring module located near the elevator shunt trip, upon receipt of loss of voltage to the control circuit for the disconnecting means.
6. For each elevator, provide required interface modules in NEMA 1 enclosure located within 3 feet of the elevator controller for fire emergency service mode operation. Extend control wiring from elevator fire alarm programmable relays to each controller for final connections at the controller by the Elevator Contractor.
7. Provide required interface modules in NEMA I enclosure located within 3 feet of the shunt trip breaker for shunt trip control and voltage monitoring. Extend #12 AWG wiring to the shunt trip breaker and control voltage sensing in the elevator machine room.

C. HVAC Systems

1. Shut-down air handling unit fans serving that respective fire zone whenever the alarm occurs. Each air handling unit shall have a separate zone with separate signal for this use. The unit zone shall include all smoke detectors and all high limit stats associated with that unit.

D. Door Controls

1. Release all electro-magnetic door holders.
2. Security Door System Interface
 - a. Provide fire alarm control interface with indicated doors to deactivate door controls (i.e., unlock doors) for a fire alarm condition. Verify programming of each door with fire alarm zones with Engineer prior to installation.
 - b. Refer to drawing for quantity and location of door devices to be interfaced.
3. Release fire shutter.

PART 2 - PRODUCTS

2.1 Equipment shall be manufactured by Simplex Grinnell (to be compatible with existing fire alarm devices that remain and are to be reconnected to new fire alarm control panel. Equipment supplier shall have a service organization within 50 miles of the project site and be a U.L. certified company. All material and/or equipment necessary for proper operation of the system not specified or described herein shall be deemed part of these specifications.

- A. Remote system components as manufactured by Wheelock, Gentex or System Sensor are acceptable if UL listed and warranted as part of the total fire alarm system, provided by the fire alarm equipment supplier.
- B. All fire alarm initiating devices and notification appliances shall be of the same manufacturer, and under the same branding, as the fire alarm control panel.

2.2 Fire Alarm Control Panel (FACP)

- A. Control panel shall contain all necessary components to provide complete control, testing and indicating facilities for the entire fire alarm system. Relays, where employed, shall be pluggable type sealed in dustproof containers to prevent failure from dust, dirt, tampering and accidents. Unit shall facilitate silencing of alarm from one addressable device and shall resound on subsequent alarm from another addressable device. Unit shall be double supervised, individually annunciated by addressable point with, test switch, silencing switches, reset switches, control switches, power "on" lamp, 80 character LCD display, "Alarm" lamp, and a means of simultaneously testing all indicator lamps. Trouble signal shall be integrally mounted "Sonalert" signal with a SPL of 80 db at four feet, trouble alarm silence switch shall have ring back feature.
- B. An alarm shall be displayed on an 80-character LCD display. This display shall indicate alarms, supervisory service conditions and any troubles. The top line of 40 characters shall be the point label and the second line shall be the device type identifier. The system alarm red LED shall flash on the control panel and the remote Operator Control Panels until the alarm has been acknowledged at the control panel or the remote Operator Control Panels. Once acknowledged, this same LED shall latch on. A subsequent alarm received from another point after acknowledged, shall flash the system alarm LED on the control panels. The LCD display shall show the new alarm information. A pulsing alarm tone shall occur within the control panel and the remote operator control Panels until the alarm is acknowledged.

- C. The control panel shall be sized to accommodate 250 addressable devices. Power supplies shall be supplied with 100 percent capacity including provisions for 10 percent additional strobe lights and 20 percent additional audible devices. Provisions for spare capacity shall include additional data loop cards or signaling cards to support the specified capacity. Audible signals shall be master controlled from the fire alarm panel to permit continuous signaling or master coded signaling in a Code-3 temporal pattern. All visual alarm signals (strobe lights) shall be synchronized at the fire alarm panel. Audible signals shall be capable of being canceled independently of the visual alarm signals. Simplex #4100ES series with accessories.
- D. Cabinet shall be modular construction, shall be semi-flush mounted and shall accommodate all the modules, relays, terminal connections, and batteries necessary for system operation. Provide an outer door and frame assembly equipped with a lock and transparent door panel; manufacturer's standard enameled finish.
- E. The control panel shall communicate individually with addressable initiating and control devices. Each device shall be individually annunciated at control panel.
 - 1. Annunciation shall include the following:
 - a. Alarm
 - b. Trouble
 - c. Open
 - d. Short
 - e. Device missing/failed
 - 2. All addressable devices shall be capable of being disabled or enabled individually.
 - 3. Smoke detectors shall utilize "Alarm Verification" operation.
 - 4. Smoke sensor sensitivity shall be field-adjustable from the control panel for the analog style detectors. Control panel shall have self-test function such that each sensor is automatically tested once every 24 hours. Sensor shall notify control panel when maintenance is required. System shall automatically compensate for variations in environmental conditions.
- F. Control Panel shall have a "Walk Test" feature.
- G. The control panel shall be capable of providing system information via web pages to browser based monitoring systems through an Ethernet connection.
- H. Digital Alarm Communicator Transmitter (DACT)
 - 1. A Digital Alarm Communicator Transmitter (DACT) shall be located within the main fire alarm control panel and automatically transmit designated alarms and supervisory signals to a central station via two telephone lines.
 - 2. The DACT shall be compatible with the communications protocol of all major Central Station receivers, including: ADCOR, ADEMCO, FBI, Franklin, Osborne Hoffman, Radionics, SESCOA, Silent Knight, Varitech, DCI, Vertex, etc.
 - 3. The DACT shall be connected to two telephone lines, shall supervise both telephone line(s), and shall be capable of sending alarm signals on both line(s). The DACT shall be connected to the fire alarm panel to indicate a trouble alarm on any digital communicator equipment failure including loss of the telephone line(s) for longer than 45 seconds.
 - 4. The DACT shall be programmed to automatically transmit a test signal to the central station every 24 hours.

5. The DACT shall be powered and maintained by a standby battery power supply. Provide surge suppressors on the DACT 120-volt power circuit and telephone line(s).
6. A monitoring contract shall be provided by the Owner, to allow programming and testing of the DACT telephone line connection.
7. Provide all power and control wiring, receptacle, power supplies, etc. for a complete system per F.A. suppliers requirements.
8. The DACT shall transmit the following event level information:
 - a. Fire Alarm Condition
 - b. Supervisory Condition
 - c. Trouble Condition
 - d. Daily Test Signal

I. Power Source

1. Operating power shall be supplied from a 120 volt, 60 Hz circuit while the supervisory power shall be supplied from an integral DC power supply. The low voltage DC power supply shall consist of power limited, filtered and regulated power supplies with maintenance-free, lead-calcium battery back-up with automatic recharger; indication for normal supply and power supply trouble.
2. Batteries shall be sized to maintain system operation, including trouble alarm, for 24 hours with sufficient reserve capacity to power all alarm sounding devices for 5 minutes. Battery capacities shall be sized to include provisions for the spare strobe light and audible devices listed in the Part 3 - Execution section of this spec. All batteries shall be supervised.
3. Provide remote cabinet for batteries where size dictates need.
4. Door holders are not required to be maintained by the standby batteries.
5. The power source and batteries shall be sized to serve FACP as a complete system, including spare capacity per NFPA 72 requirements.

J. Provide surge suppressors ahead of all 120 volt power connections to the fire alarm equipment. Locate suppressors within equipment enclosure or in a junction box directly above the unit. Suppressors shall be Leviton #51020-WM or equal. These suppressors are in addition to internal protection provided with the fire alarm system's internal electronics.

K. Control panel shall have capability to communicate with miniplex transponders, if transponders are provided.

2.3 Remote Fire Alarm System Components

A. Miniplex transponders will communicate with the Main Fire Alarm Control Panel to provide for centralized control of alarm and trouble signaling as well as output signaling. The transponder shall be capable of limited stand-alone operation in the event the communication link to the central system is lost. Each transponder shall be furnished with all necessary controls, power supplies and battery back-up.

B. Individual addressable monitor module shall be an addressable module used for monitoring N.O. contact devices such as water flow, tamper switches, the kitchen hood fire extinguishing system, etc. Simplex IAM #4090-9001.

- C. Programmable relay control module shall be an individual addressable module used for control of auxiliary functions such as elevator control, door release, smoke damper shutdown, air handling unit shutdown, etc. Simplex IAM #4090-9002.
- D. Remote Annunciator shall be flush wall mounted where shown on plans. Each shall consist of an 80-character LCD display with primary control features similar to the main controller located in the fire alarm control panel. Control buttons are behind a locked window to prevent unauthorized operation. Simplex #4603-9101.
- E. Notification appliance power extender control panels shall be provided as required. These panels shall communicate with and be completely supervised from the main fire alarm panel and shall be capable of powering additional synchronized visual alarm signals and/or audible alarm signal circuits. Each panel shall include supervisory modules, power supplies, batteries and chargers. At the Contractor's option, additional extender panels may be utilized. Coordinate exact locations of these additional remote panels with the Architect/Engineer during the submittal phase. Simplex #4009-9201 Series panel with accessories.
- F. Provide a recessed Knox-Box rapid entry system located at the new main entry doors. Extend wiring from the Knox-Box tamper switch to the building security alarm system.
- G. Magnetic door holders shall be voltage selectable for 24 VDC or 24/120 VAC operation. Flush (Simplex #2088-9607), semiflush (Simplex #2088-9608) or surface wall mounted (Simplex #2088-9609) as required. Floor mount models for single door (Simplex #2088-9610) or double door (Simplex #2088-9611) applications where required.

2.4 Alarm Signal – Initiating Devices

- A. Photo-electric type, addressable, ceiling mounted smoke detectors, shall utilize all solid state components operating on the light scatter principle and shall have adjustable sensitivity set at the transponder to detect smoke at .5 percent to 3.7 percent light obscuration per foot. The sensors shall communicate actual smoke chamber sensitivity to the system control where it is constantly monitored. Each addressable detector is individually adjustable through the control panel and environmentally adjusted. The system will indicate when individual sensors need cleaning. Detector head shall have a white finish, shall contain an integrally mounted LED pilot lamp that indicates detector status. Simplex #4098-9714 with #9792 base. Provide remote LED alarm indicators where indicated.
- B. Photo-electric type, addressable duct mounted smoke detectors, shall utilize all solid state components operating on the light scatter principle and shall have adjustable sensitivity set at the transponder to detect smoke at .5 percent to 3.7 percent light obscuration per foot. The sensors shall communicate actual smoke chamber sensitivity to the system control where it is constantly monitored. Each addressable detector is individually adjustable through the control panel and environmentally adjusted. The system will indicate when individual sensors need cleaning. The detector shall contain an integrally mounted LED pilot lamp that indicates detector status. Simplex #4098 Series housing with #4098-9756 detector.
 - 1. A remote mounted test/reset switch with "status" pilot lamp shall be flush mounted at 54 inch mounting height in a convenient location within sight of air handling unit, Simplex #2098-9806.

- C. Smoke detectors for elevator lobbies, elevator shafts, elevator machine rooms and elevator control room / closet shall be addressable, 2-wire photo-electric smoke detectors suitable for ceiling or wall mounting. Detectors shall utilize all solid state components operating on the light scatter principle and shall be factory set to detect smoke at a 2 percent light obscuration per foot. Detector shall have a 30-mesh insert screen, completely closed backs and shielded electronics to minimize false alarms from dust, insects, EMI or RFI. Detectors at the top of elevator shafts shall be installed with a remote test switch at an accessible location.
- D. Ceiling mounted heat detectors shall be addressable, combination rate-of-rise and fixed-temperature type set to alarm at 135 degrees F. or on a temperature rise of 15 degrees F. per minute. Unit shall also be capable of low temperature monitoring. Detector shall be white and low profile style. Simplex #4098-9733 with #4098-9792 base.
- E. Manual Stations shall be addressable communicating devices, shall have a red finish and shall be non-coded, single action with breakrod operation (glass rod not required to reset station), semi-flush mounted with keyed reset switch. Simplex #4099-9001.

2.5 Notification Appliances

- A. Fire signal lights (strobe lights) for synchronized operation shall provide visual indication of all alarms and shall illuminate in a flashing mode whenever system is in alarm state. Fire signal lights shall be labeled in accordance with UL 1971 Standards and shall be 15 candela in corridors and 75 / 115 candela in all other areas. Semi-flush mount signal lights on walls where shown on the drawings. Lens shall be installed in a horizontal alignment on a red back plate labeled "FIRE" and shall produce 1 flash per second. Strobes shall be Simplex non-addressable #4906 Truealert Series with appropriate mounting hardware. Exterior units shall be gasketed and labeled for exterior use. Wheelock #WM3T / Notifier – System Sensor SpectrAlert Series (UL 1638 compliant).
- B. Horns shall be semi-flush mounted, with red grille and field selectable output levels of 90 or 95 dB at 10 ft. (based on UL 464 reverberant test requirements). Horn operating power levels shall be set initially at 90 dB and adjusted up or down as required for proper sound coverage during the final check-out. Power calculations shall be made using the current draw for these units operating at 95 dBA. Outside assemblies shall be weatherproof. Combination (audible/visible) horn and fire signal lights shall utilize a compact, combination mounting base assemblies. Horns shall be labeled "Fire". Wheelock #MT Series (utilize the continuous horn signal setting) with mounting accessories. Exterior units shall be gasketed and labeled for exterior use. Combination strobe/horn signal units shall be factory assembled Wheelock #MT+ Series.
- C. Combo horns with fire signal lights (strobe lights) for synchronized operation shall provide both audible and visual indication of all alarms and shall illuminate in a synchronized flashing mode whenever system is in alarm state. Fire signal lights shall be labeled in accordance with UL 1971 Standards and shall be 15 candela in corridors and 75 / 115 candela in all other areas.. Semi-flush mount signals on walls where shown on the drawings. Lens shall be installed in a horizontal alignment and shall produce 1 flash per second. Horns shall be supplied with a red grille / cover and labeled "FIRE" and shall have field selectable output levels of 90 or 95 dBA at 10 feet (based on UL 464 reverberant test requirements). Horn operating power levels shall be set initially at 90 dB and adjusted up or down as required for proper sound coverage during the final checkout. Power calculations shall be made using the current draw for these units operating at 95 dB. All strobes shall be synchronized throughout the entire building utilizing

control circuitry within the main fire alarm panel (and extender panels if used). Exterior units shall be gasketed and labeled for exterior use. Simplex non-addressable #4906 True Alert series.

PART 3 - EXECUTION

3.1 Submittals

- A. The fire alarm supplier shall submit for approval with shop drawings, floor plans, schematic and point to point wiring diagrams showing all manual and automatic devices, control panels, sounding devices, conduit sizes, number and size of wires, etc. Shop drawings shall include calculations for sizing of signal power supplies, voltage drop calculations for audible and visual signal circuits (including provisions for future devices), and standby batteries. Voltage drop calculations will be based on each strobe drawing 110 percent of operating current and each audible device drawing 120 percent of operating current to allow for future devices. Submittal shall include copies of personnel certification as required in PART 3. **SHOP DRAWINGS WILL BE REJECTED UNLESS THE SUBMITTAL INCLUDES ALL THIS REQUIRED INFORMATION.**
- B. The Contractor or their fire alarm supplier/installer shall submit shop drawings, after the Architect's and Engineer's review, to the State Fire Marshal's Office where applicable for their review and approval. Where buildings are not under the jurisdiction of the State Fire Marshal, the shop drawings shall be submitted to the local fire official for review and approval. The fire alarm supplier / installer shall provide sealed documents for submittal to the inspection authority.
- C. At completion of the project, the floor plans and wiring diagrams shall be revised "as built" and included as part of the maintenance manuals. The fire alarm supplier shall also furnish a hard copy printout of each detector's address, operating routines, etc. as part of the as-built drawings. Additionally, the supplier shall include an electronic copy (in a digital media format acceptable to the Owner) of the system's operating program with the as-builts for the Owner's records.

3.2 Provide complete programming of the system. Verify nomenclature of building areas and devices with the Owner prior to program finalization.

3.3 Follow NFPA 72 and manufacturer's instructions regarding mounting, wiring and testing system. Installer(s) shall meet project's respective State and local Municipality requirements for certification and as a minimum, have one installer certified as a NICET Level 2. In addition, the fire alarm system supplier shall have on staff, one NICET Level 3 certified individual and be an U.L. certified company.

3.4 Surface mounted fire alarm devices (when specifically permitted) mounted on walls - such as manual stations, bells, horns, chimes, fire signal lights, etc. shall utilize finished backboxes. These backboxes shall be red metal and shall be field punched for conduit entrance and shall not employ stamped K-O construction. Note that all devices in public or finished areas shall utilize recessed mounted boxes unless noted otherwise.

3.5 Coordinate door holder equipment connections with hardware supplier. Door holders shall not be maintained by integral control unit back up battery.

- 3.6 Duct mounted smoke detectors shall be located per U.L. and manufacturer's guidelines to permit easy access for maintenance and testing. Provide access panels where required. Assure accessibility to the entire assembly.
- 3.7 Provide protection, such as wire guards, which are listed for the specific use on all fire alarm devices within multi-purpose rooms and other areas subject to mechanical damage.
- 3.8 Provide a smoke detector at the location of each fire alarm control panel (main panel, auxiliary control panels and remote annunciators) and extend into the system.
- 3.9 Coordinate locations of any additional remote panels (i.e., transponders, extenders, etc.) with the Engineer during the submittal phase. Provide 120 volt emergency circuit to each remote panel.
- 3.10 Wiring, #14 AWG minimum, shall be installed in accordance with manufacturer's wiring diagrams, recommendations and in compliance with practices set forth by local, state and national fire codes. Color code and tag all wires at all junction points. #18 AWG conductors may be utilized when installed as a multi-conductor cable with an overall protective jacket when approved by manufacturer. All fire alarm system wiring shall comply with NEC Article 760.
 - A. All wiring shall be tagged and labeled to correspond with the final record drawings.
- 3.11 All wiring shall be installed in red conduit; conduit system shall be independent of all other systems.
- 3.12 The following wiring and conduit shall be included in the fire alarm system work in addition to that indicated above:
 - A. Empty conduit with pullwire from the digital communicator to the main telephone backboard. Telephone wiring from the telephone backboard to the digital communicator is the Contractor's responsibility. Assist in making final connections at the digital communicator and verify transmission to and receipt by the Central Station, for telephone line(s) communication.
 - B. From fire alarm panel, duct mounted smoke detector, or control relay module to each air handling unit and exhaust fan for shutdown.
 - C. From fire alarm panel or control relay module to each EP switch/control panel in ATC system for closing smoke dampers or smoke removal systems.
 - D. For each elevator:
 - 1. Extend 2-#14 from the primary recall control relay module to the elevator controller (or group of controllers) for elevator "primary floor" emergency service mode signaling.
 - 2. Extend a second pair of #14 conductors from the alternate recall control relay module to the elevator controller (or group of controllers) for elevator "alternate floor" service mode signaling.
 - 3. Elevator emergency service mode signal wiring shall be wired to Form C dry contacts in each control relay in accordance with the elevator supplier's direction (NO or NC interlocks).
 - 4. Extend 2-#12's from the shunt trip control relay module to the elevator shunt trip breaker.
 - 5. Extend 2-#14's from the fireman's hat indicator control relay module to the elevator controller for activation of the fireman's alert signal within the elevator cab.

6. Extend 2-#12's from the elevator shunt trip control voltage sensing to a monitoring module.
- E. From fire alarm panel to electro-mechanical door holders. Coordinate power supply requirements with hardware supplier.
- F. Provide surge suppressors on all wiring which extends outside the building by either underground or overhead wiring to other buildings or remote device locations. The fire alarm supplier shall provide suppressors that are compatible with their system.

3.13 System Testing

- A. Upon completion and before acceptance, system performance shall be demonstrated in the presence of the Architect that all specified functions are accomplished and that response is accomplished from all initiating and indicating devices. Provide step-by-step user instructions with graphics identifying operator controls for normal user operations such as silencing of alarms, resetting of system, locking and unlocking controlled doors, etc. Each normal operation shall be on a separate page and all pages shall be laminated for durability and assembled in a three ring "operators manual". This manual is in addition to shop drawings and maintenance manuals.
- B. System shall be tested by and a certificate of inspection shall be furnished by a qualified manufacturer's representative or equipment vendor; submit report indicating results to the Architect. This testing shall be done with the building HVAC systems in operation and the manufacturer's representative shall field check the dBA readings in accordance with levels established by NFPA 72. During this checkout period, adjust audible device output levels as needed.

3.14 Warranty

- A. Warrant all workmanship, equipment, material and software entering into this contract for a period of three (3) years from date of final acceptance or date of beneficial use, as agreed to between Contractor and Architect. Any materials or equipment proving to be defective during the warranty period shall be made good without expense to the Owner. Provide a statement of this warranty with the O & M manuals.
- B. During the warranted operation, provide an annual inspection (for a total of 3). This work is inclusive with the warranty and shall be performed during regular working hours, Monday through Friday, excluding legal holidays, as coordinated with the Owner. Provide an inspection report to the Owner.
- C. Make available a service contract offering continuing factory authorized service of this system after the initial 3-year warranty period.
- D. Provide service during normal working hours on a normal business day within (4) hours after notification by the Owner for normal service or within (2) hours for emergency service. Emergency service is defined as the loss of 25 percent or more of system components operation or the loss of the head-end equipment which renders the system un-usable. Provide an on-site authorized factory technician within 24 hours if required.

- E. If equipment components cannot be repaired within 24 hours of service visit, provide “loaner” equipment components to the Owner at no charge.
- 3.15 Base bid includes five (5) additional combination audible/visual alarm signals 75 / 115 cd, two (2) additional ceiling mounted smoke detectors and two (2) additional duct mounted smoke detectors, complete with installation, power supplies, amplifiers, and fifty (50) feet of conduit with circuitry per device. These additional base bid devices shall also include the following:
- A. Any related submissions to the AHJ, revised “as-builts”, related system programming and revised Owner electronic copy.
 - B. Any related system commissioning efforts, all related interfaces to other systems, such as, the building automation system and all required additional trips to the site.
 - C. Any and all costs, not specifically identified in the above items, shall be included for a complete additional base bid devices installation.
 - D. The audible/visual signals and smoke detection shall be added where designated by the Engineer at the time of final acceptance.

END OF SECTION

SECTION 329200 - TURF AND GRASSES

PART 1 - GENERAL

1.1 SUMMARY

A. Section Includes:

1. Seeding.

1.2 DEFINITIONS

- A. Duff Layer: The surface layer of native topsoil that is composed of mostly decayed leaves, twigs, and detritus.
- B. Finish Grade: Elevation of finished surface of planting soil.
- C. Manufactured Topsoil: Soil produced off-site by homogeneously blending mineral soils or sand with stabilized organic soil amendments to produce topsoil or planting soil.
- D. Pesticide: A substance or mixture intended for preventing, destroying, repelling, or mitigating a pest. This includes insecticides, miticides, herbicides, fungicides, rodenticides, and molluscicides. It also includes substances or mixtures intended for use as a plant regulator, defoliant, or desiccant.
- E. Pests: Living organisms that occur where they are not desired or that cause damage to plants, animals, or people. These include insects, mites, grubs, mollusks (snails and slugs), rodents (gophers, moles, and mice), unwanted plants (weeds), fungi, bacteria, and viruses.
- F. Planting Soil: Standardized topsoil; existing, native surface topsoil; existing, in-place surface soil; imported topsoil; or manufactured topsoil that is modified with soil amendments and perhaps fertilizers to produce a soil mixture best for plant growth.
- G. Subgrade: Surface or elevation of subsoil remaining after excavation is complete, or top surface of a fill or backfill before planting soil is placed.
- H. Subsoil: All soil beneath the topsoil layer of the soil profile, and typified by the lack of organic matter and soil organisms.
- I. Surface Soil: Soil that is present at the top layer of the existing soil profile at the Project site. In undisturbed areas, the surface soil is typically topsoil, but in disturbed areas such as urban environments, the surface soil can be subsoil.

1.3 SUBMITTALS

- A. Product Data: For each type of product indicated.
 - 1. Pesticides and Herbicides: Include product label and manufacturer's application instructions specific to this Project.
- B. Certification of Grass Seed: From seed vendor for each grass-seed monostand or mixture stating the botanical and common name, percentage by weight of each species and variety, and percentage of purity, germination, and weed seed. Include the year of production and date of packaging.
- C. Qualification Data: For qualified landscape Installer.
- D. Product Certificates: For soil amendments and fertilizer from manufacturer.
- E. Material Test Reports: For imported topsoil.
- F. Maintenance Instructions: Recommended procedures to be established by Owner for maintenance of turf during a calendar year. Submit before expiration of required initial maintenance periods.

1.4 QUALITY ASSURANCE

- A. Installer Qualifications: A qualified landscape Installer whose work has resulted in successful turf establishment.
 - 1. Experience: Five years' experience in turf installation.
 - 2. Installer's Field Supervision: Require Installer to maintain an experienced full-time supervisor on Project site when work is in progress.
 - 3. Maintenance Proximity: Not more than two hours' normal travel time from Installer's place of business to Project site.
 - 4. Pesticide Applicator: State licensed, commercial.

1.5 DELIVERY, STORAGE, AND HANDLING

- A. Seed and Other Packaged Materials: Deliver packaged materials in original, unopened containers showing weight, certified analysis, name and address of manufacturer, and indication of conformance with state and federal laws, as applicable.
- B. Bulk Materials:
 - 1. Do not dump or store bulk materials near structures, utilities, walkways and pavements, or on existing turf areas or plants.

2. Provide erosion-control measures to prevent erosion or displacement of bulk materials, discharge of soil-bearing water runoff, and airborne dust reaching adjacent properties, water conveyance systems, or walkways.
3. Accompany each delivery of bulk fertilizers, lime, and soil amendments with appropriate certificates.

1.6 PROJECT CONDITIONS

- A. Planting Restrictions: Plant during one of the following periods. Coordinate planting periods with initial maintenance periods to provide required maintenance from date of planting completion.
 1. Spring Planting: April-May
 2. Fall Planting: August-September
- B. Weather Limitations: Proceed with planting only when existing and forecasted weather conditions permit planting to be performed when beneficial and optimum results may be obtained. Apply products during favorable weather conditions according to manufacturer's written instructions.

1.7 MAINTENANCE SERVICE

- A. Initial Turf Maintenance Service: Provide full maintenance by skilled employees of landscape Installer. Begin maintenance immediately after each area is planted and continue until acceptable turf is established but for not less than the following periods:
 1. Seeded Turf: 60 days from date of planting completion.
 - a. When initial maintenance period has not elapsed before end of planting season, or if turf is not fully established, continue maintenance during next planting season.

PART 2 - PRODUCTS

2.1 SEED

- A. Grass Seed: Fresh, clean, dry, new-crop seed complying with AOSA's "Journal of Seed Technology; Rules for Testing Seeds" for purity and germination tolerances.
- B. Seed Species: State-certified seed of grass species as follows:
- C. Seed Species: Seed of grass species as follows, with not less than 95 percent germination, not less than 85 percent pure seed, and not more than 0.5 percent weed seed:
 1. Sun and Partial Shade: Proportioned by weight as follows:
 - a. 90 percent Hybrid Bluegrass blend – a minimum of 3 varieties evenly blended.

2. Shade: Proportioned by weight as follows:
 - a. 20 percent Hybrid Bluegrass
 - b. 40 percent Creeping Red Fescue
 - c. 20 percent Hard Fescue
 - d. 20 percent Chewings Fescue

2.2 INORGANIC SOIL AMENDMENTS

- A. Lime: ASTM C 602, agricultural liming material containing a minimum of 80 percent calcium carbonate equivalent and as follows:
 1. Class: T, with a minimum of 99 percent passing through No. 8 sieve and a minimum of 75 percent passing through No. 60 sieve.
 2. Class: O, with a minimum of 95 percent passing through No. 8 sieve and a minimum of 55 percent passing through No. 60 sieve.
 3. Provide lime in form of ground dolomitic limestone or calcitic limestone.
- B. Aluminum Sulfate: Commercial grade, unadulterated.
- C. Agricultural Gypsum: Minimum 90 percent calcium sulfate, finely ground with 90 percent passing through No. 50 sieve.
- D. Sand: Clean, washed, natural or manufactured, and free of toxic materials.

2.3 ORGANIC SOIL AMENDMENTS

- A. Compost: Well-composted, stable, and weed-free organic matter, pH range of 5.5 to 8; moisture content 35 to 55 percent by weight; 100 percent passing through 1/2-inch sieve; soluble salt content of 5 to 10 decisiemens/m; not exceeding 0.5 percent inert contaminants and free of substances toxic to plantings; and as follows:
 1. Organic Matter Content: 50 to 60 percent of dry weight.
 2. Feedstock: Agricultural, food, or industrial residuals; biosolids; yard trimmings; or source-separated or compostable mixed solid waste.
- B. Sphagnum Peat: Partially decomposed sphagnum peat moss, finely divided or of granular texture, with a pH range of 3.4 to 4.8.

2.4 FERTILIZERS

- A. Superphosphate: Commercial, phosphate mixture, soluble; a minimum of 20 percent available phosphoric acid.

- B. Commercial Fertilizer: Commercial-grade complete fertilizer of neutral character, consisting of fast- and slow-release nitrogen, 50 percent derived from natural organic sources of urea formaldehyde, phosphorous, and potassium in the following composition:
 - 1. Composition: 1 lb/1000 sq. ft. of actual nitrogen, 4 percent phosphorous, and 2 percent potassium, by weight.

2.5 MULCHES

- A. Straw Mulch: Provide air-dry, clean, mildew- and seed-free, salt hay or threshed straw of wheat, rye, oats, or barley.
- B. Nonasphaltic Tackifier: Colloidal tackifier recommended by fiber-mulch manufacturer for slurry application; nontoxic and free of plant-growth or germination inhibitors.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine areas to be planted for compliance with requirements and other conditions affecting performance.
 - 1. Verify that no foreign or deleterious material or liquid such as paint, paint washout, concrete slurry, concrete layers or chunks, cement, plaster, oils, gasoline, diesel fuel, paint thinner, turpentine, tar, roofing compound, or acid has been deposited in soil within a planting area.
 - 2. Do not mix or place soils and soil amendments in frozen, wet, or muddy conditions.
 - 3. Suspend soil spreading, grading, and tilling operations during periods of excessive soil moisture until the moisture content reaches acceptable levels to attain the required results.
 - 4. Uniformly moisten excessively dry soil that is not workable and which is too dusty.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.
- C. If contamination by foreign or deleterious material or liquid is present in soil within a planting area, remove the soil and contamination as directed by Architect and replace with new planting soil.

3.2 PREPARATION

- A. Protect structures, utilities, sidewalks, pavements, and other facilities, trees, shrubs, and plantings from damage caused by planting operations.
 - 1. Protect adjacent and adjoining areas from hydroseeding and hydromulching overspray.
 - 2. Protect grade stakes set by others until directed to remove them.

- B. Install erosion-control measures to prevent erosion or displacement of soils and discharge of soil-bearing water runoff or airborne dust to adjacent properties and walkways.

3.3 TURF AREA PREPARATION

- A. Limit turf subgrade preparation to areas to be planted.
- B. Newly Graded Subgrades: Loosen subgrade to a minimum depth of 6 inches. Remove stones larger than 1 inch in any dimension and sticks, roots, rubbish, and other extraneous matter and legally dispose of them off Owner's property.
 - 1. Apply fertilizer directly to subgrade before loosening.
 - 2. Spread topsoil, apply soil amendments and fertilizer on surface, and thoroughly blend planting soil.
 - a. Delay mixing fertilizer with planting soil if planting will not proceed within a few days.
 - b. Mix lime with dry soil before mixing fertilizer.
 - 3. Spread planting soil to a minimum depth of 4 inches but not less than required to meet finish grades after light rolling and natural settlement. Do not spread if planting soil or subgrade is frozen, muddy, or excessively wet.
 - a. Spread approximately 1/2 the thickness of planting soil over loosened subgrade. Mix thoroughly into top 2 inches of subgrade. Spread remainder of planting soil.
- C. Unchanged Subgrades: If turf is to be planted in areas unaltered or undisturbed by excavating, grading, or surface-soil stripping operations, prepare surface soil as follows:
 - 1. Remove existing grass, vegetation, and turf. Do not mix into surface soil.
 - 2. Loosen surface soil to a depth of at least 6 inches. Apply soil amendments and fertilizers according to planting soil mix proportions and mix thoroughly into top 4 inches of soil. Till soil to a homogeneous mixture of fine texture.
 - a. Apply fertilizer directly to surface soil before loosening.
 - 3. Remove stones larger than 1 inch in any dimension and sticks, roots, trash, and other extraneous matter.
 - 4. Legally dispose of waste material, including grass, vegetation, and turf, off Owner's property.
- D. Finish Grading: Grade planting areas to a smooth, uniform surface plane with loose, uniformly fine texture. Grade to within plus or minus 1/2 inch of finish elevation. Roll and rake, remove ridges, and fill depressions to meet finish grades. Limit finish grading to areas that can be planted in the immediate future.

- E. Moisten prepared area before planting if soil is dry. Water thoroughly and allow surface to dry before planting. Do not create muddy soil.
- F. Before planting, obtain Architect's acceptance of finish grading; restore planting areas if eroded or otherwise disturbed after finish grading.

3.4 PREPARATION FOR EROSION-CONTROL MATERIALS

- A. Prepare area as specified in "Turf Area Preparation" Article.
- B. For erosion-control mats, install planting soil in two lifts, with second lift equal to thickness of erosion-control mats. Install erosion-control mat and fasten as recommended by material manufacturer.
- C. Fill cells of erosion-control mat with planting soil and compact before planting.
- D. For erosion-control blanket or mesh, install from top of slope, working downward, and as recommended by material manufacturer for site conditions. Fasten as recommended by material manufacturer.
- E. Moisten prepared area before planting if surface is dry. Water thoroughly and allow surface to dry before planting. Do not create muddy soil.

3.5 SEEDING

- A. Sow seed with spreader or seeding machine. Do not broadcast or drop seed when wind velocity exceeds 5 mph. Evenly distribute seed by sowing equal quantities in two directions at right angles to each other.
 - 1. Do not use wet seed or seed that is moldy or otherwise damaged.
 - 2. Do not seed against existing trees. Limit extent of seed to outside edge of planting saucer.
- B. Sow seed at a total rate of 3 to 4 lb/1000 sq. ft..
- C. Rake seed lightly into top 1/8 inch of soil, roll lightly, and water with fine spray.
- D. Protect seeded areas with slopes exceeding 1:4 with erosion-control blankets and 1:6 with erosion-control fiber mesh installed and stapled according to manufacturer's written instructions.
- E. Protect seeded areas with erosion-control mats where shown on Drawings; install and anchor according to manufacturer's written instructions.
- F. Protect seeded areas with slopes not exceeding 1:6 by spreading straw mulch. Spread uniformly at a minimum rate of 2 tons/acre to form a continuous blanket 1-1/2 inches in loose thickness over seeded areas. Spread by hand, blower, or other suitable equipment.

1. Anchor straw mulch by crimping into soil with suitable mechanical equipment.

G. Protect seeded areas from hot, dry weather or drying winds by applying compost mulch, peat mulch or planting soil within 24 hours after completing seeding operations. Soak areas, scatter mulch uniformly to a thickness of 3/16 inch, and roll surface smooth.

3.6 HYDROSEEDING

A. Hydroseeding: Mix specified seed, fertilizer, and fiber mulch in water, using equipment specifically designed for hydroseed application. Continue mixing until uniformly blended into homogeneous slurry suitable for hydraulic application.

1. Mix slurry with nonasphaltic tackifier.
2. Apply slurry uniformly to all areas to be seeded in a one-step process. Apply slurry at a rate so that mulch component is deposited at not less than 1500-lb/acre dry weight, and seed component is deposited at not less than the specified seed-sowing rate.
3. Apply slurry uniformly to all areas to be seeded in a two-step process. Apply first slurry coat at a rate so that mulch component is deposited at not less than 500-lb/acre dry weight, and seed component is deposited at not less than the specified seed-sowing rate. Apply slurry cover coat of fiber mulch (hydromulching) at a rate of 1000 lb/acre.

3.7 TURF MAINTENANCE

A. Maintain and establish turf by watering, fertilizing, weeding, mowing, trimming, replanting, and performing other operations as required to establish healthy, viable turf. Roll, regrade, and replant bare or eroded areas and remulch to produce a uniformly smooth turf. Provide materials and installation the same as those used in the original installation.

1. Fill in as necessary soil subsidence that may occur because of settling or other processes. Replace materials and turf damaged or lost in areas of subsidence.
2. In areas where mulch has been disturbed by wind or maintenance operations, add new mulch and anchor as required to prevent displacement.
3. Apply treatments as required to keep turf and soil free of pests and pathogens or disease. Use integrated pest management practices whenever possible to minimize the use of pesticides and reduce hazards.

B. Watering: Install and maintain temporary piping, hoses, and turf-watering equipment to convey water from sources and to keep turf uniformly moist to a depth of 4 inches.

1. Schedule watering to prevent wilting, puddling, erosion, and displacement of seed or mulch. Lay out temporary watering system to avoid walking over muddy or newly planted areas.
2. Water turf with fine spray at a minimum rate of 1 inch per week unless rainfall precipitation is adequate.

- C. Mow turf as soon as top growth is tall enough to cut. Repeat mowing to maintain specified height without cutting more than 1/3 of grass height. Remove no more than 1/3 of grass-leaf growth in initial or subsequent mowings. Do not delay mowing until grass blades bend over and become matted. Do not mow when grass is wet. Schedule initial and subsequent mowings to maintain the following grass height:
 - 1. Mow to a height of 1-1/2 to 2 inches.
- D. Turf Postfertilization: Apply fertilizer after initial mowing and when grass is dry.
 - 1. Use fertilizer that will provide actual nitrogen of at least 1 lb/1000 sq. ft. to turf area.

3.8 SATISFACTORY TURF

- A. Turf installations shall meet the following criteria as determined by Architect:
 - 1. Satisfactory Seeded Turf: At end of maintenance period, a healthy, uniform, close stand of grass has been established, free of weeds and surface irregularities, with coverage exceeding 90 percent over any 10 sq. ft. and bare spots not exceeding 5 by 5 inches.
- B. Use specified materials to reestablish turf that does not comply with requirements and continue maintenance until turf is satisfactory.

3.9 PESTICIDE APPLICATION

- A. Apply pesticides and other chemical products and biological control agents in accordance with requirements of authorities having jurisdiction and manufacturer's written recommendations. Coordinate applications with Owner's operations and others in proximity to the Work. Notify Owner before each application is performed.
- B. Post-Emergent Herbicides (Selective and Non-Selective): Apply only as necessary to treat already-germinated weeds and in accordance with manufacturer's written recommendations.

3.10 CLEANUP AND PROTECTION

- A. Promptly remove soil and debris created by turf work from paved areas. Clean wheels of vehicles before leaving site to avoid tracking soil onto roads, walks, or other paved areas.
- B. Erect temporary fencing or barricades and warning signs as required to protect newly planted areas from traffic. Maintain fencing and barricades throughout initial maintenance period and remove after plantings are established.
- C. Remove nondegradable erosion-control measures after grass establishment period.

END OF SECTION 329200

SECTION 329300 - PLANTS

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

A. Section Includes:

- 1. Furnish and Installation of Plants.

B. Related Requirements:

- 1. Section 329200 "Turf and Grasses" for turf (lawn), hydroseeding, and erosion-control materials.

1.3 DEFINITIONS

- A. Backfill: The earth used to replace or the act of replacing earth in an excavation.
- B. Balled and Burlapped Stock: Plants dug with firm, natural balls of earth in which they were grown, with a ball size not less than sizes indicated; wrapped with burlap, tied, rigidly supported, and drum laced with twine with the root flare visible at the surface of the ball as recommended by ANSI Z60.1.
- C. Finish Grade: Elevation of finished surface of planting soil.
- D. Planting Soil: Existing, on-site soil; imported soil; or manufactured soil that has been modified with soil amendments and perhaps fertilizers to produce a soil mixture best for plant growth.
- E. Plant; Plants; Plant Material: These terms refer to vegetation in general, including trees, shrubs, vines, ground covers, ornamental grasses, bulbs, corms, tubers, or herbaceous vegetation.
- F. Subgrade: The surface or elevation of subsoil remaining after excavation is complete, or the top surface of a fill or backfill before planting soil is placed.

1.4 COORDINATION

- A. Coordination with Turf Areas (Lawns): Plant trees, shrubs, and other plants after finish grades are established and before planting turf areas unless otherwise indicated.
 - 1. When planting trees, shrubs, and other plants after planting turf areas, protect turf areas, and promptly repair damage caused by planting operations.

1.5 ACTION SUBMITTALS

- A. Product Data: For each type of product.
 - 1. Plant Materials: Include quantities, sizes, quality, and sources for plant materials.

1.6 INFORMATIONAL SUBMITTALS

- A. Product Certificates: For each type of manufactured product, from manufacturer, and complying with the following:
 - 1. Manufacturer's certified analysis of standard products.
 - 2. Analysis of other materials by a recognized laboratory made according to methods established by the Association of Official Analytical Chemists, where applicable.
- B. Provide quality, size, genus, species, and variety of plants indicated, complying with applicable requirements in ANSI Z60.1.
- C. Measurements: Measure according to ANSI Z60.1. Do not prune to obtain required sizes.
 - 1. Trees and Shrubs: Measure with branches and trunks or canes in their normal position. Take height measurements from or near the top of the root flare for field-grown stock and container-grown stock. Measure main body of tree or shrub for height and spread; do not measure branches or roots tip to tip.

1.7 DELIVERY, STORAGE, AND HANDLING

- A. Packaged Materials: Deliver packaged materials in original, unopened containers showing weight, certified analysis, name and address of manufacturer, and indication of compliance with state and Federal laws if applicable.
- B. Bulk Materials:
 - 1. Do not dump or store bulk materials near structures, utilities, walkways and pavements, or on existing turf areas or plants.

2. Provide erosion-control measures to prevent erosion or displacement of bulk materials; discharge of soil-bearing water runoff; and airborne dust reaching adjacent properties, water conveyance systems, or walkways.
 3. Accompany each delivery of bulk materials with appropriate certificates.
- C. Do not prune trees and shrubs before delivery. Protect bark, branches, and root systems from sun scald, drying, wind burn, sweating, whipping, and other handling and tying damage. Do not bend or bind-tie trees or shrubs in such a manner as to destroy their natural shape. Provide protective covering of plants during shipping and delivery. Do not drop plants during delivery and handling.
- D. Handle planting stock by root ball.
- E. Apply antidesiccant to trees and shrubs using power spray to provide an adequate film over trunks (before wrapping), branches, stems, twigs, and foliage to protect during digging, handling, and transportation.
1. If deciduous trees or shrubs are moved in full leaf, spray with antidesiccant at nursery before moving and again two weeks after planting.
- F. Wrap trees and shrubs with burlap fabric over trunks, branches, stems, twigs, and foliage to protect from wind and other damage during digging, handling, and transportation.
- G. Deliver plants after preparations for planting have been completed and install immediately. If planting is delayed more than six hours after delivery, set plants and trees in their appropriate aspect (sun, filtered sun, or shade), protect from weather and mechanical damage, and keep roots moist.
1. Set balled stock on ground and cover ball with soil, peat moss, sawdust, or other acceptable material.
 2. Do not remove container-grown stock from containers before time of planting.
 3. Water root systems of plants stored on-site deeply and thoroughly with a fine-mist spray. Water as often as necessary to maintain root systems in a moist, but not overly wet condition.

1.8 FIELD CONDITIONS

- A. Field Measurements: Verify actual grade elevations, service and utility locations, irrigation system components, and dimensions of plantings and construction contiguous with new plantings by field measurements before proceeding with planting work.
- B. Planting Restrictions: Plant during one of the following periods. Coordinate planting periods with maintenance periods to provide required maintenance from date of Substantial Completion.
1. Spring Planting: March 15 – June 15
 2. Fall Planting: September 15 – November 15
 3. Perennials in Spring Planting ONLY,

- C. Weather Limitations: Proceed with planting only when existing and forecasted weather conditions permit planting to be performed when beneficial and optimum results may be obtained. Apply products during favorable weather conditions according to manufacturer's written instructions and warranty requirements.

1.9 WARRANTY

- A. Special Warranty: Installer agrees to repair or replace plantings and accessories that fail in materials, workmanship, or growth within specified warranty period.
 - 1. Failures include, but are not limited to, the following:
 - a. Death and unsatisfactory growth, except for defects resulting from abuse, lack of adequate maintenance, or neglect by Owner.
 - b. Structural failures including plantings falling or blowing over.
 - 2. Warranty Periods: As listed on the Drawing.
 - 3. Include the following remedial actions as a minimum:
 - a. Immediately remove dead plants and replace unless required to plant in the succeeding planting season.
 - b. Replace plants that are more than 25 percent dead or in an unhealthy condition at end of warranty period.
 - c. A limit of one replacement of each plant is required except for losses or replacements due to failure to comply with requirements.
 - d. Provide extended warranty for period equal to original warranty period, for replaced plant material.

PART 2 - PRODUCTS

2.1 PLANT MATERIAL

- A. General: Furnish nursery-grown plants true to genus, species, variety, cultivar, stem form, shearing, and other features indicated in Plant List indicated on Drawing and complying with ANSI Z60.1; and with healthy root systems developed by transplanting or root pruning. Provide well-shaped, fully branched, healthy, vigorous stock, densely foliated when in leaf and free of disease, pests, eggs, larvae, and defects such as knots, sun scald, injuries, abrasions, and disfigurement.
 - 1. Trees with damaged, crooked, or multiple leaders; tight vertical branches where bark is squeezed between two branches or between branch and trunk ("included bark"); crossing trunks; cut-off limbs more than 3/4 inch diameter; or with stem girdling roots are unacceptable.

- B. Provide plants of sizes, grades, and ball or container sizes complying with ANSI Z60.1 for types and form of plants required. Plants of a larger size may be used if acceptable to Project Architect, with a proportionate increase in size of roots or balls.
- C. Root-Ball Depth: Furnish trees and shrubs with root balls measured from top of root ball, which begins at root flare according to ANSI Z60.1. Root flare shall be visible before planting.
- D. Labeling: Label at least one plant of each variety, size, and caliper with a securely attached, waterproof tag bearing legible designation of common name and full scientific name, including genus and species. Include nomenclature for hybrid, variety, or cultivar, if applicable for the plant.
- E. If formal arrangements or consecutive order of plants is indicated on Drawings, select stock for uniform height and spread, and number the labels to assure symmetry in planting.

2.2 MULCHES

- A. Organic Mulch: Free from deleterious materials and suitable as a top dressing of trees and shrubs, consisting of the following:
 - 1. Type; Shredded Hardwood Mulch.
 - 2. Color: Natural.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine areas to receive plants, with Installer present, for compliance with requirements and conditions affecting installation and performance of the Work.
 - 1. Verify that no foreign or deleterious material or liquid such as paint, paint washout, concrete slurry, concrete layers or chunks, cement, plaster, oils, gasoline, diesel fuel, paint thinner, turpentine, tar, roofing compound, or acid has been deposited in soil within a planting area.
 - 2. Verify that plants and vehicles loaded with plants can travel to planting locations with adequate overhead clearance.
 - 3. Suspend planting operations during periods of excessive soil moisture until the moisture content reaches acceptable levels to attain the required results.
 - 4. Uniformly moisten excessively dry soil that is not workable or which is dusty.
- B. If contamination by foreign or deleterious material or liquid is present in soil within a planting area, remove the soil and contamination as directed by Project Architect and replace with new planting soil.

- C. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 PREPARATION

- A. Protect structures, utilities, sidewalks, pavements, and other facilities and turf areas and existing plants from damage caused by planting operations.
- B. Install erosion-control measures to prevent erosion or displacement of soils and discharge of soil-bearing water runoff or airborne dust to adjacent properties and walkways.
- C. Lay out individual tree and shrub locations and areas for multiple plantings. Stake locations, outline areas, adjust locations when requested, and obtain Project Architect's acceptance of layout before excavating or planting. Make minor adjustments as required..

3.3 EXCAVATION FOR TREES

- A. Planting Pits and Trenches: Refer to Installation Details on the Drawing.
- B. Backfill Soil: Subsoil and topsoil removed from excavations may be used as backfill soil unless otherwise indicated.
- C. Obstructions: Notify Project Architect if unexpected rock or obstructions detrimental to trees or shrubs are encountered in excavations.

3.4 TREE PLANTING

- A. Inspection: At time of planting, verify that root flare is visible at top of root ball according to ANSI Z60.1. If root flare is not visible, remove soil in a level manner from the root ball to where the top-most root emerges from the trunk. After soil removal to expose the root flare, verify that root ball still meets size requirements.
- B. Roots: Remove stem girdling roots and kinked roots. Remove injured roots by cutting cleanly; do not break.
- C. Balled and Burlapped Stock: Set each plant plumb and in center of planting pit or trench with root flare 2 inches above adjacent finish grades.
 - 1. Backfill: Planting soil use excavated soil for backfill.
 - 2. After placing some backfill around root ball to stabilize plant, carefully cut and remove burlap, rope, and wire baskets from tops of root balls and from sides, but do not remove from under root balls. Remove pallets, if any, before setting. Do not use planting stock if root ball is cracked or broken before or during planting operation.

3. Backfill around root ball in layers, tamping to settle soil and eliminate voids and air pockets. When planting pit is approximately one-half filled, water thoroughly before placing remainder of backfill. Repeat watering until no more water is absorbed. Continue backfilling process. Water again after placing and tamping final layer of soil.

3.5 TREE PRUNING

- A. Remove only dead, dying, or broken branches. Do not prune for shape.
- B. Prune, thin, and shape trees, shrubs, and vines according to standard professional horticultural and arboricultural practices. Unless otherwise indicated by Project Architect, do not cut tree leaders; remove only injured, dying, or dead branches from trees and shrubs; and prune to retain natural character.
- C. Do not apply pruning paint to wounds.

3.6 TREE MULCHING

- A. Mulch backfilled surfaces of planting areas and other areas indicated.
 1. Trees in Turf Areas: Apply 3" depth mulch ring at a 48" diameter around trunks or stems. Do not place mulch within 3" of trunks or stems.

3.7 PLANT MAINTENANCE

- A. Maintain plantings by pruning, cultivating, watering, weeding, fertilizing, mulching, restoring planting saucers, adjusting and repairing tree-stabilization devices, resetting to proper grades or vertical position, and performing other operations as required to establish healthy, viable plantings.
- B. Fill in, as necessary, soil subsidence that may occur because of settling or other processes. Replace mulch materials damaged or lost in areas of subsidence.

3.8 CLEANING AND PROTECTION

- A. During planting, keep adjacent paving and construction clean and work area in an orderly condition. Clean wheels of vehicles before leaving site to avoid tracking soil onto roads, walks, or other paved areas.
- B. Remove surplus soil and waste material including excess subsoil, unsuitable soil, trash, and debris and legally dispose of them off Owner's property.

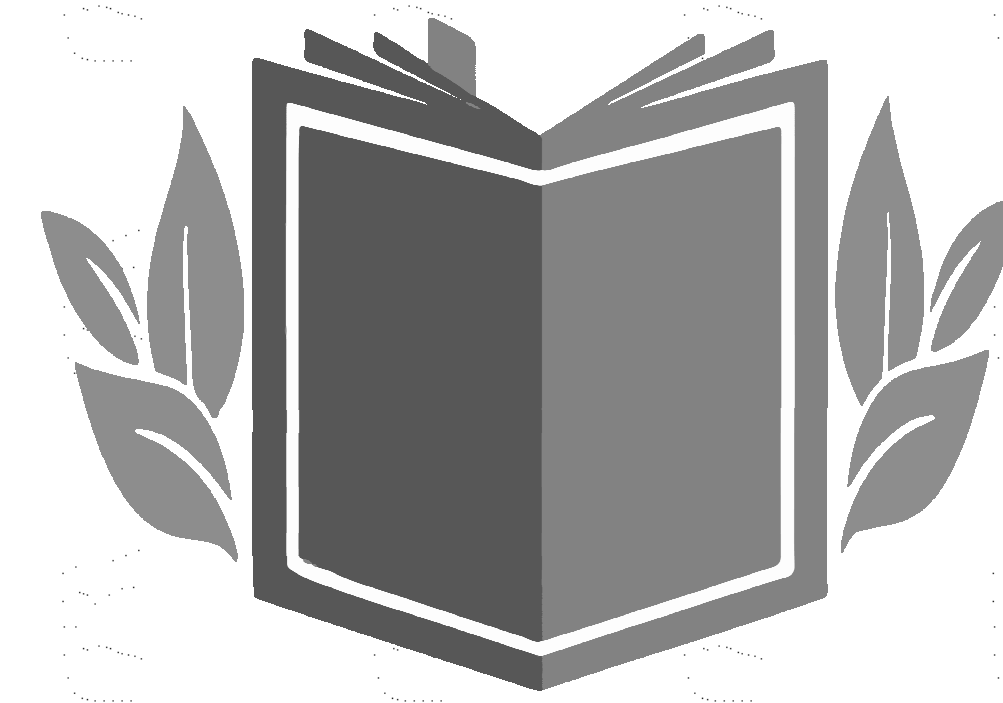
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- C. Protect plants from damage due to landscape operations and operations of other contractors and trades. Maintain protection during installation and maintenance periods. Treat, repair, or replace damaged plantings.
- D. After installation and before **Substantial Completion**, remove nursery tags, nursery stakes, tie tape, labels, wire, burlap, and other debris from plant material, planting areas, and the Project site.

3.9 MAINTENANCE SERVICE

- A. Maintenance Service for Trees and Shrubs: Provide maintenance by skilled employees of landscape Installer. Maintain as required in "Plant Maintenance" Article. Begin maintenance immediately after plants are installed and continue until plantings are acceptably healthy and well established, but for not less than maintenance period below:
 - 1. Maintenance Period: 30 days from date of **Substantial Completion**

END OF SECTION 329300



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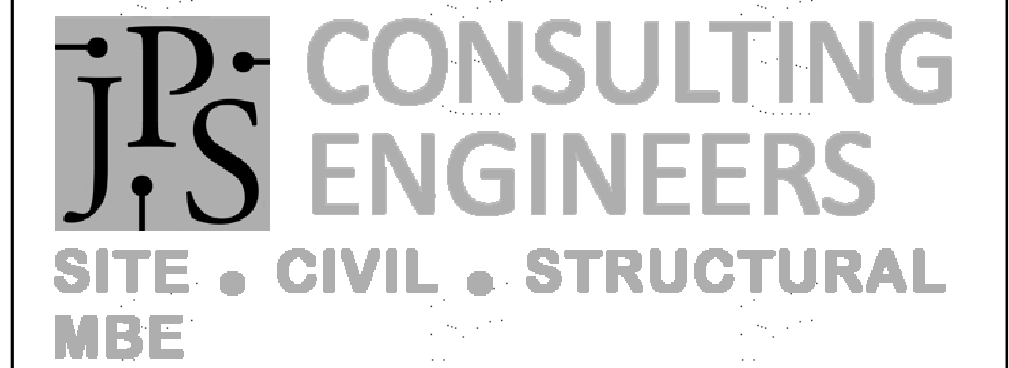
COMMISSION # 22106.00

BID DOCUMENTS

CIVIL:



STRUCTURAL:



PME:



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B003	PARTITION TYPES
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S102.1	UPPER LEVEL FRAMING PLAN -ALTERNATE #01 AND TRACK ALTERNATE
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S311	FOUNDATION WALL ELEVATIONS
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E601	ELECTRICAL SINGLE-LINE DIAGRAM & PANELBOARD SCHEDULES

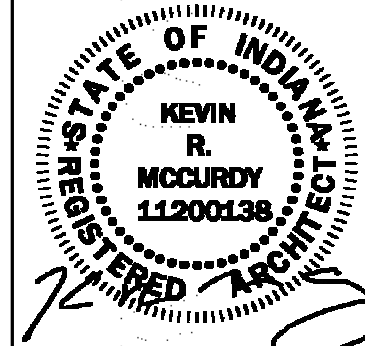
BID DOCUMENTS		11.10.2023
ADDENDUM #02		11.21.2023
No.	Revisions / Submissions	Date



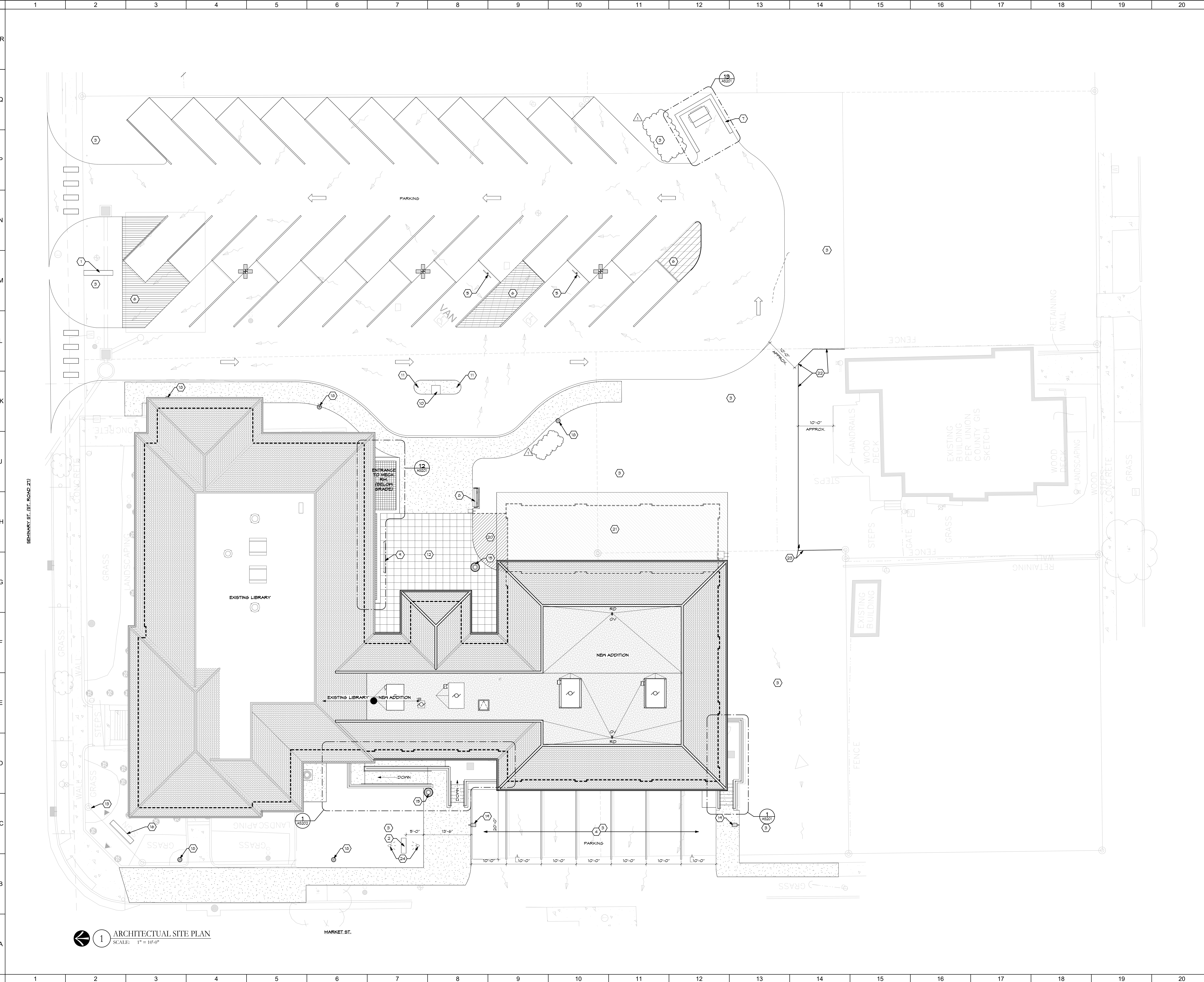
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1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'-0"

SHEET NOTES: (SITE NOTES ONLY.)

1. MONUMENT SIGN AT MAIN PARKING AREA - SEE DETAILS. SEE ELECTRICAL FOR LIGHTING.
2. MONUMENT SIGN AT WEST PARKING AREA - SEE DETAILS. SEE ELECTRICAL FOR LIGHTING.
3. SEEDED GRASS AREA AS PART OF BASE BID.
4. PARKING AREA AS PART OF ALTERNATE #02 SHOWN AS REFERENCE. NOT PART OF BASE BID.
5. HANDICAP PARKING STALLS WITH SIGNAGE. SEE CIVIL FOR SYMBOL DIMENSIONS.
6. PAINTED STRIPING.
7. DUMPSTER ENCLOSURE - SEE DETAILS.
8. BENCH.
9. BIKE RACK.
10. BOOK DROP WITH CARD READER.
11. PIPE BOLLARDS.
12. PAVERS.
13. EXISTING FLAG POLE TO REMAIN.
14. CONCRETE PAVERS.
15. TRASH CAN.
16. EXISTING MONUMENT SIGN TO REMAIN.
17. MAIN PARKING LIGHTING - SEE ELECTRICAL.
18. PEDESTRIAN POLE LIGHTS - SEE ELECTRICAL.
19. WEST PARKING LIGHTING AS PART OF ALTERNATE #02 - NOT PART OF BASE BID.
20. PAVERS TO EXTEND TO BUILDING EDGE AS PART OF ALTERNATE #01.
21. INDICATES ROOF AREA AS PART OF ALTERNATE #01.
22. RELOCATE VINYL FENCING.
23. SALVAGE VINYL FENCING TO EXISTING POST SUCH THAT DISTANCE BETWEEN RELOCATED VINYL FENCING 4' WOOD DECKINGS TO REMAIN IS APPROXIMATELY 10'-0".
24. SIGN LIGHTING - SEE ELECTRICAL.

GENERAL NOTES: (SITE NOTES ONLY.)

- A. ALL DIMENSIONS ARE APPROXIMATE AND THE G.C. SHALL FIELD VERIFY.
- B. CONFIRM LOCATION OF ALL TREES, UTILITIES, AND OTHER SITE DEVELOPMENT IN THE LOCATION OF THE CONSTRUCTION LIMITS. NOTIFY ARCHITECT IMMEDIATELY IF A DISCREPANCY BETWEEN THE DRAWINGS AND EXISTING SITE CONDITIONS.
- C. NEW GRADES SHALL BLEND SMOOTHLY INTO EXISTING GRADES.
- D. PROVIDE PERMANENT SEEDINGS FOR ALL LOCATIONS WITHIN THE CONSTRUCTION LIMITS EXCEPT ASPHALT, CONCRETE, AND LANDSCAPING AREAS. SEED ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS.
- E. ALL WORK SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF ALL STATE AND LOCAL GOVERNING AGENCIES.
- F. PRIOR TO BEGINNING ANY PROPOSED WORK, ALL PERMITS FOR SITE WORK SHALL BE OBTAINED BY CONTRACTOR FROM REGULATING AUTHORITIES.
- G. REMOVE ALL EXCAVATED SOLIDS OVER SIX (6) INCHES IN ANY DIMENSION.
- H. CLEAN ALL DIRT, MUD, AND DEBRIS TRACKED ONTO ADJACENT ROADWAYS IMMEDIATELY.
- I. DO NOT DISTURB ANY PROPERTY LINE IRON PINS, SURVEY MONUMENTS, OR ESTABLISHED BENCHMARKS. IF DISTURBED, THESE ITEMS SHALL BE RESET BY A PROFESSIONAL LICENSED SURVEYOR AT THE DISTURBER'S CONTRACTOR'S EXPENSE.
- J. ALL AREAS SHALL RECEIVE TOPSOIL TO A MINIMUM DEPTH OF THREE AND A HALF (3.5) INCHES. THIS TOPSOIL MAY BE STOCKPILED FROM ON-SITE EARTHWORK ACTIVITY AND REDISTRIBUTED AS REQUIRED ONCE EARTHWORK ACTIVITIES ARE COMPLETE. CONFIRM LOCATION FOR STOCKPILED SOIL WITH OWNER BEFORE PROCEEDINGS WITH ANY EARTHMOVING WORK.
- K. COORDINATE WORK @ TOWN SIDEWALKS WITH TOWN OF LIBERTY. ALL ROAD AND CURB REPAIRS SHALL CONFORM TO TOWN OF LIBERTY STANDARDS FOR MATERIALS AND CONSTRUCTION.
- L. THE CONTRACTOR SHALL SAFELY SHORE EXISTING CONSTRUCTION WHEREVER EXISTING SUPPORTS ARE REMOVED TO ALLOW THE INSTALLATION OF NEW WORK. ALL SHORING METHODS AND SEQUENCING OF DEMOLISH SHALL BE SPECIFIED BY A LICENSED PROFESSIONAL ENGINEER LICENSED IN THE STATE WHERE THIS PROJECT IS LOCATED. TO BE RETAINED BY THE CONTRACTOR.
- M. THE CONTRACTOR SHALL REPAIR ALL DAMAGE CAUSED DURING CONSTRUCTION WITH SIMILAR MATERIALS AND WORKMANSHIP TO RESTORE CONDITIONS TO LEVELS ACCEPTABLE TO THE ARCHITECT.

BID DOCUMENTS		11.10.2023
ADDENDUM #02		11.21.2023
No.	Revisions / Submissions	Date

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434 East First Street Dayton, OH 45402 937.223.6500
712 East Main Street Richmond, IN 47374 765.966.3546

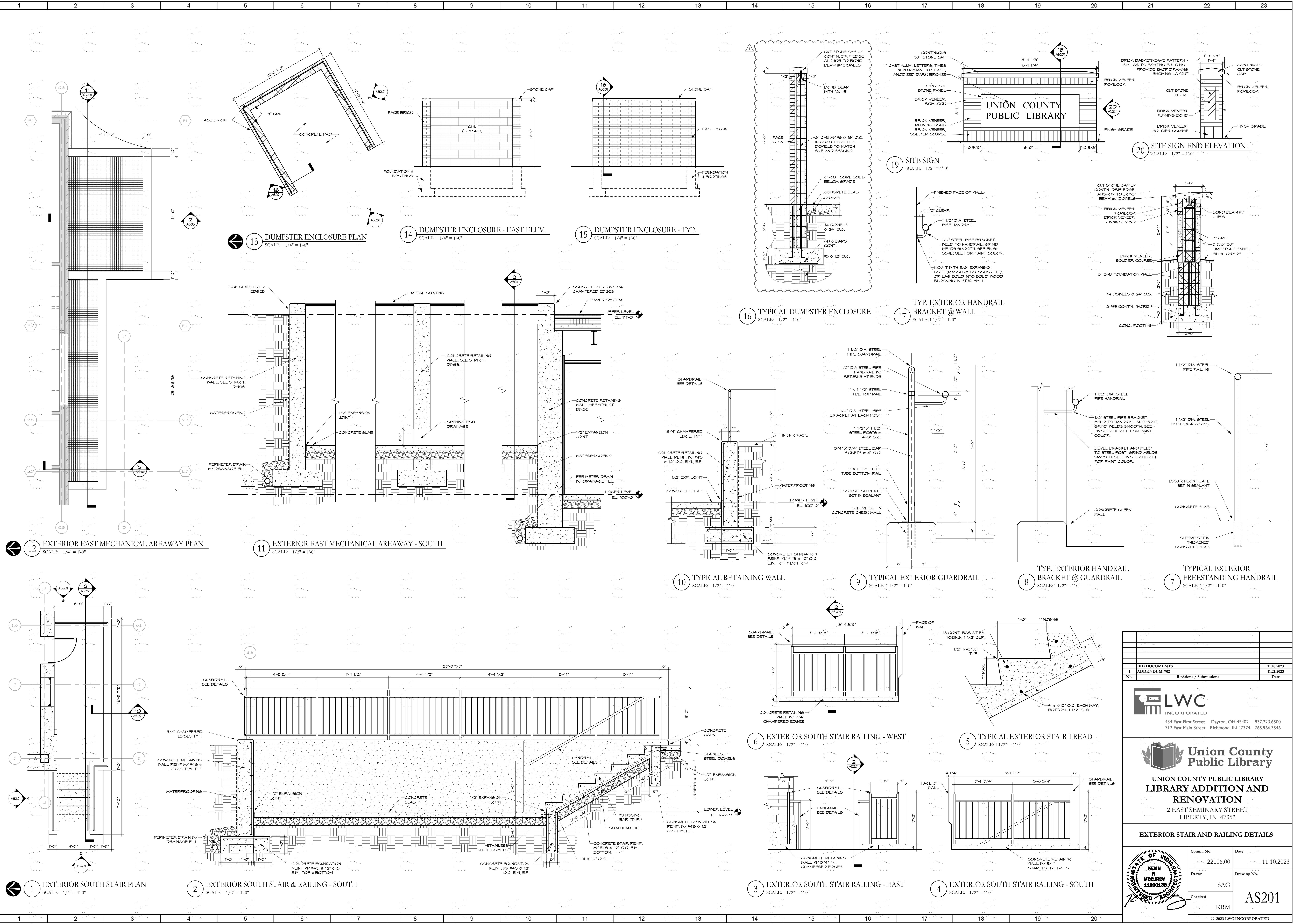
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ARCHITECTURAL SITE PLAN

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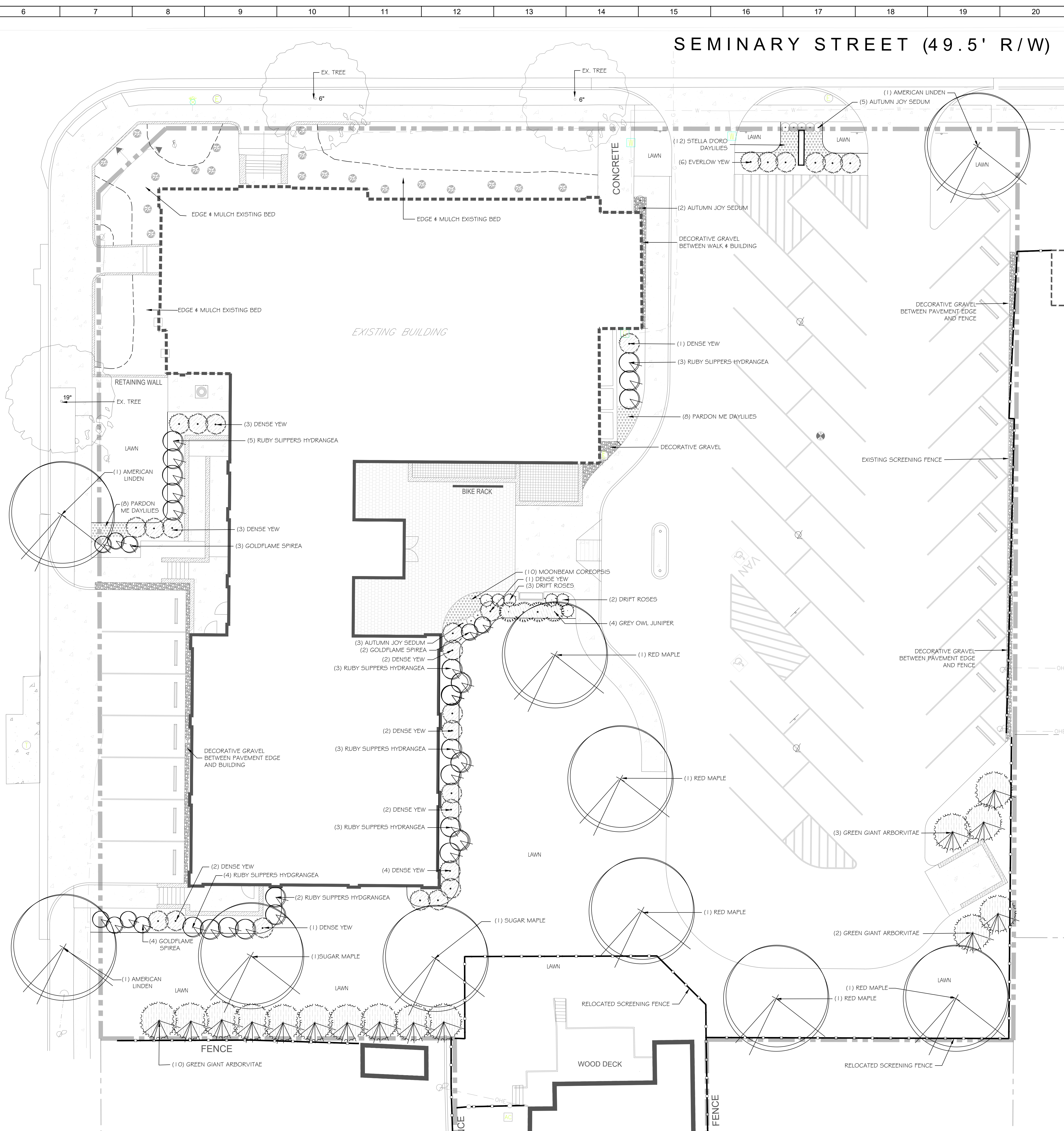
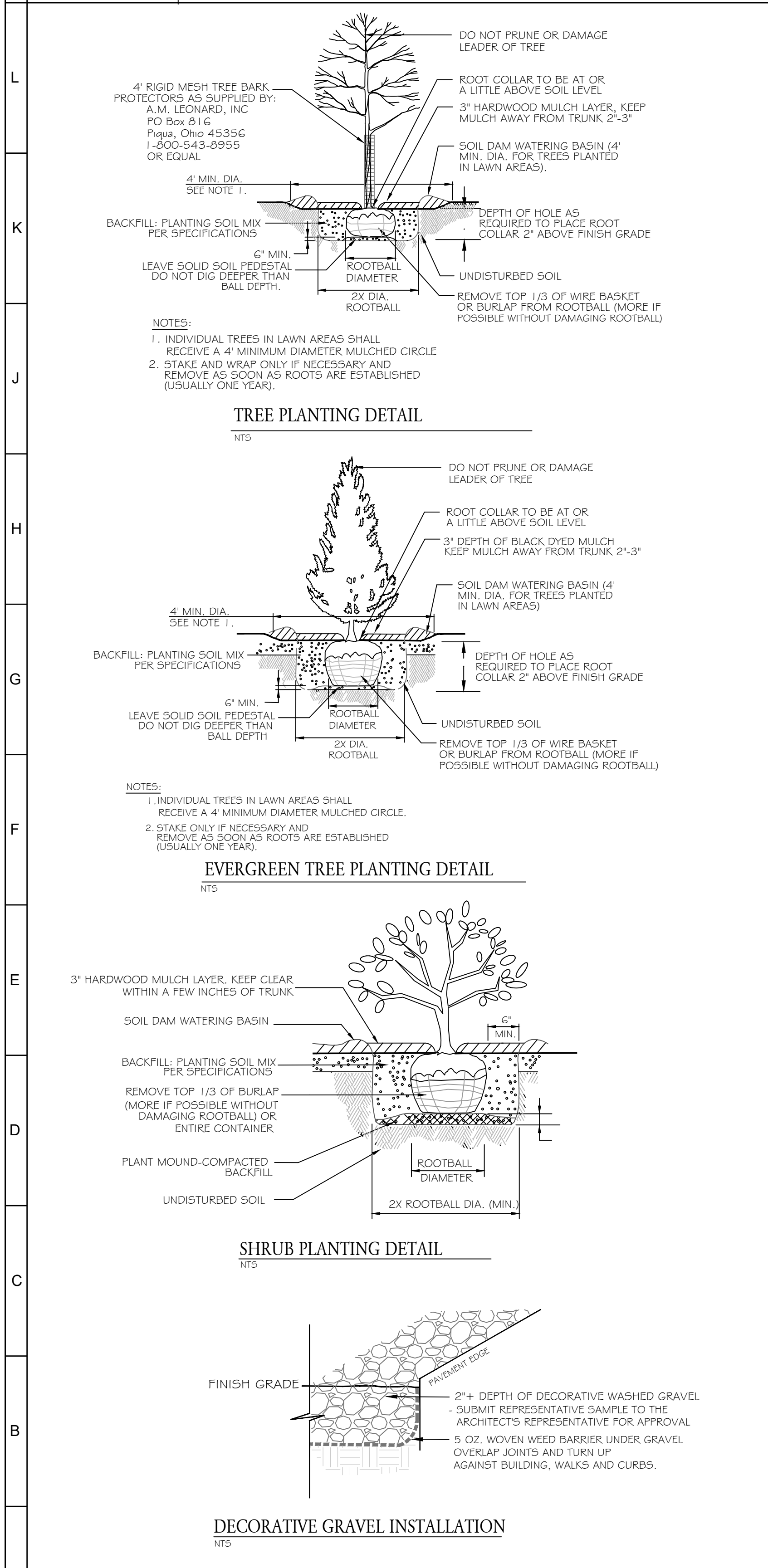
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BID DOCUMENTS		11.10.2023
ADDENDUM #02		11.21.2023
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434 East First Street Dayton, OH 45402 937.223.6500		
712 East Main Street Richmond, IN 47374 765.966.3546		
Union County Public Library		
UNION COUNTY PUBLIC LIBRARY LIBRARY ADDITION AND RENOVATION 2 EAST SEMINARY STREET LIBERTY, IN 47353		
EXTERIOR STAIR AND RAILING DETAILS		
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22106.00		
Drawn	SAG	Drawing No.
Checked	KRM	AS201
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QTY.	PLANT NAME	MINIMUM INSTALLED SIZE
LARGE TREES		
5	RED MAPLE - <i>Acer rubrum</i> 'October Glory'	1 - 1/2" cal. B/B
2	SUGAR MAPLE - <i>Acer saccharum</i> 'Flax Mill Majesty'	1 - 1/2" cal. B/B
3	AMERICAN LINDEN - <i>Tilia amercana</i> 'McKsentry'	2" cal. B/B - 5' Clear Trunk
EVERGREEN TREES		
15	GREEN GIANT ARBORVITAE - <i>Thuja standishii</i> x <i>plicata</i> 'Green Giant'	6' ht. B/B
SHRUBS		
4	GREY OWL JUNIPER - <i>Juniperus virginiana</i> 'Grey Owl'	# 3 cont.
23	RUBY SLIPPERS HYDRANGEA - <i>Hydrangea quercifolia</i> 'Ruby Slippers'	# 3 cont.
5	RED DRIFT ROSE - <i>Rosa x Meigalpio</i>	# 3 cont.
9	GOLDFLAME SPIREA - <i>Spiraea x bumalda</i> 'Goldflame'	# 3 cont.
22	DENSE YEW - <i>Taxus media densiformis</i>	20"-24" spd. B/B
6	EVERLOW YEW - <i>Taxus x media</i> 'Everlow'	20"-24" spd. B/B
PERENNIALS		
16	PARDON ME DAYLILIES - <i>Hemerocallis x 'Pardon Me'</i>	# 1 cont.
12	STELLA D'ORO DAYLILY - <i>Hemerocallis x 'Stella de Oro'</i>	# 1 cont.
10	AUTUMN JOY SEDUM - <i>Sedum spectabile</i> 'Autumn Joy'	# 1 cont.

M1 LANDSCAPE INSTALLATION DETAILS



GENERAL LANDSCAPE REQUIREMENTS:

- DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING.
- THE PLANT LIST IS INTENDED AS A GUIDE FOR THE LANDSCAPE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
- ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS. ADVISE ARCHITECTS REPRESENTATIVE BEFORE ADJUSTMENTS ARE MADE.
- TREES AND SHRUBS SHALL BE NURSERY GROWN UNLESS OTHERWISE APPROVED AND BE HEALTHY AND VIGOROUS PLANTS, FREE FROM DEFECTS, DECAY, DISFIGURING ROOTS, SUN SCALD, INJURIES, ABRASIONS OF THE BARK, PLANT DISEASES, INSECT PEST EGGS, BORERS AND ALL FORMS OF INFESTATIONS OF OBJECTIONABLE DISFIGUREMENTS. PLANTS SHALL BE IN ACCORDANCE WITH THE CURRENT AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS AND CONFORM IN GENERAL TO REPRESENTATIVE SPECIES.
- BALLED AND BURLAPPED OR CONTAINER TREES AND SHRUBS SHOULD BE DUG WITH FIRM, NATURAL BALLS OF EARTH OF ADEQUATE SIZE AS SPECIFIED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, "AMERICAN STANDARD FOR NURSERY STOCK" WITH THE BALLS SECURELY WRAPPED.
- ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL BE OF UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH.
- A MINIMUM OF 4" DEPTH OF TOPSOIL SHALL BE PLACED IN ALL BED AREAS BY LANDSCAPE CONTRACTOR. PRIOR TO PLANT INSTALLATION. BACKFILL ALL SHRUBS AND TREES WITH BACKFILL MIX OF ONE PART PEAT TO THREE PARTS TOPSOIL.
- MULCH TREES AND SHRUBS WITH MIN. 3" DEPTH AND PERENNIAL BEDS WITH 2" DEPTH OF HARDWOOD MULCH. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE TO FACE OF SITE STRUCTURES - WALKS, BUILDING OR OTHER PLANT BED LIMITS. KEEP MULCH MIN. 1/2" BELOW TOP OF CURB & ADJACENT PAVED SURFACES.
- SEED ALL DISTURBED LAWN AREAS WITHIN PROJECT LIMITS. REFER TO CIVIL DRAWINGS FOR REQUIREMENTS AND EXTENT OF WORK AND VERIFY EXTENT WITH ARCHITECT'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE-YEAR FROM DATE AT END OF MAINTENANCE PERIOD. BEFORE END OF WARRANTY PERIOD CONTRACTOR SHALL REPLACE ALL TREES, SHRUBS OR PLANTINGS NOT ALIVE OR IN A HEALTHY GROWING CONDITION.



LANDSCAPE ARCHITECT:
YELLOW SPRINGS DESIGN
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 YELLOW SPRINGS, OHIO 45387
 (513) 937-7819 (M) 937-654-8199
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 MI, VA, TX, OK, KS, IA, AZ, CO, NM & UT

REV	DATE	DESCRIPTION
1	11.10.2023	ADDENDUM #02
2	11.21.2023	Restitutions / Submissions

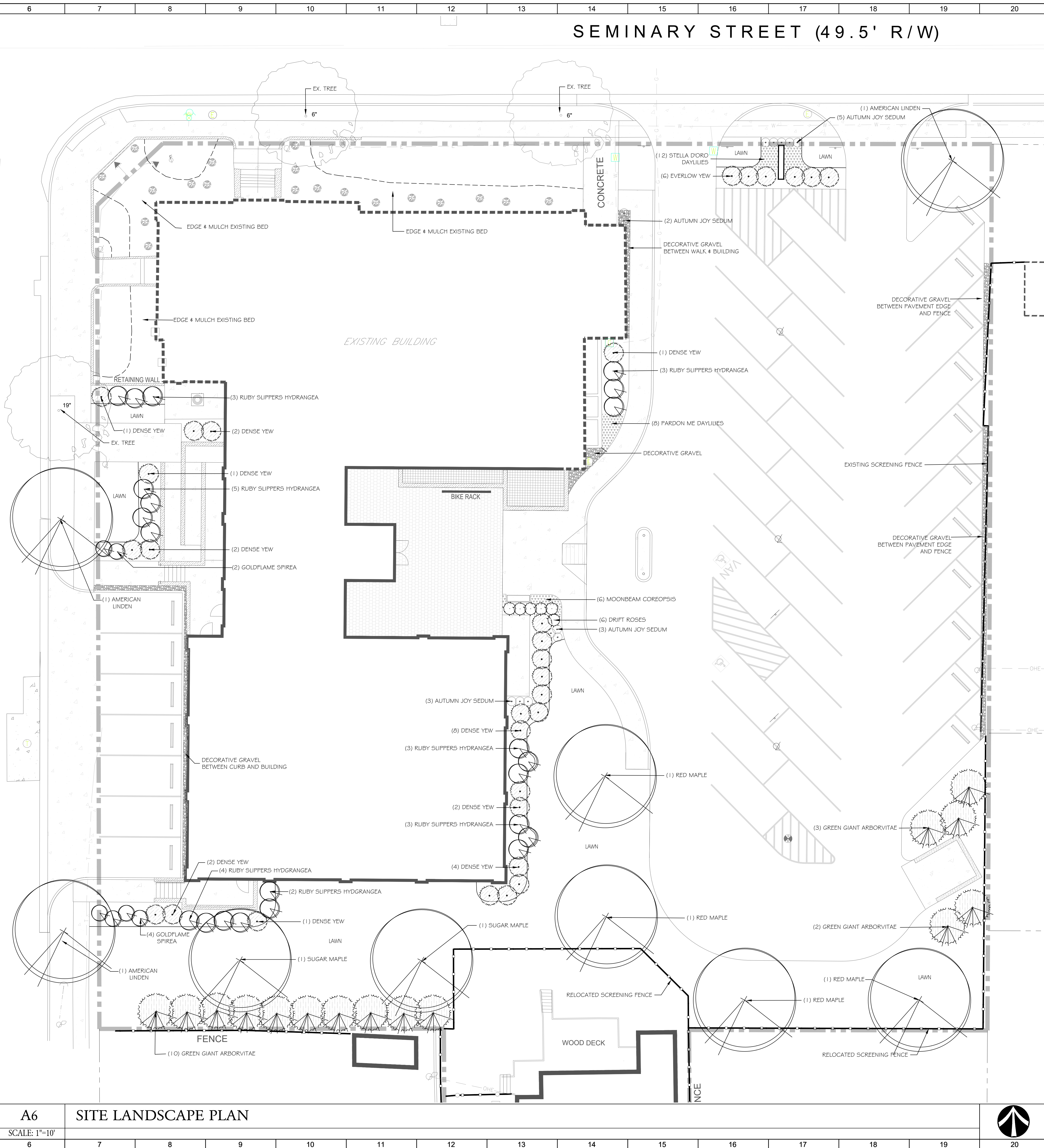


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SITE LANDSCAPE PLAN

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LANDSCAPE REQUIREMENTS:

- DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING.
- THE PLANT LIST IS INTENDED AS A GUIDE FOR THE LANDSCAPE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
- ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS. ADVISE ARCHITECT'S REPRESENTATIVE BEFORE ADJUSTMENTS ARE MADE.
- TREES AND SHRUBS SHALL BE NURSERY GROWN UNLESS OTHERWISE APPROVED AND BE HEALTHY AND VIGOROUS PLANTS, FREE FROM DEFECTS, DECAY, DISFIGURING ROOTS, SUN SCALD, INJURIES, ABRASIONS OF THE BARK, PLANT DISEASES, INSECT PEST EGGS, BORERS AND ALL FORMS OF INFESTATIONS OF OBJECTIONABLE DISFIGUREMENTS. PLANTS SHALL BE IN ACCORDANCE WITH THE CURRENT AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS AND CONFORM IN GENERAL TO REPRESENTATIVE SPECIES.
- BALLED AND BURLAPPED OR CONTAINER TREES AND SHRUBS SHOULD BE DUG WITH FIRM, NATURAL BALLS OF EARTH OF ADEQUATE SIZE AS SPECIFIED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, "AMERICAN STANDARD FOR NURSERY STOCK" WITH THE BALLS SECURELY WRAPPED.
- ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL BE OF UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH.
- A MINIMUM OF 4" DEPTH OF TOPSOIL SHALL BE PLACED IN ALL BED AREAS BY LANDSCAPE CONTRACTOR PRIOR TO PLANT INSTALLATION. BACKFILL ALL SHRUBS AND TREES WITH BACKFILL MIX OF ONE PART PEAT TO THREE PARTS TOPSOIL.
- MULCH TREES AND SHRUBS WITH MIN. 3" DEPTH AND PERENNIAL BEDS WITH 2" DEPTH OF HARDWOOD MULCH. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE TO FACE OF SITE STRUCTURES - WALKS, BUILDING OR OTHER PLANT BED LIMITS. KEEP MULCH MIN. 1/2" BELOW TOP OF CURB & ADJACENT PAVED SURFACES.
- SEED ALL DISTURBED LAWN AREAS WITHIN PROJECT LIMITS. REFER TO CIVIL DRAWINGS FOR REQUIREMENTS AND EXTENT OF WORK AND VERIFY EXTENT WITH ARCHITECT'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE-YEAR FROM DATE AT END OF MAINTENANCE PERIOD. BEFORE END OF WARRANTY PERIOD CONTRACTOR SHALL REPLACE ALL TREES, SHRUBS OR PLANTINGS NOT ALIVE OR IN A HEALTHY GROWING CONDITION.

Indiana 811
Know what's below. Call before you dig.

LANDSCAPE ARCHITECT:
YELLOW SPRINGS DESIGN
 PO Box 472 205 PARK MEADOWS DR
 YELLOW SPRINGS, OHIO 45387
 (O) 937.767.8199 (M) 937.654.8199
 yellowspringsdesign@gmail.com
 LICENSED IN OH, KY, PA, IN, IL, MO,
 MI, VA, TX, OK, KS, IA, AZ, CO, NM & UT

BID DOCUMENTS		11/16/2023
ADDENDUM #02		11/21/2023
No.	Revision / Submissions	Date

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ENGINEERS • SURVEYORS
28 North Cherry Street | Germantown, Ohio 43027 | Phone: 937-388-0006 | BURKHARDTINC.COM
CIVIL ENGINEERING | LAND SURVEYING | NATIONAL RETAIL SITE DEVELOPMENT

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434 East First Street Dayton, OH 45402 937.223.6500
712 East Main Street Richmond, IN 47374 765.966.3546

Union County Public Library
UNION COUNTY PUBLIC LIBRARY
LIBRARY ADDITION AND RENOVATION
2 EAST SEMINARY STREET
LIBERTY, IN 47353

SITE LANDSCAPE PLAN ALTERNATE (BUILDING ADDITION)

Comm. No.	Date
22106.00	2023.11.10
Drawn	Drawn No.
REB	L-2.0
Checked	
REB	

SEAL: REBECCA E. BEAL, REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT, NO. 20600100, STATE OF INDIANA, LICENSED 11/15/2017.

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11/21/2023 9:06:21 AM

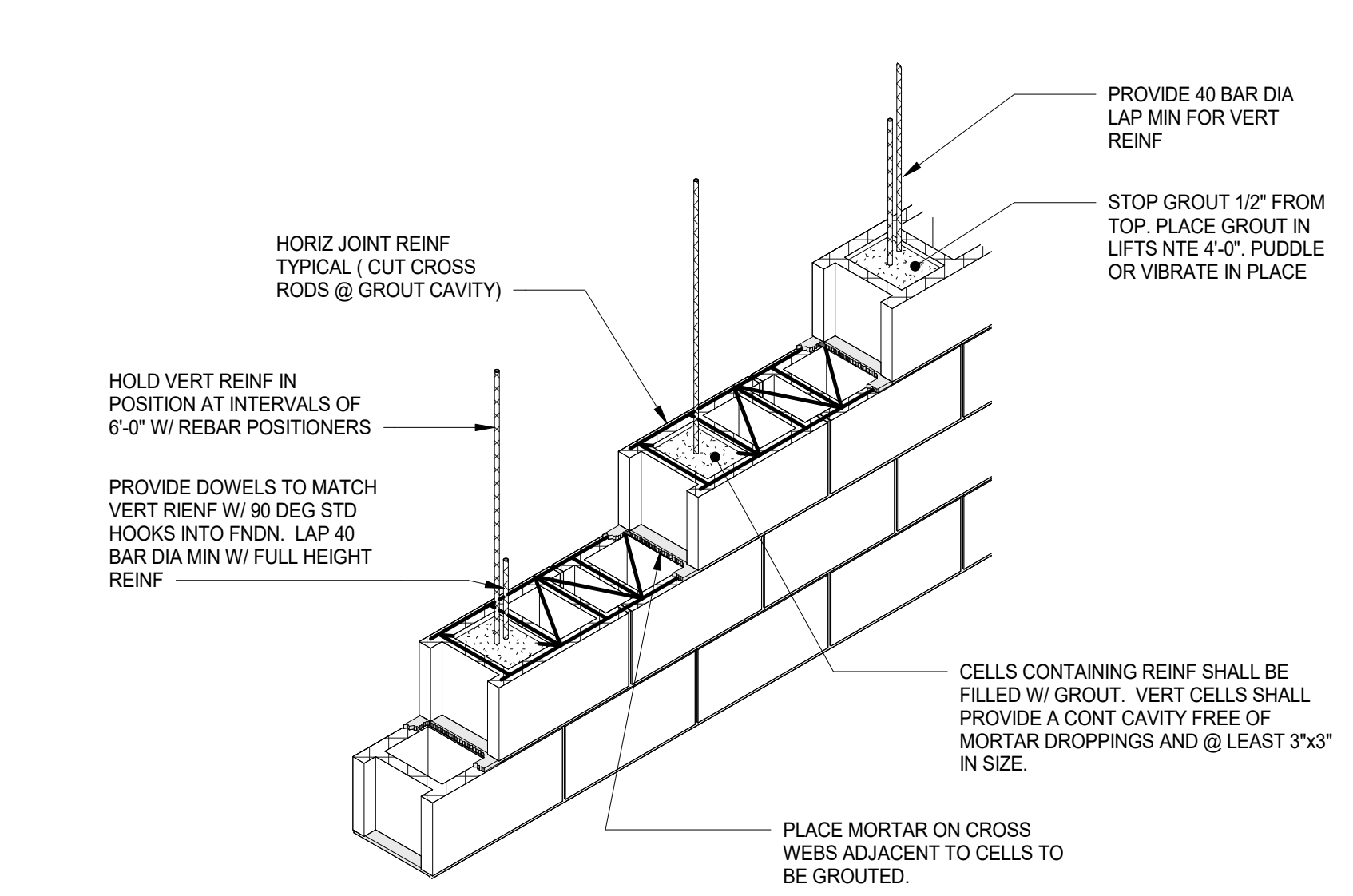
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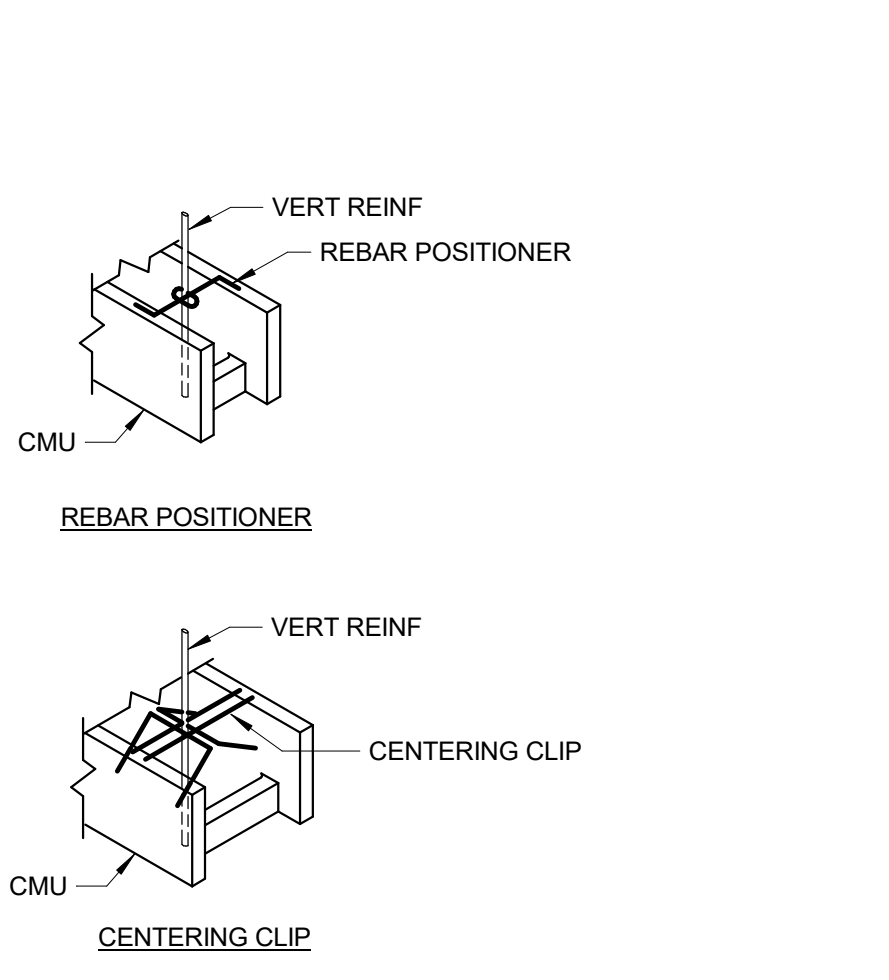
Project information and logos. Includes LWC INCORPORATED logo, JPS CONSULTING ENGINEERS, LLC logo, and Union County Public Library logo. Text includes address (434 East First Street, Dayton, OH 45402), phone (937.223.6500), website (www.unioncountypubliclibrary.org), and project title (LIBRARY ADDITION AND RENOVATION).

Table with 2 columns: Comm. No., Date. Row 1: 22106.00, 2023/11/10. Includes a signature stamp for Chad M. Smiley, Registered Professional Engineer, State of Indiana, No. PE10200632.

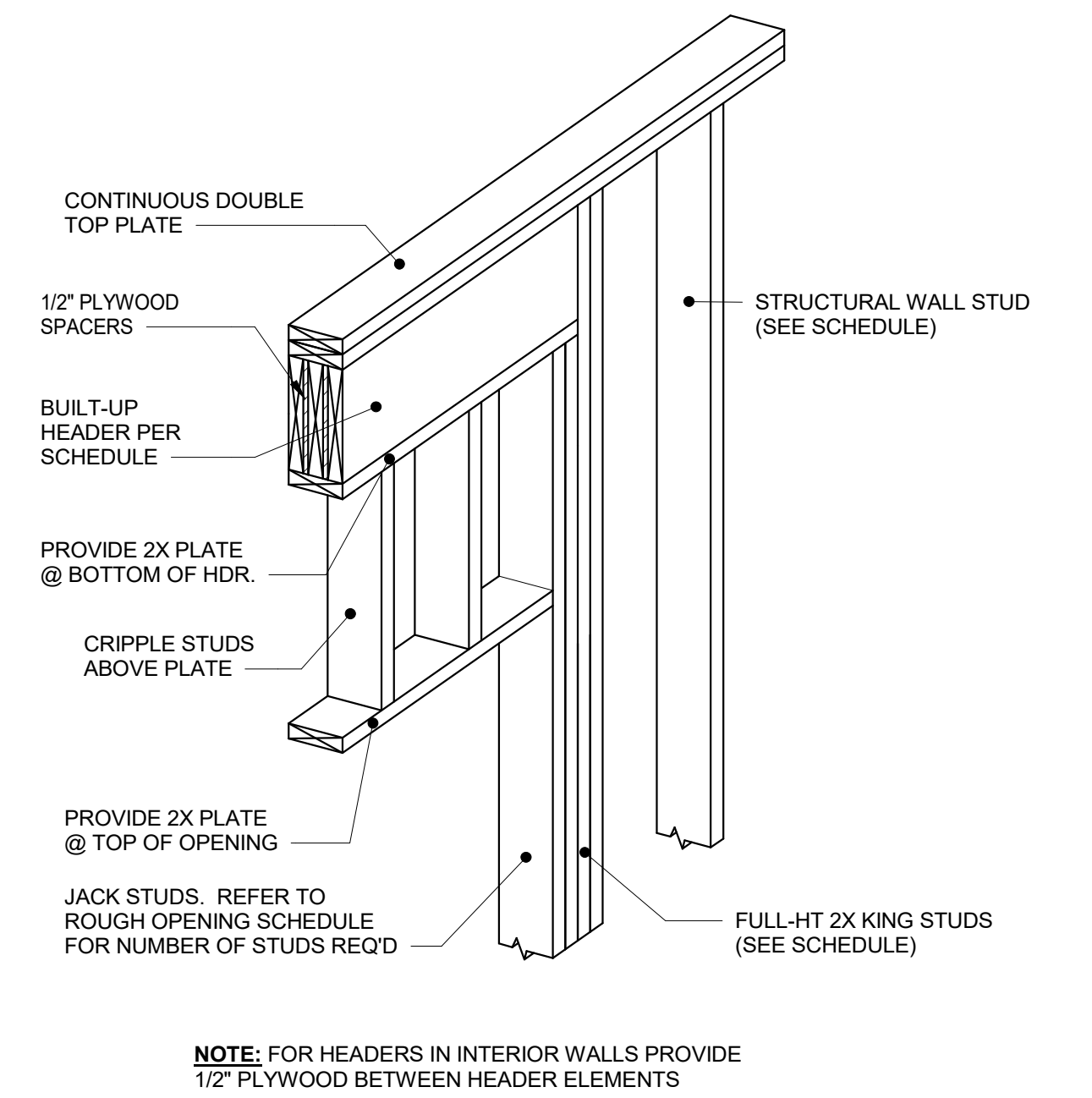
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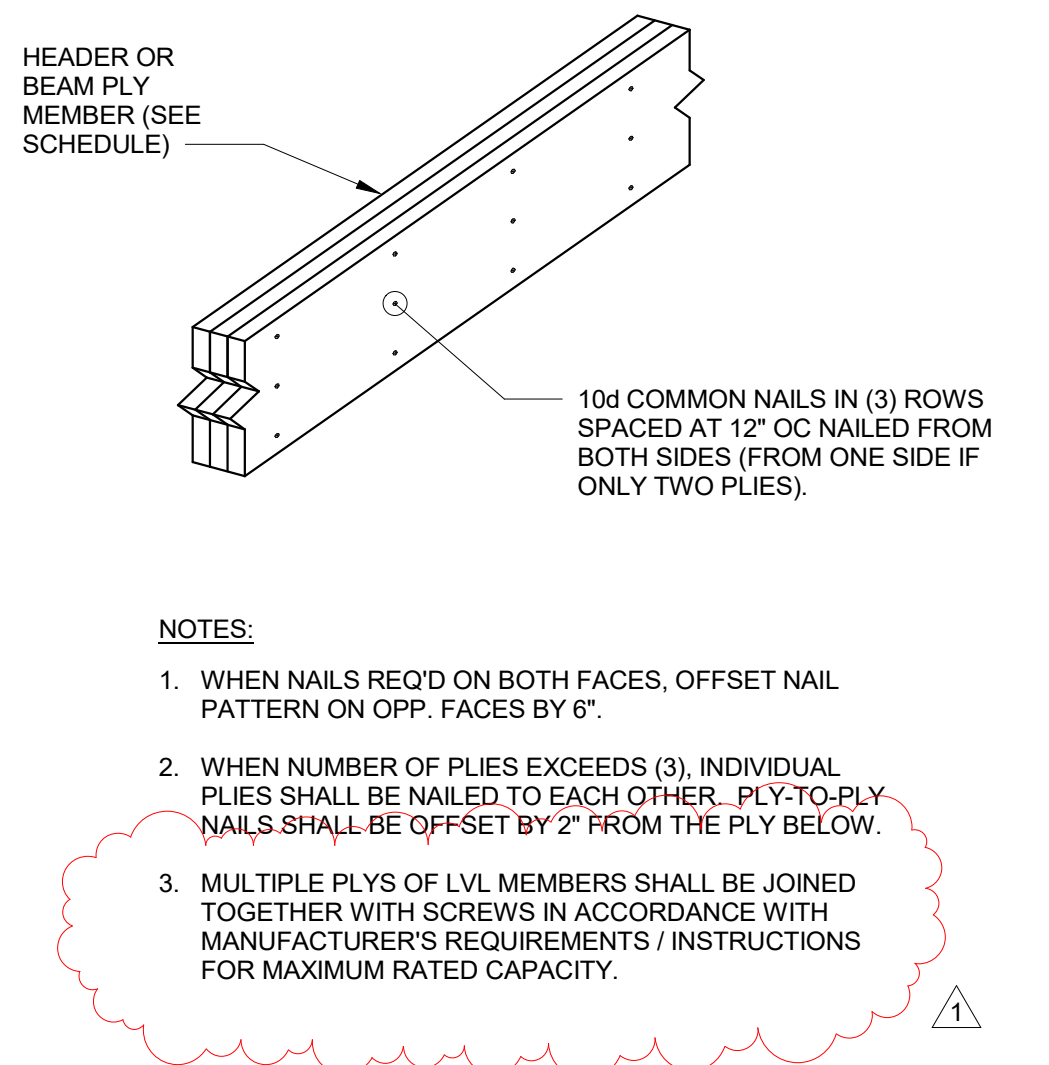
1 TYPICAL CMU CONSTRUCTION DETAIL
S006 / 3/4" = 1'-0"



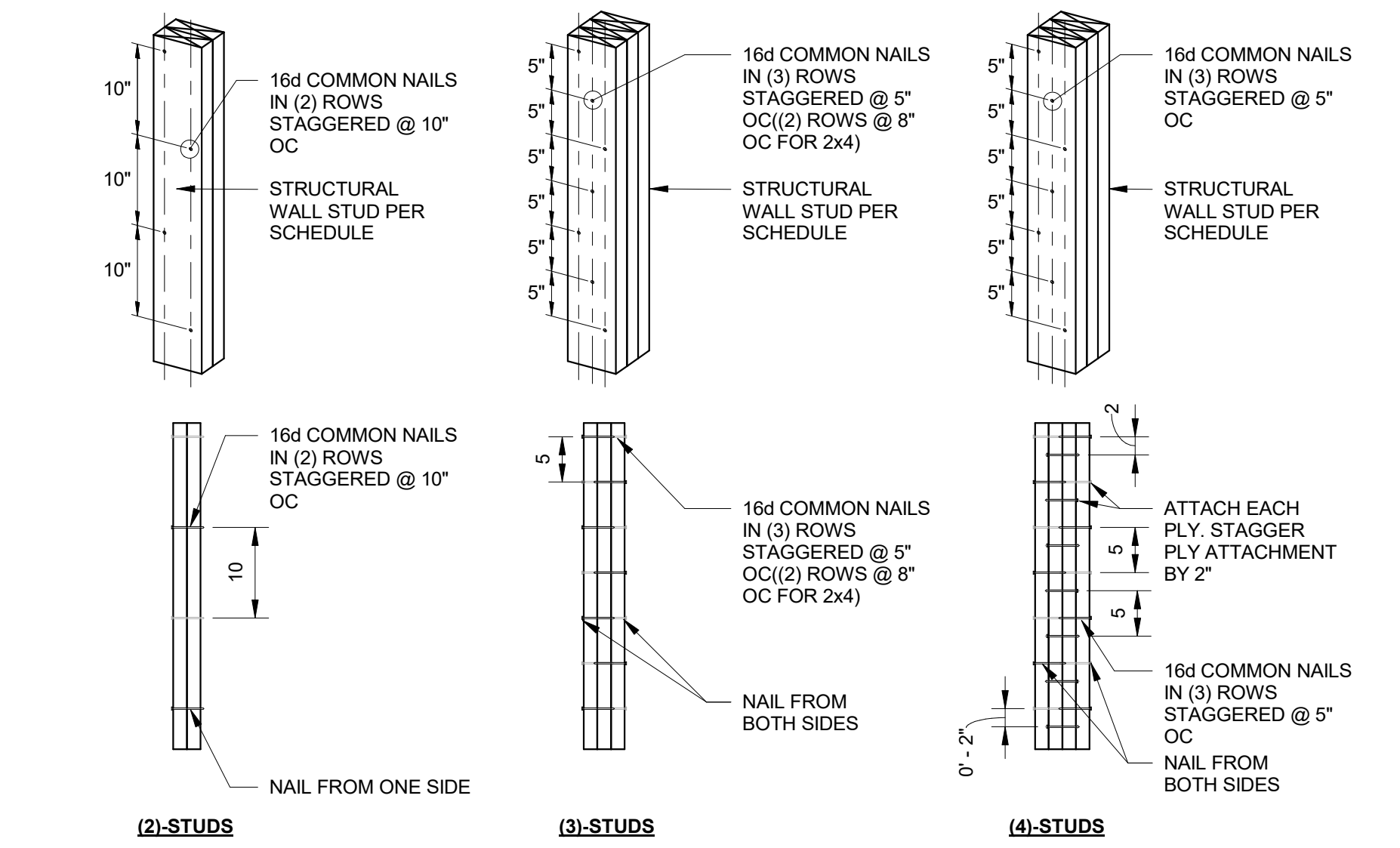
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S006 / 3/4" = 1'-0"



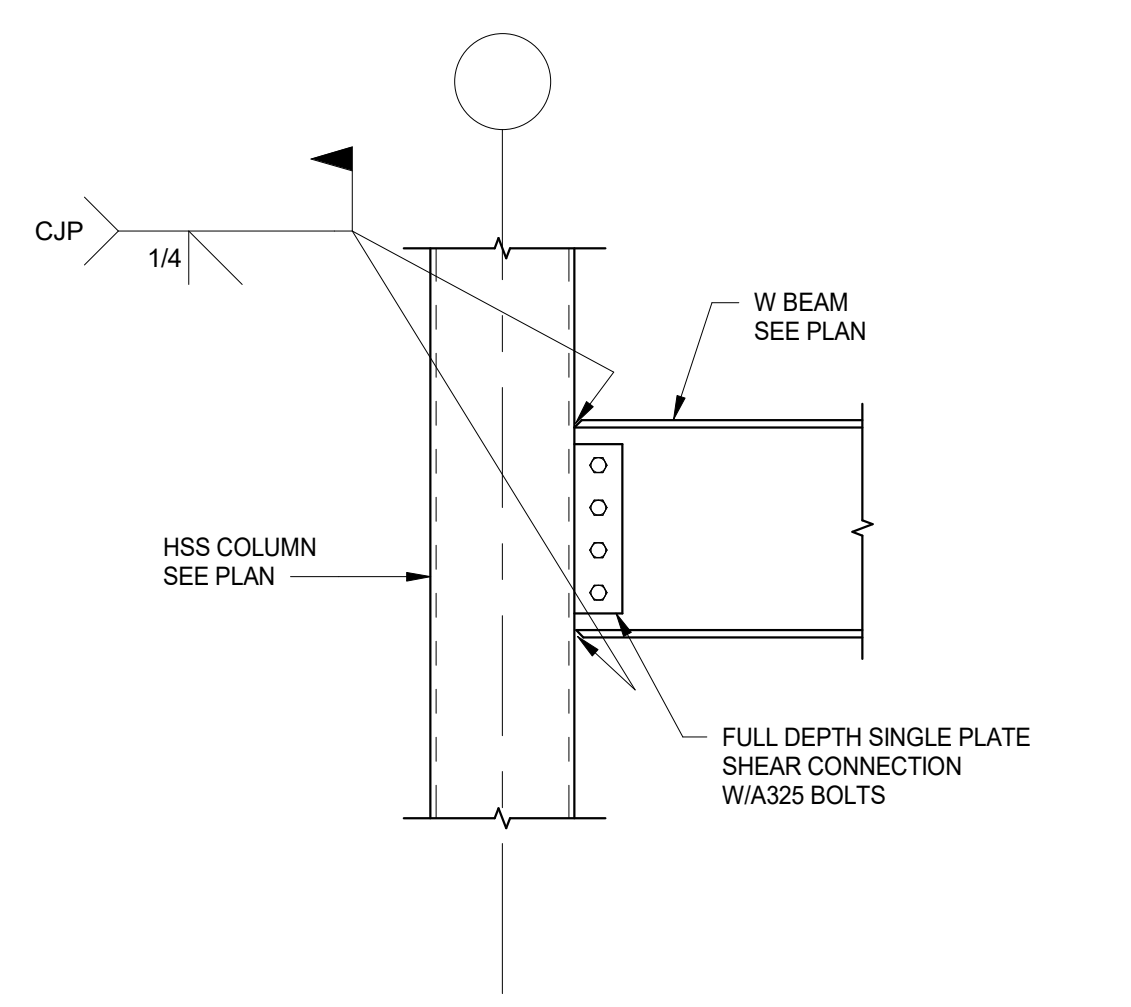
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S006 / 3/4" = 1'-0"



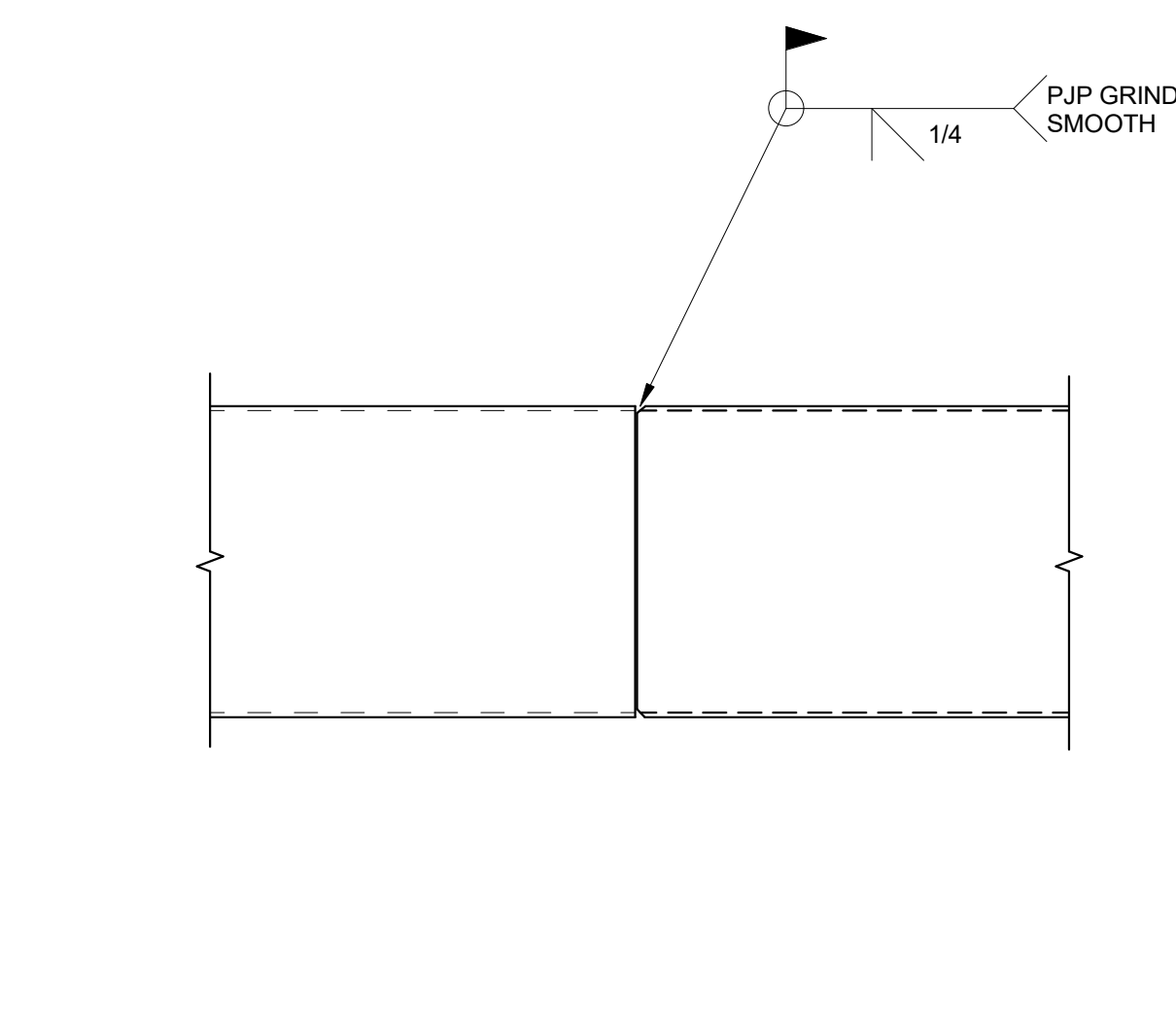
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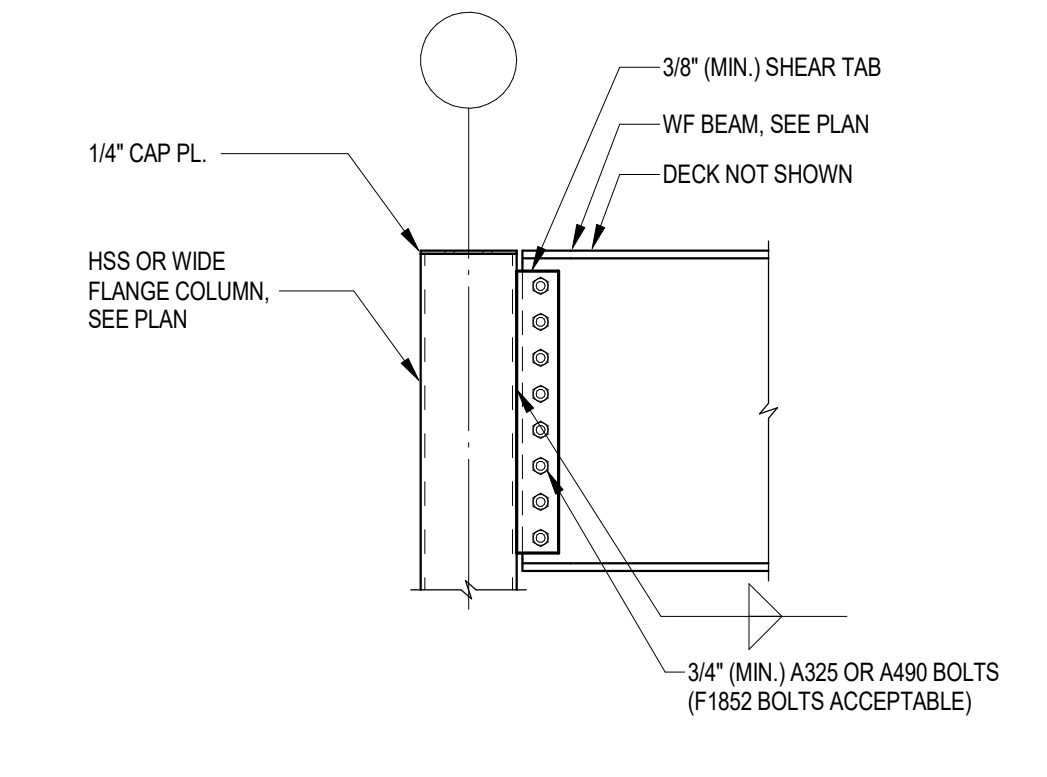
5 TYPICAL ATTACHMENT DETAIL FOR MULTIPLE STUDS
S006 / 3/4" = 1'-0"



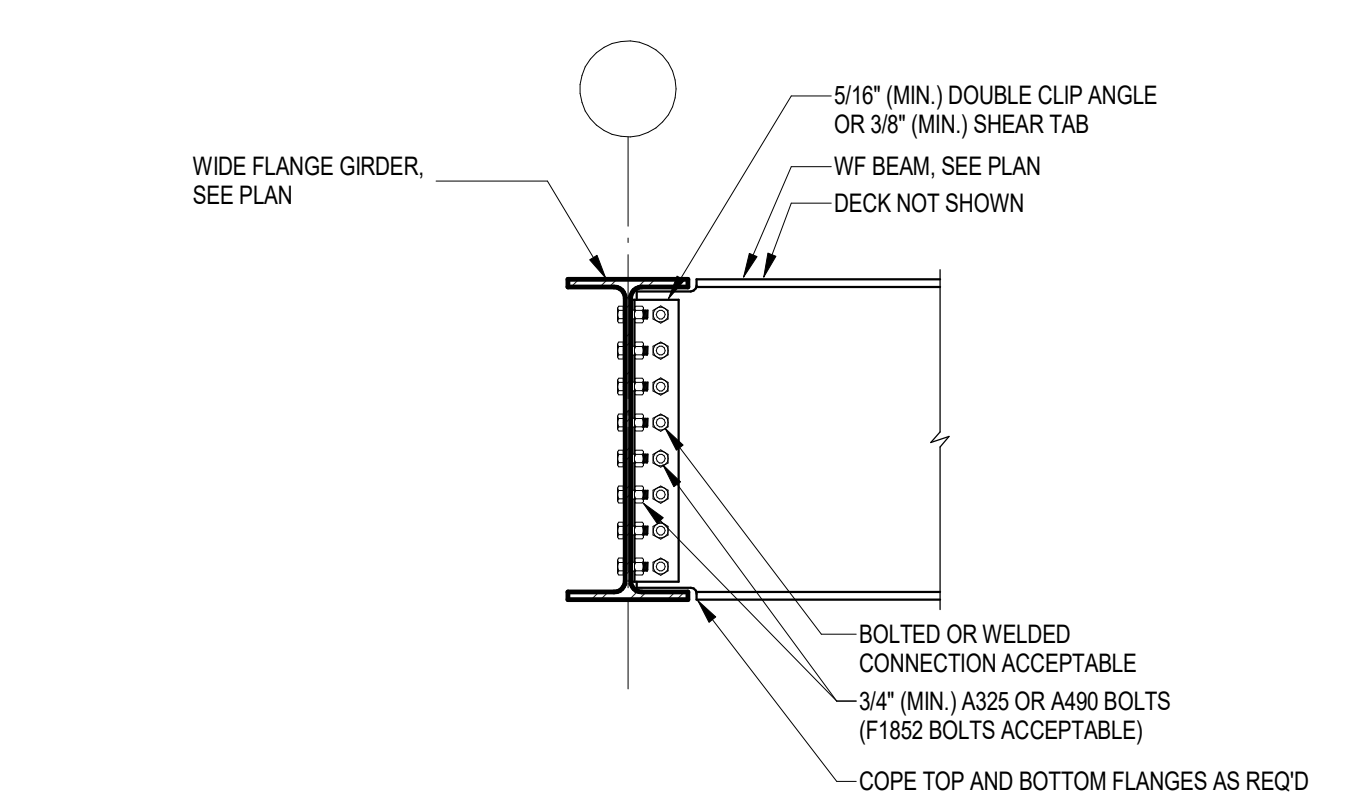
6 TYPICAL HSS BEAM DIRECTLY WELDED TO COLUMN
S006 / 3/4" = 1'-0"



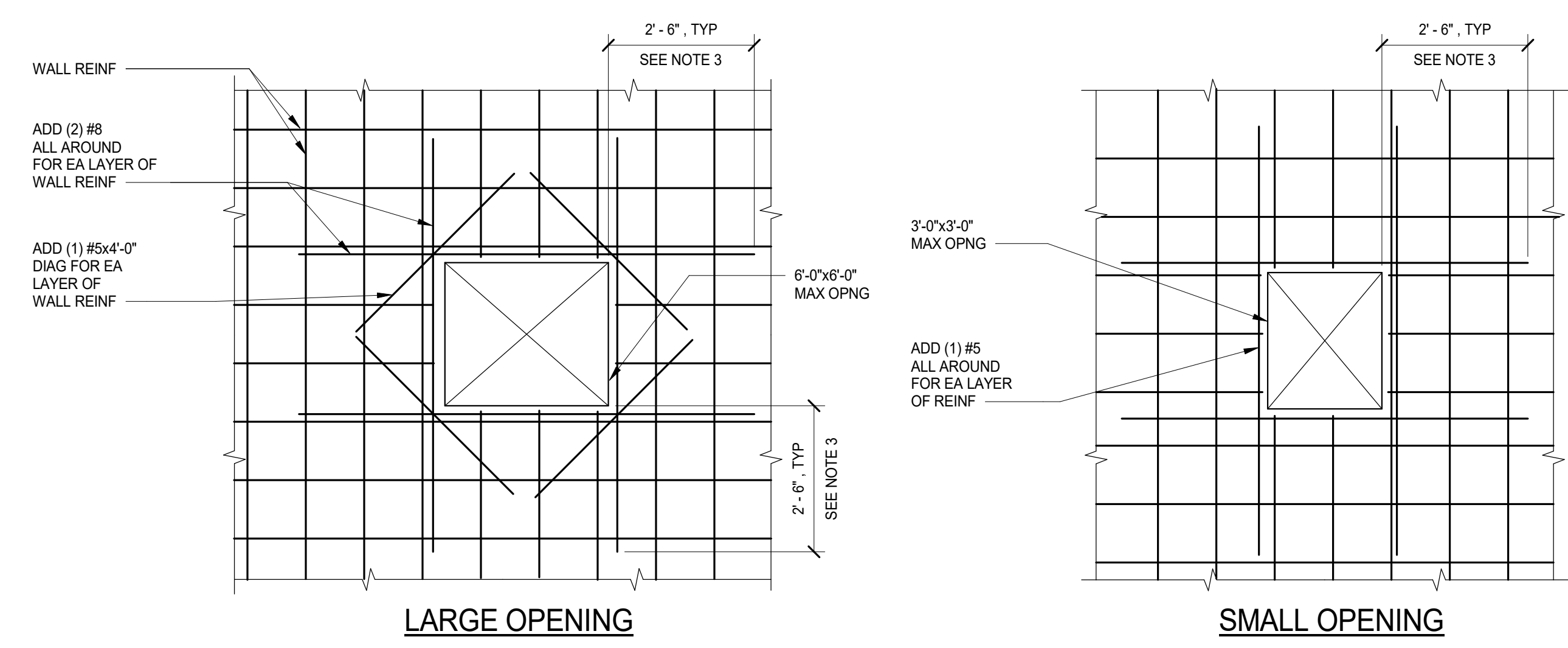
7 TYPICAL DETAIL OF HSS20x4 SPLICE AT TRACK
S006 / 1" = 1'-0"



8 TYPICAL WF BEAM SHEAR TAB TO COLUMN
S006 / 3/4" = 1'-0"



9 TYPICAL WF BEAM TO WF GIRDER
S006 / 3/4" = 1'-0"



10 TYPICAL CONCRETE WALL OPENING REINFORCEMENT
S006 / 1/2" = 1'-0"

NOTES:
1. OMIT ADDED REINFORCEMENT NOTED ABOVE WHEN SPECIAL REINFORCEMENT, INDICATED ON PLANS OR DETAILS, EXCEEDS THIS REINFORCEMENT.
2. CONTRACTOR SHALL VERIFY ALL OPENINGS NOT SHOWN ON THE STRUCTURAL DRAWINGS WITH THE STRUCTURAL ENGINEER BEFORE PLACEMENT.
3. WHEN EDGE OF CONCRETE CLOSE TO OPENING WILL NOT ALLOW THIS LENGTH, CONSULT STRUCTURAL ENGINEER BEFORE CONSTRUCTION.

BID DOCUMENTS		11.30.2023
1 ADDENDUM #02		11.21.2023
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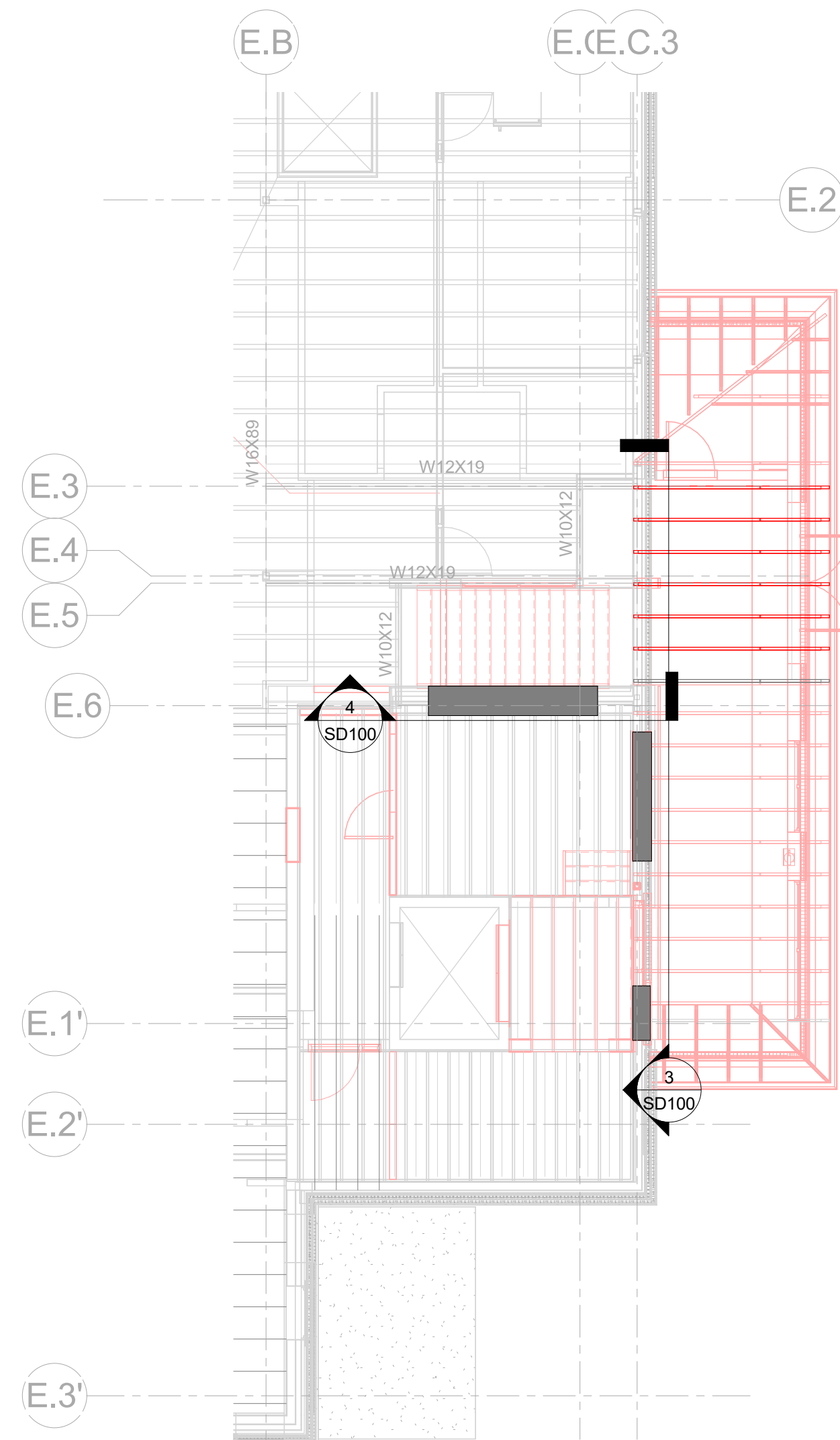
TYPICAL DETAILS

Comm. No.	22106.00	Date	2023/11/10
Drawn	JCB	Drawing No.	S006
Checked	CMS		

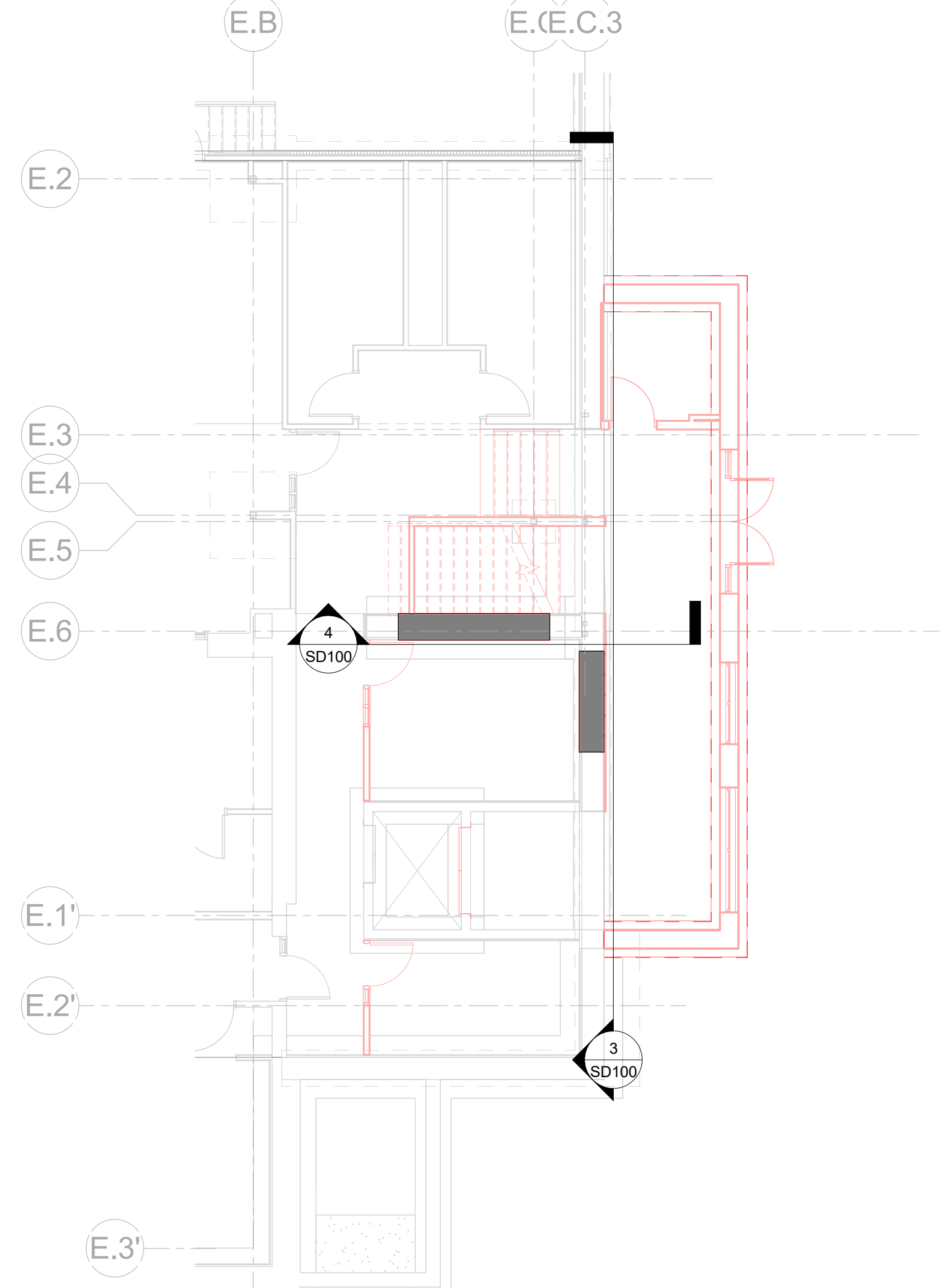
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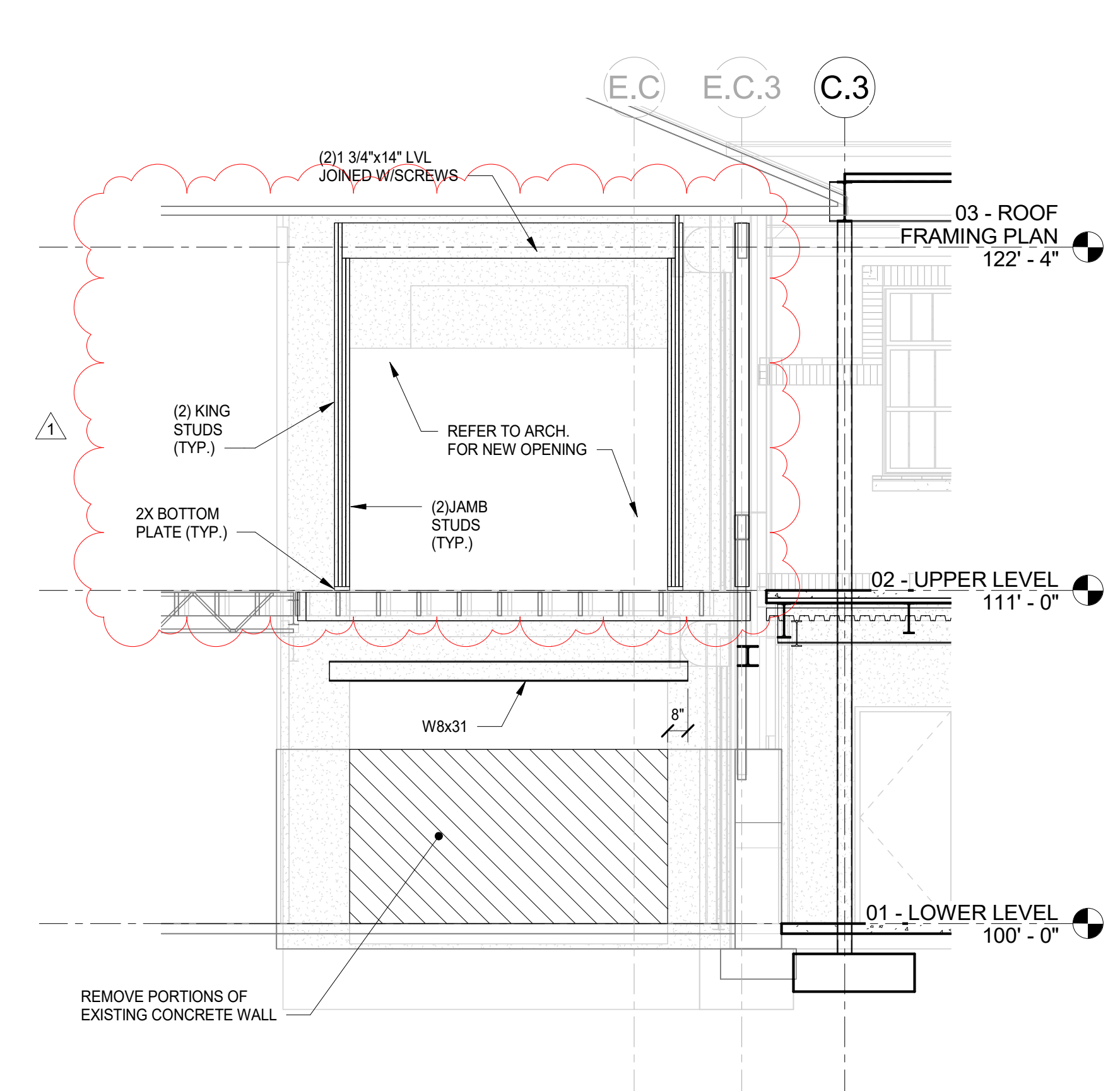


2 UPPER LEVEL - DEMOLITION PLAN
SD100/ 1/8" = 1'-0"

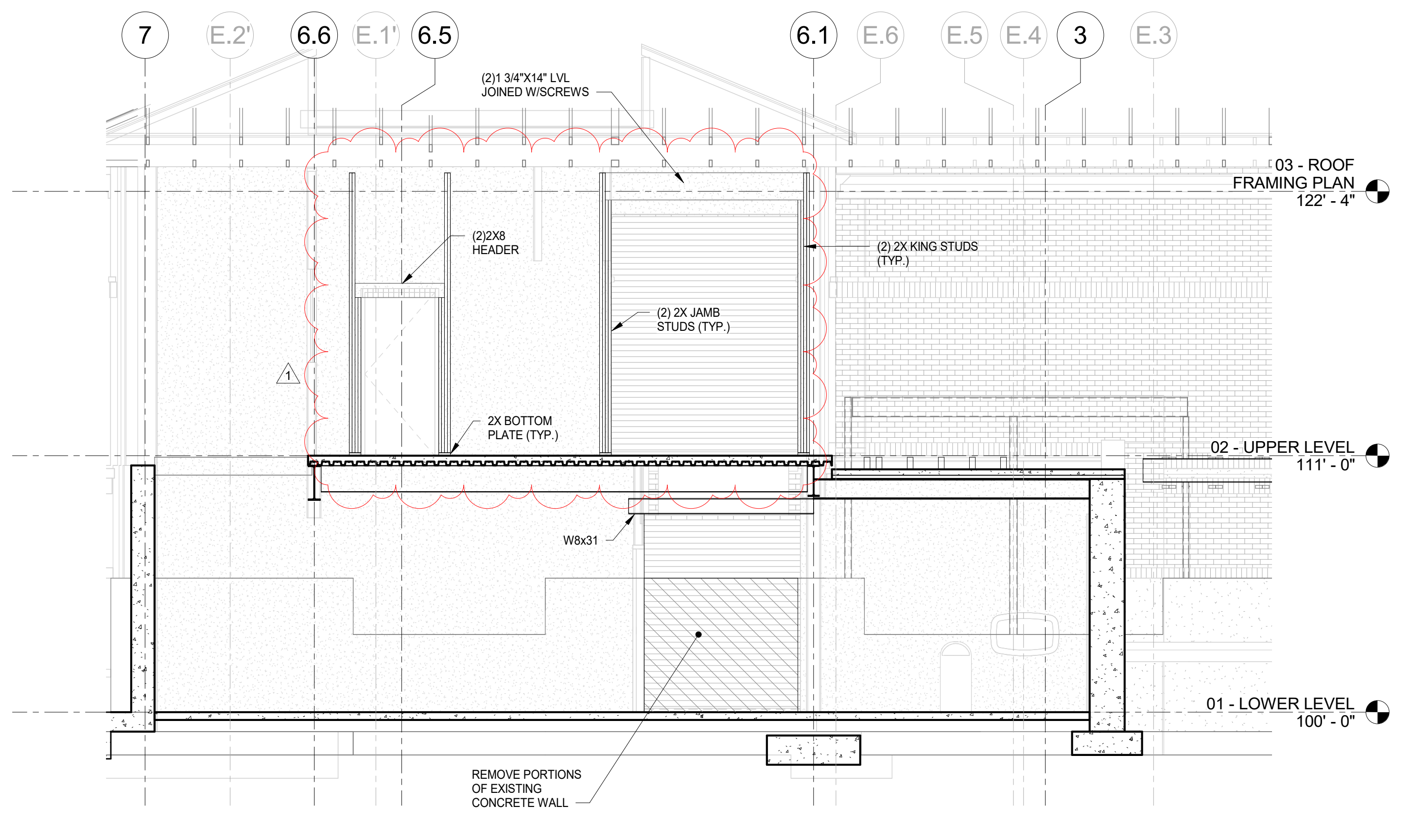


1 LOWER LEVEL - DEMOLITION PLAN
SD100/ 1/8" = 1'-0"

- PLAN NOTES**
1. THE CONTRACTOR SHALL VERIFY ALL EXISTING JOB CONDITIONS, REVIEW ALL DRAWINGS AND VERIFY DIMENSIONS PRIOR TO ANY CONSTRUCTION AND CONTACT A/E WITH ANY DISCREPANCIES PRIOR TO ANY FABRICATIONS OF WORK.
 2. FOR ADDITIONAL DEMOLITION PLANS AND DETAILS REFER TO THE ARCHITECTURAL DRAWINGS.
 3. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AS REQUIRED FOR SUPPORT OF THE EXISTING STRUCTURE FOR PLACEMENT OF NEW OPENINGS. SHORING SHALL BE DELEGATED DESIGN AND BE SUBMITTED TO THE A/E FOR REVIEW.



4 ELEVATION LOOKING EAST
SD100/ 1/4" = 1'-0"



3 ELEVATION LOOKING NORTH
SD100/ 1/4" = 1'-0"

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DEMOLITION PLANS AND DETAILS

Comm. No.	22106.00	Date	2023/11/10
Drawn	JCB	Drawing No.	SD100
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1/12/2023 9:06:43 AM

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1 UPPER LEVEL FRAMING PLAN
S102 1/8" = 1'-0"

- PLAN NOTES.**
- REFER TO SHEETS S001-S006 FOR GENERAL NOTES AND TYPICAL DETAILS.
 - THE TOP OF STEEL ELEVATION SHALL BE (110'-7") U.N.O.
 - THE SLAB SHALL CONSIST OF 3" NORMAL WEIGHT CONCRETE OVER 2" 20 GA GALVANIZED COMPOSITE METAL DECK (5" TOTAL THICKNESS) REINFORCED WITH A NON-METALLIC FIBERMESH EQUIVALENT TO 6x6 - W2 1xW2 1 WIRE MESH REINFORCING IN SHEET FORM. TOP OF SLAB SHALL BE AT ELEVATION (111'-0") (V.I.F.) MATCH EXISTING FLOOR ELEVATION.
 - PROVIDE FULL DEPTH SHEAR CONNECTIONS FOR ALL FRAMING MEMBERS. REFER TO NOTE 12 ON SHEET S001 UNDER STRUCTURAL STEEL FOR CONNECTION REQUIREMENTS.
 - "EOS" REFERS TO NOMINAL PERIMETER BENT PLATE/ANGLE AT EDGE OF SLAB. ALL PERIMETER BENT PLATES/ANGLES SHALL BE FIELD INSTALLED. THE BENT PLATE/ANGLE SHALL BE FIELD ALIGNED WITH THE ARCHITECTURAL BUILDING LINE TAKING INTO ACCOUNT ALL TOLERANCES IN FABRICATION AND ERECTION. REFER TO TYPICAL DETAILS FOR BENT PLATE/ANGLE FABRICATION AND INSTALLATION REQUIREMENTS.
 - THE CONTRACTOR SHALL VERIFY ALL EXISTING JOB CONDITIONS. REVIEW ALL DRAWINGS AND VERIFY DIMENSIONS PRIOR TO ANY CONSTRUCTION AND CONTACT A/E WITH ANY DISCREPANCIES PRIOR TO ANY FABRICATIONS OR WORK.
 - (*) INDICATES TOP OF STEEL ELEVATION (110'-0") FOR ADDITIONAL DETAILS.
 - (L) INDICATES A LATERAL MOMENT CONNECTION. REFER TO DETAIL @S006 FOR ADDITIONAL DETAILS.
 - IF ALTERNATE #M IS ACCEPTED, FILL IN EXISTING OPENING WITH 2X12 FRAMING AT 16" O.C. AND 3/4" PLYWOOD FLOORING.

No.	Revisions / Submissions	Date
1	BID DOCUMENTS	11.30.2023
1	ADDENDUM #02	11.21.2023

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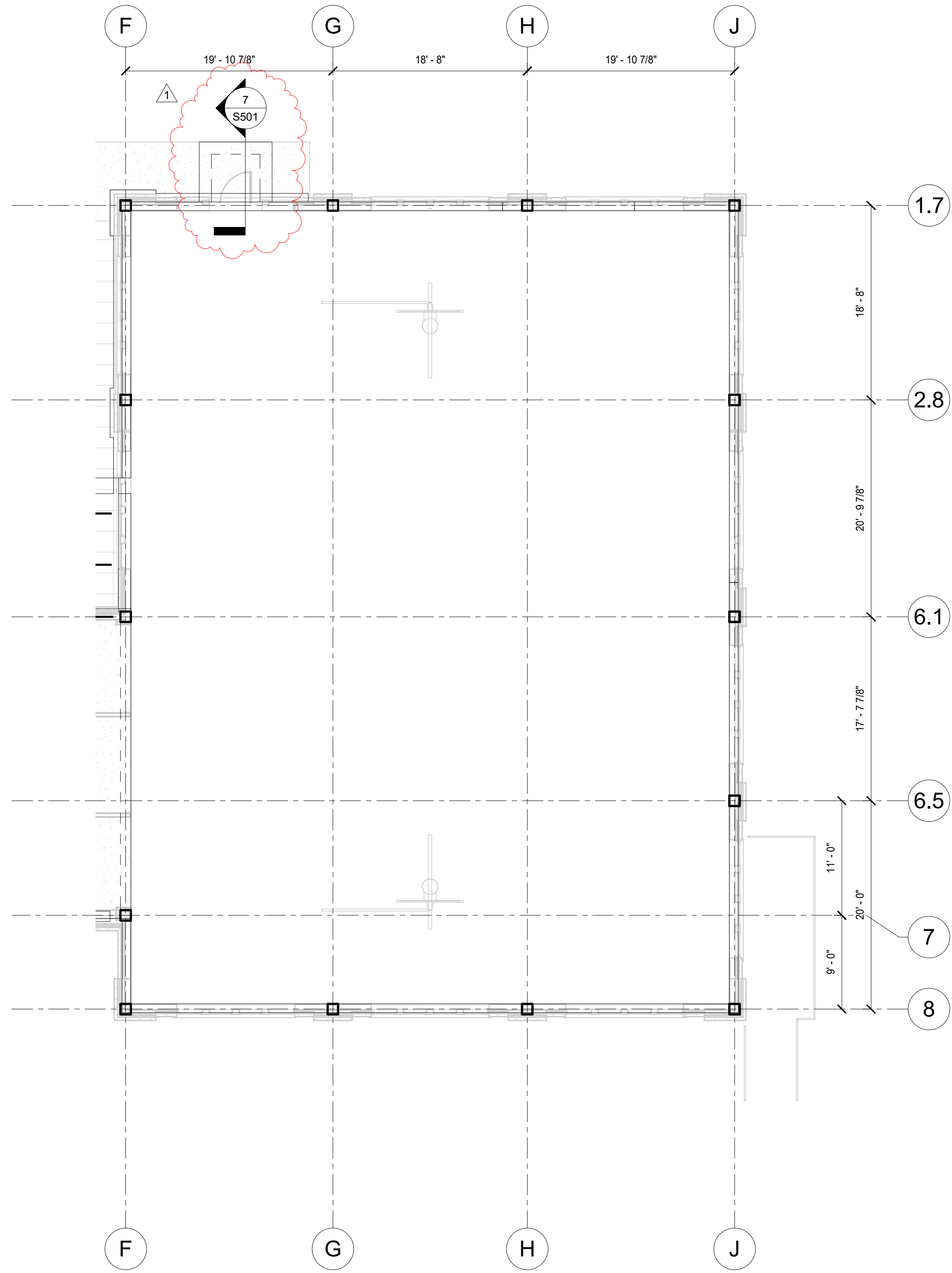
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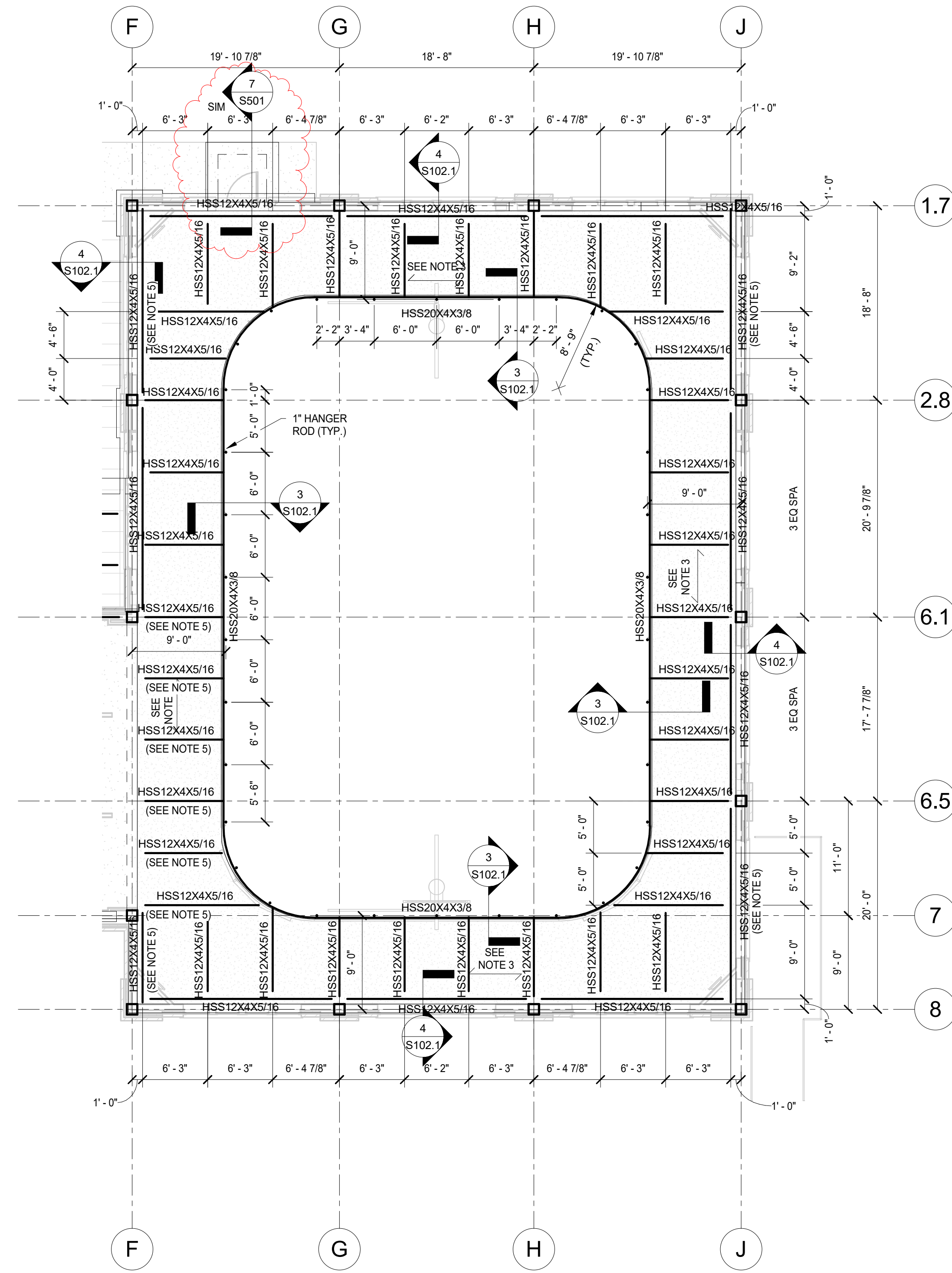
UPPER LEVEL FRAMING PLAN

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	22106.00	2023/11/10
	Drawn	JCB
Checked	CMS	S102
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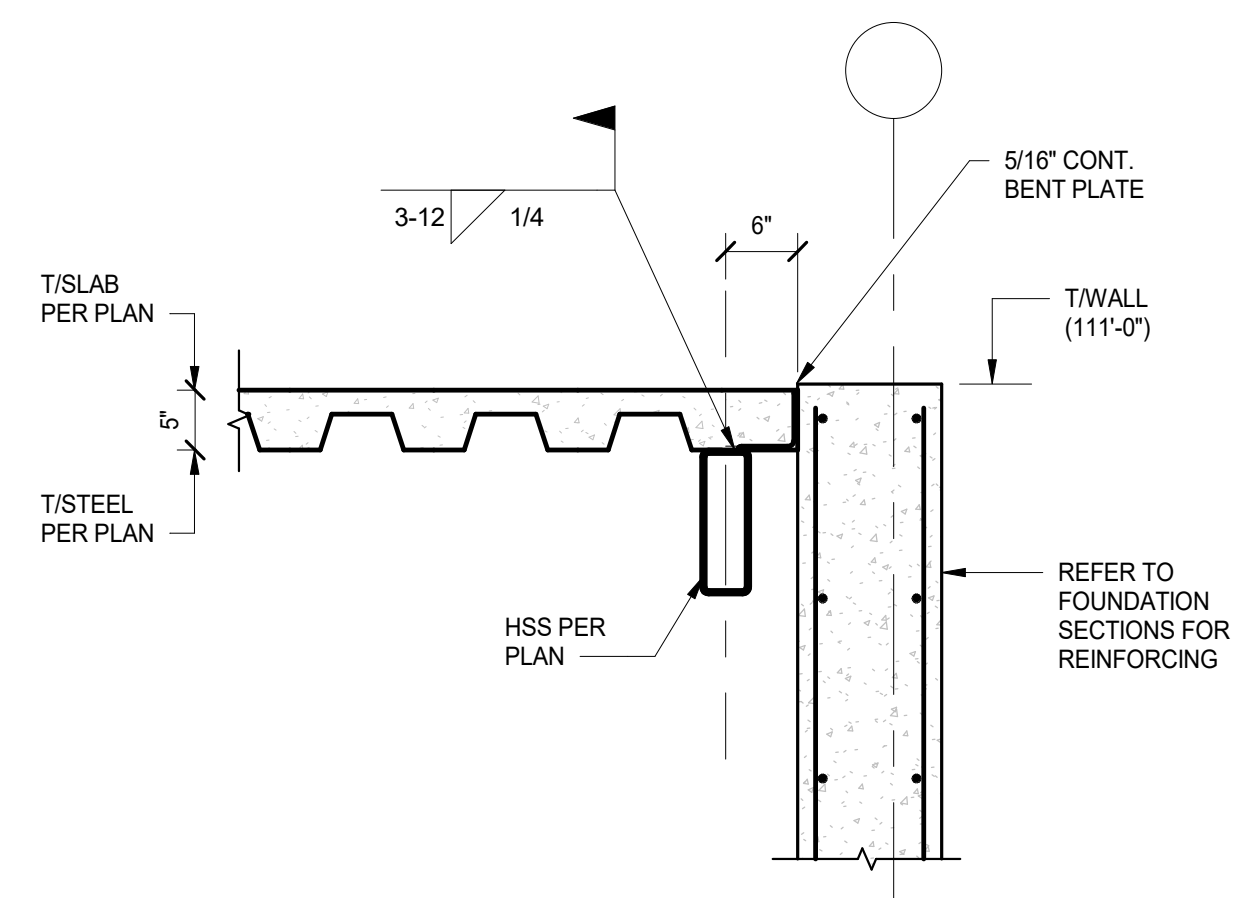
2 UPPER LEVEL FRAMING PLAN - ALTERNATE #01
S102.1 1/8" = 1'-0"



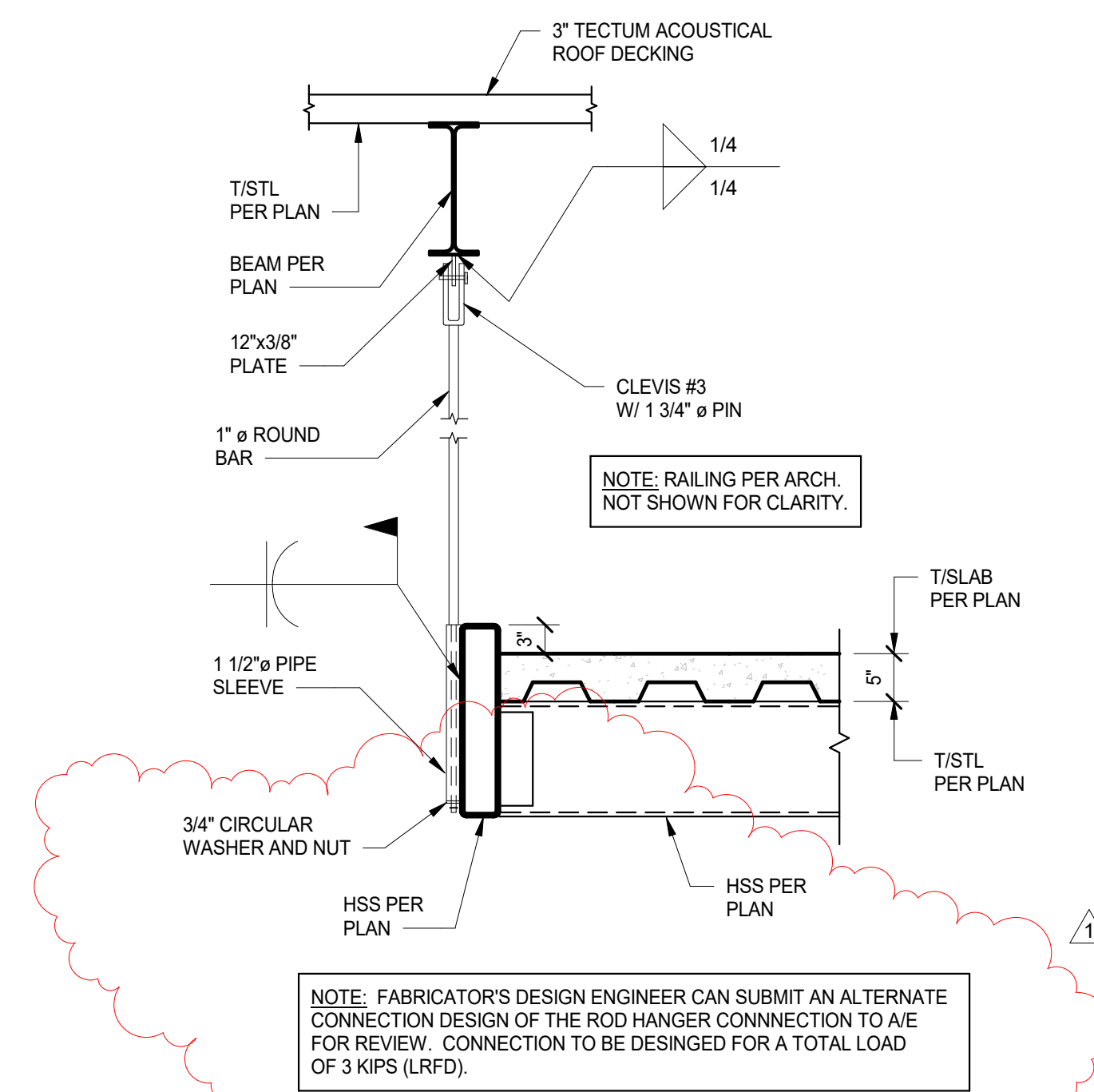
1 UPPER LEVEL FRAMING PLAN - ALTERNATE #03
S102.1 1/8" = 1'-0"

PLAN NOTES

- REFER TO SHEETS S001-S006 FOR GENERAL NOTES AND TYPICAL DETAILS.
- THE TOP OF STEEL ELEVATION SHALL BE (110'-6 1/2") U.N.O.
- THE SLAB SHALL CONSIST OF 3" NORMAL WEIGHT CONCRETE OVER 2" 20 GA GALVANIZED COMPOSITE METAL DECK (5" TOTAL THICKNESS) REINFORCED WITH A NON-METALLIC FIBERMESH EQUIVALENT TO 6x6-W2-1KW2-1 WIRE MESH REINFORCING IN SHEET FORM. TOP OF SLAB SHALL BE AT ELEVATION (110'-11 1/2").
- PROVIDE FULL DEPTH SHEAR CONNECTIONS FOR ALL FRAMING MEMBERS. REFER TO NOTE 12 ON SHEET S001 UNDER STRUCTURAL STEEL FOR CONNECTION REQUIREMENTS.
- PROVIDE EMBEDS IN CONCRETE WALL PER TYPICAL DETAIL IF ALTERNATE #03 IS ACCEPTED. DISREGARD EMBEDS IF ALTERNATE #01 IS NOT ACCEPTED.



4 SECTION
S102.1 3/4" = 1'-0"



3 SECTION
S102.1 3/4" = 1'-0"

No.	Revisions / Submissions	Date
1	BID DOCUMENTS	11.30.2023
2	ADDENDUM #02	11.21.2023

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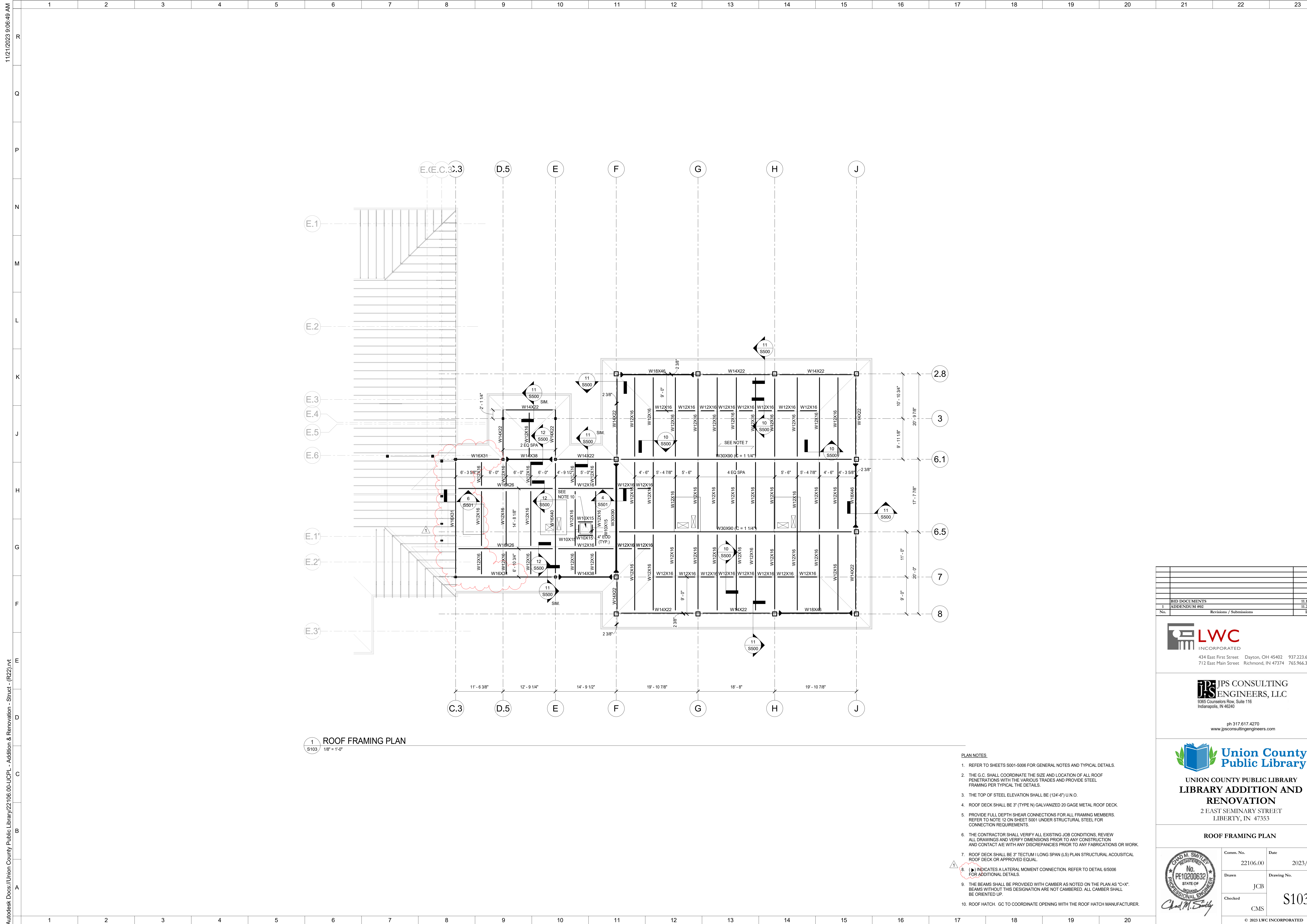
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UPPER LEVEL FRAMING PLAN - ALTERNATE #01 AND ALTERNATE #03

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	22106.00	2023/11/10
Drawn	JCB	Drawing No.
Checked	CMS	S102.1



1 ROOF FRAMING PLAN
S103 1/8" = 1'-0"

- PLAN NOTES.**
- REFER TO SHEETS S001-S006 FOR GENERAL NOTES AND TYPICAL DETAILS.
 - THE G.C. SHALL COORDINATE THE SIZE AND LOCATION OF ALL ROOF PENETRATIONS WITH THE VARIOUS TRADES AND PROVIDE STEEL FRAMING PER TYPICAL THE DETAILS.
 - THE TOP OF STEEL ELEVATION SHALL BE (124'-6") U.O.
 - ROOF DECK SHALL BE 3" (TYPE N) GALVANIZED 20 GAGE METAL ROOF DECK.
 - PROVIDE FULL DEPTH SHEAR CONNECTIONS FOR ALL FRAMING MEMBERS. REFER TO NOTE 12 ON SHEET S001 UNDER STRUCTURAL STEEL FOR CONNECTION REQUIREMENTS.
 - THE CONTRACTOR SHALL VERIFY ALL EXISTING JOB CONDITIONS, REVIEW ALL DRAWINGS AND VERIFY DIMENSIONS PRIOR TO ANY CONSTRUCTION AND CONTACT A/E WITH ANY DISCREPANCIES PRIOR TO ANY FABRICATIONS OR WORK.
 - ROOF DECK SHALL BE 3" TECTUM I LONG SPAN (LS) PLAN STRUCTURAL ACOUSTICAL ROOF DECK OR APPROVED EQUAL.
 - (L) INDICATES A LATERAL MOMENT CONNECTION. REFER TO DETAIL 6/S006 FOR ADDITIONAL DETAILS.
 - THE BEAMS SHALL BE PROVIDED WITH CAMBER AS NOTED ON THE PLAN AS "C-X". BEAMS WITHOUT THIS DESIGNATION ARE NOT CAMBERED. ALL CAMBER SHALL BE ORIENTED UP.
 - ROOF HATCH. GO TO COORDINATE OPENING WITH THE ROOF HATCH MANUFACTURER.

BID DOCUMENTS		11.30.2023
ADDENDUM #02		11.21.2023
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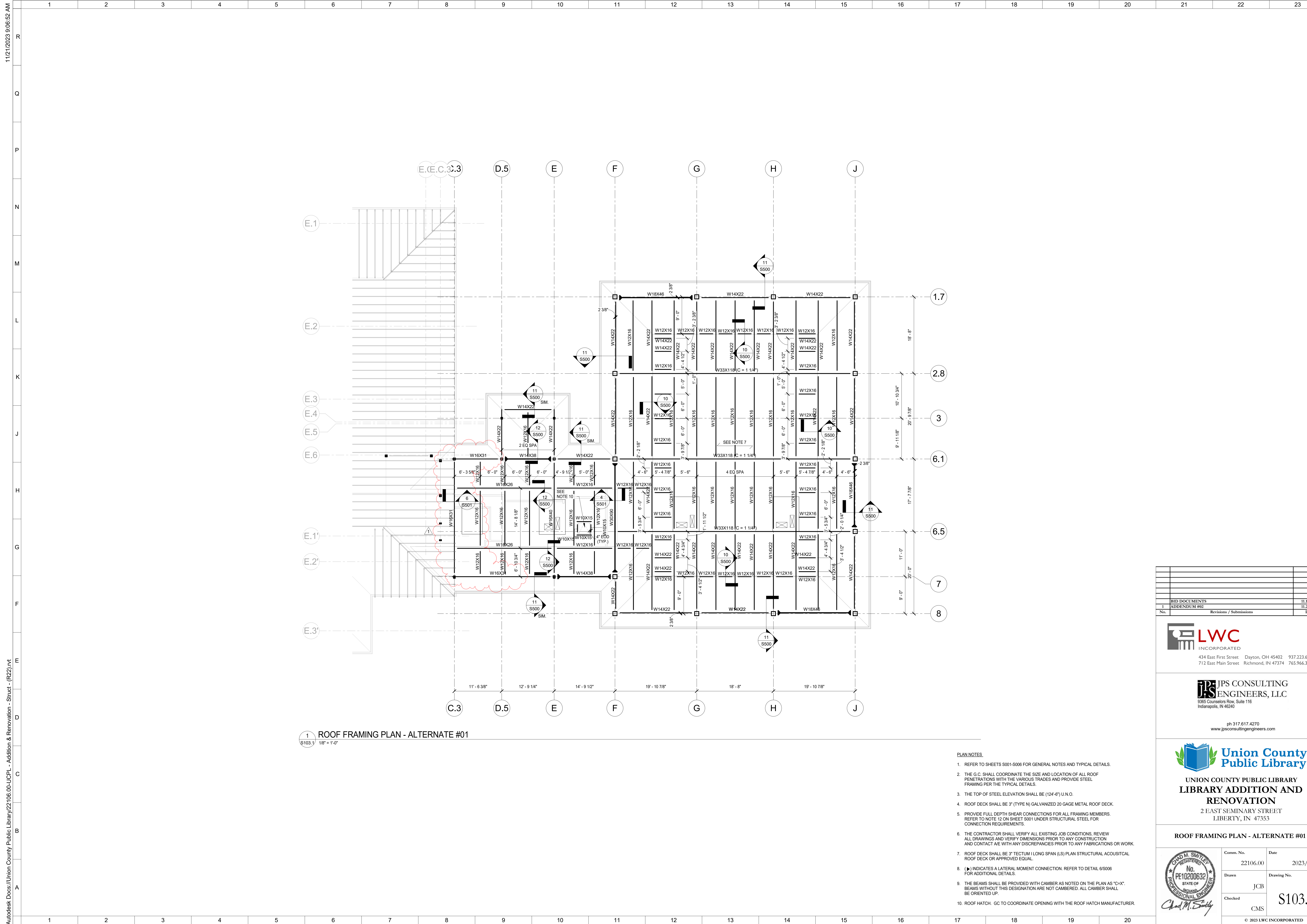
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ROOF FRAMING PLAN

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1 ROOF FRAMING PLAN - ALTERNATE #01
 S103.1 1/8" = 1'-0"

- PLAN NOTES:**
- REFER TO SHEETS S001-S006 FOR GENERAL NOTES AND TYPICAL DETAILS.
 - THE G.C. SHALL COORDINATE THE SIZE AND LOCATION OF ALL ROOF PENETRATIONS WITH THE VARIOUS TRADES AND PROVIDE STEEL FRAMING PER THE TYPICAL DETAILS.
 - THE TOP OF STEEL ELEVATION SHALL BE (124'-6") U.N.O.
 - ROOF DECK SHALL BE 3" (TYPE N) GALVANIZED 20 GAGE METAL ROOF DECK.
 - PROVIDE FULL DEPTH SHEAR CONNECTIONS FOR ALL FRAMING MEMBERS. REFER TO NOTE 12 ON SHEET S001 UNDER STRUCTURAL STEEL FOR CONNECTION REQUIREMENTS.
 - THE CONTRACTOR SHALL VERIFY ALL EXISTING JOB CONDITIONS. REVIEW ALL DRAWINGS AND VERIFY DIMENSIONS PRIOR TO ANY CONSTRUCTION AND CONTACT A/E WITH ANY DISCREPANCIES PRIOR TO ANY FABRICATIONS OR WORK.
 - ROOF DECK SHALL BE 3" TECTUM | LONG SPAN (LS) PLAN STRUCTURAL ACOUSTICAL ROOF DECK OR APPROVED EQUAL.
 - (▶) INDICATES A LATERAL MOMENT CONNECTION. REFER TO DETAIL 6/S006 FOR ADDITIONAL DETAILS.
 - THE BEAMS SHALL BE PROVIDED WITH CAMBER AS NOTED ON THE PLAN AS "C-X". BEAMS WITHOUT THIS DESIGNATION ARE NOT CAMBERED. ALL CAMBER SHALL BE ORIENTED UP.
 - ROOF HATCH. GC TO COORDINATE OPENING WITH THE ROOF HATCH MANUFACTURER.

BID DOCUMENTS	11.30.2023
ADDENDUM #02	11.21.2023
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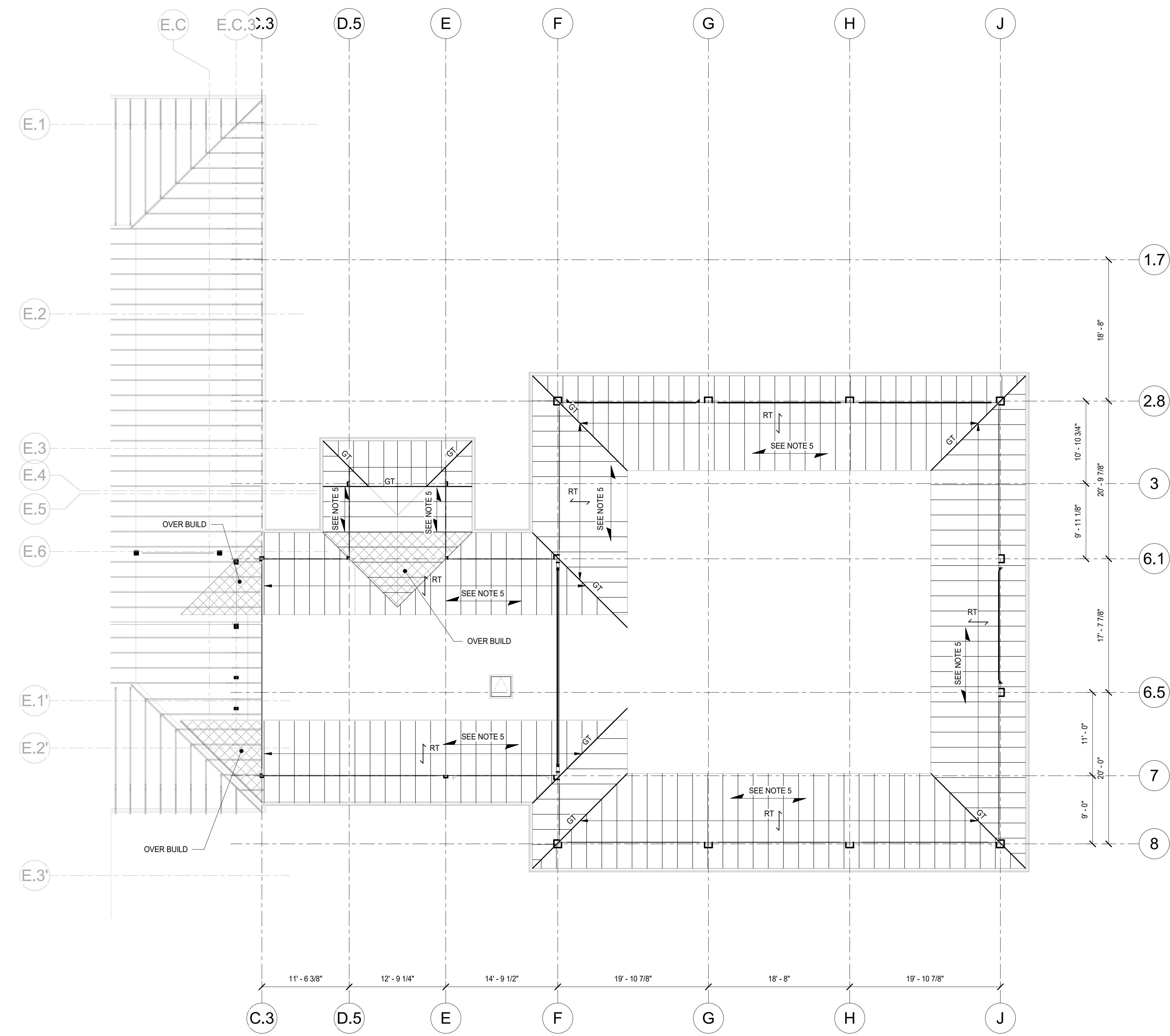
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ROOF FRAMING PLAN - ALTERNATE #01

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1 ROOF TRUSS FRAMING PLAN
S104 1/8" = 1'-0"

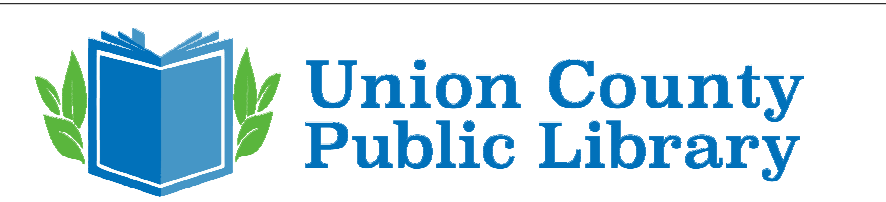
- PLAN NOTES**
- REFER TO SHEETS S001-S006 FOR GENERAL NOTES AND TYPICAL DETAILS.
 - TRUSS BEARING ELEVATION SHALL BE (124'-9 3/4") U.N.O.
 - "GT" REFERS TO GIRDER TRUSSES.
 - THE CONTRACTOR SHALL VERIFY ALL EXISTING JOB CONDITIONS, REVIEW ALL DRAWINGS AND VERIFY DIMENSIONS PRIOR TO ANY CONSTRUCTION AND CONTACT A/E WITH ANY DISCREPANCIES PRIOR TO ANY FABRICATIONS OR WORK.
 - ROOF DECKING SHALL BE 3/4" APA RATED SHEATHING. GRADE SHEATHING NAILED TO ROOF FRAMING.
 - SHOWN REPRESENTS TRUSS SPAN DIRECTION AND BASIC DESIGN INTENT ONLY. REFER TO TRUSS MANUFACTURERS APPROVED SHOP DRAWINGS FOR PLACEMENT, DIMENSIONS, BRACING AND CONNECTIONS. THIS DRAWING SHALL NOT BE USED FOR PLACEMENT OF TRUSSES.
 - "RT" REFERS TO ROOF TRUSSES. ROOF TRUSSES SHALL SPACED AT 24" O.C. MAX.
 - ROOF TRUSSES SHALL BE ANCHORED AT EACH END TO THE BEARING MEMBER USING SIMPSON A34 CLIPS ON EACH SIDE OR APPROVED EQUAL.

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1	ADDENDUM #02	11.21.2023

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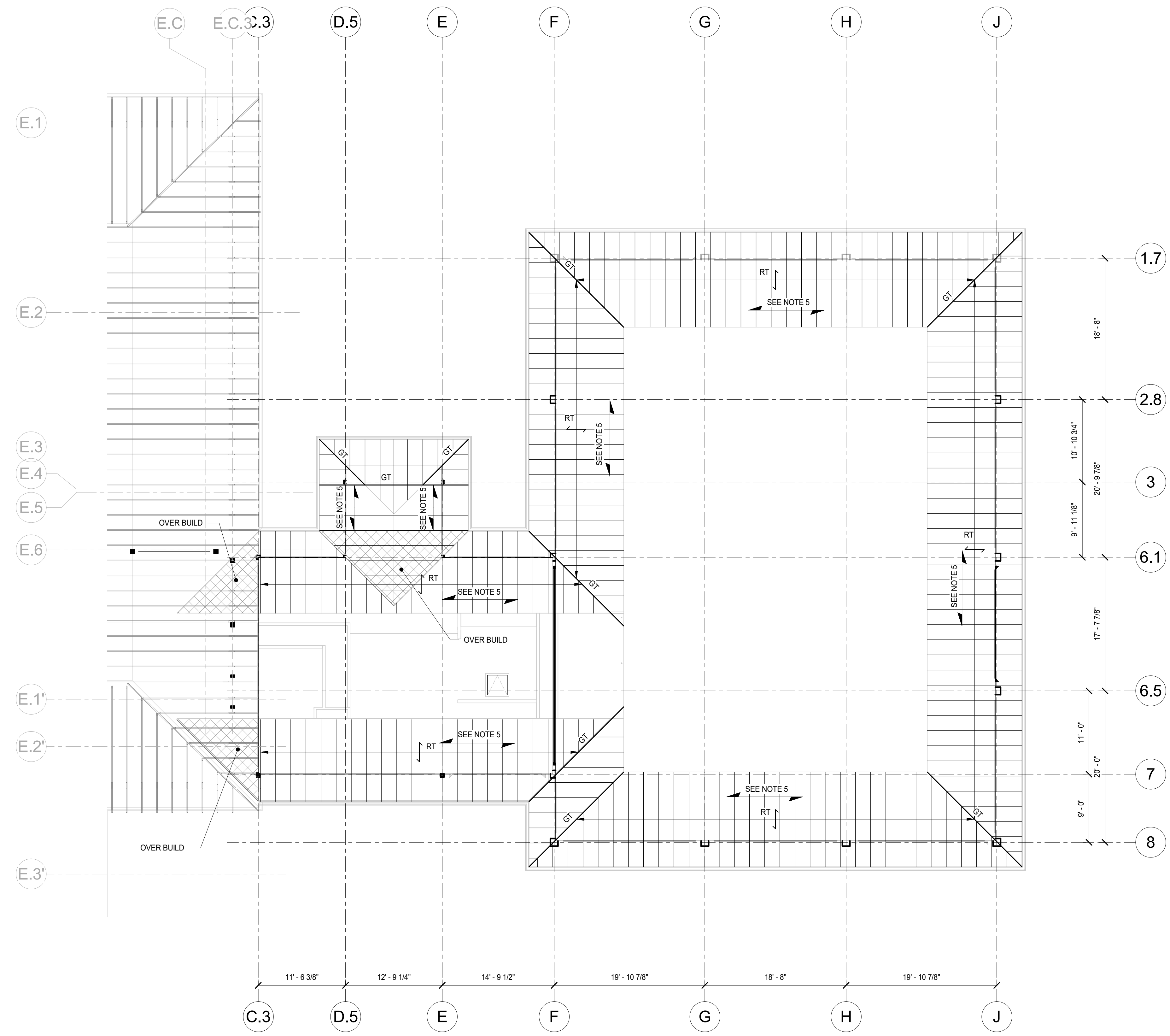


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ROOF TRUSS FRAMING PLAN

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1 ROOF TRUSS FRAMING PLAN - ALTERNATE #01
S104.1 1/8" = 1'-0"

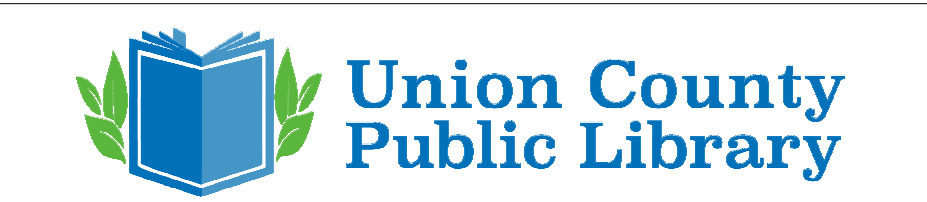
- PLAN NOTES**
- REFER TO SHEETS S001-S006 FOR GENERAL NOTES AND TYPICAL DETAILS.
 - TRUSS BEARING ELEVATION SHALL BE (124'-9 3/4") U.N.O.
 - "GT" REFERS TO GIRDER TRUSSES.
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 - ROOF DECKING SHALL BE 3/4" APA RATED SHEATHING. GRADE SHEATHING NAILED TO ROOF FRAMING.
 - SHOWN REPRESENTS TRUSS SPAN DIRECTION AND BASIC DESIGN INTENT ONLY. REFER TO TRUSS MANUFACTURERS APPROVED SHOP DRAWINGS FOR PLACEMENT, DIMENSIONS, BRACING AND CONNECTIONS. THIS DRAWING SHALL NOT BE USED FOR PLACEMENT OF TRUSSES.
 - "RT" REFERS TO ROOF TRUSSES. ROOF TRUSSES SHALL SPACED AT 24" O.C. MAX.
 - ROOF TRUSSES SHALL BE ANCHORED AT EACH END TO THE BEARING MEMBER USING SIMPSON A34 CLIPS ON EACH SIDE OR APPROVED EQUAL.

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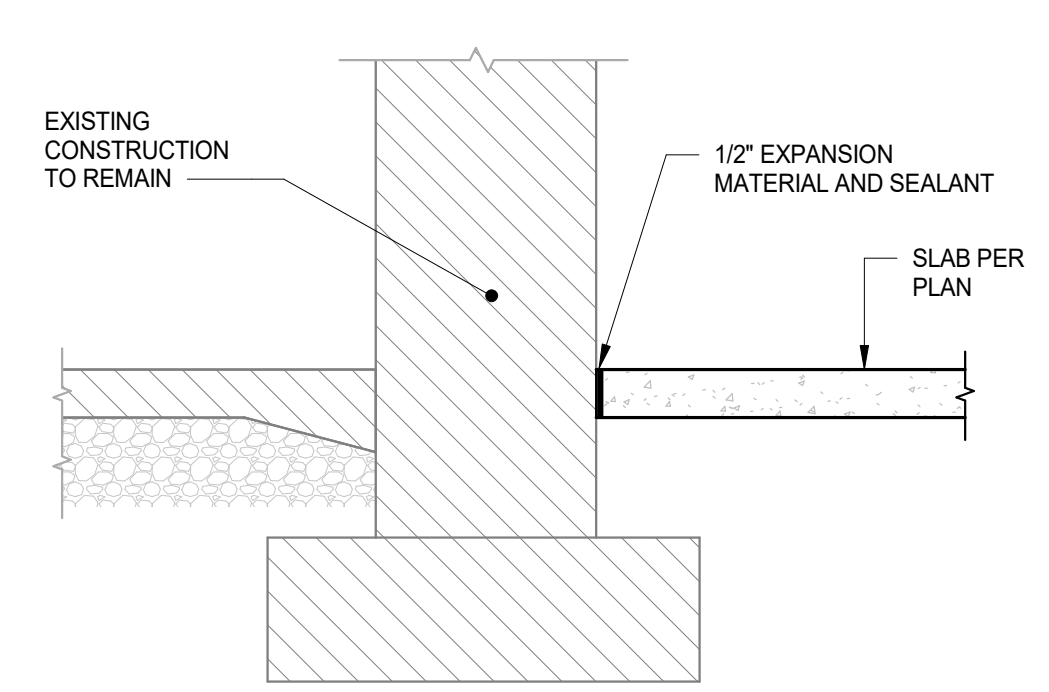


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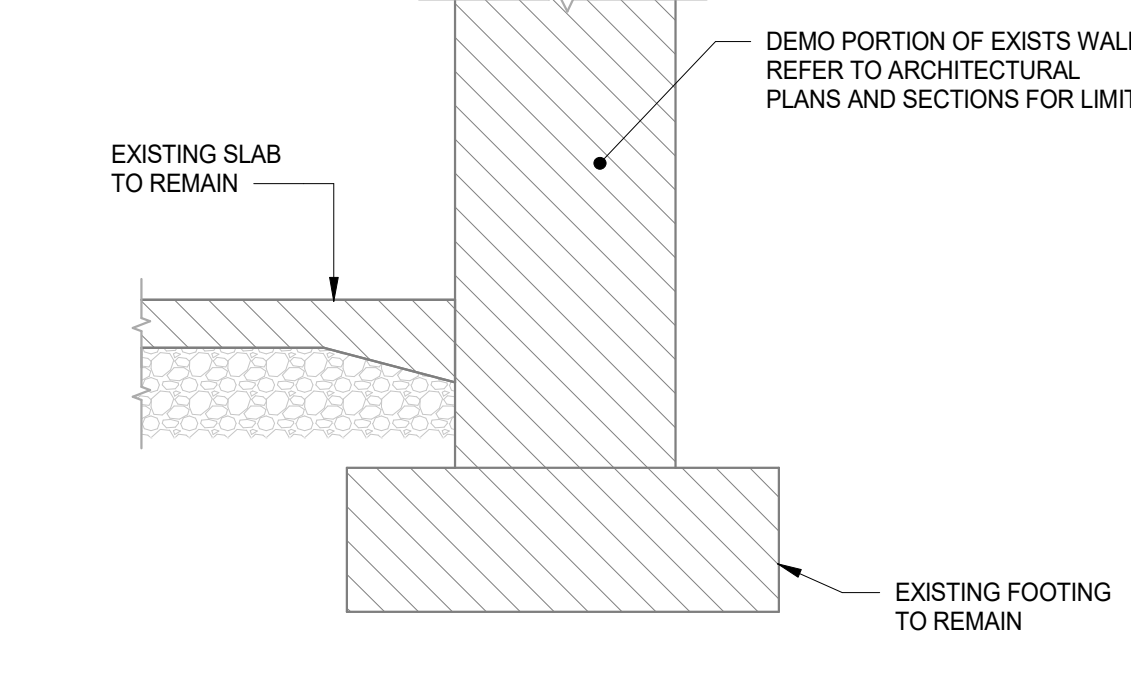
ROOF TRUSS FRAMING PLAN - ALTERNATE #01

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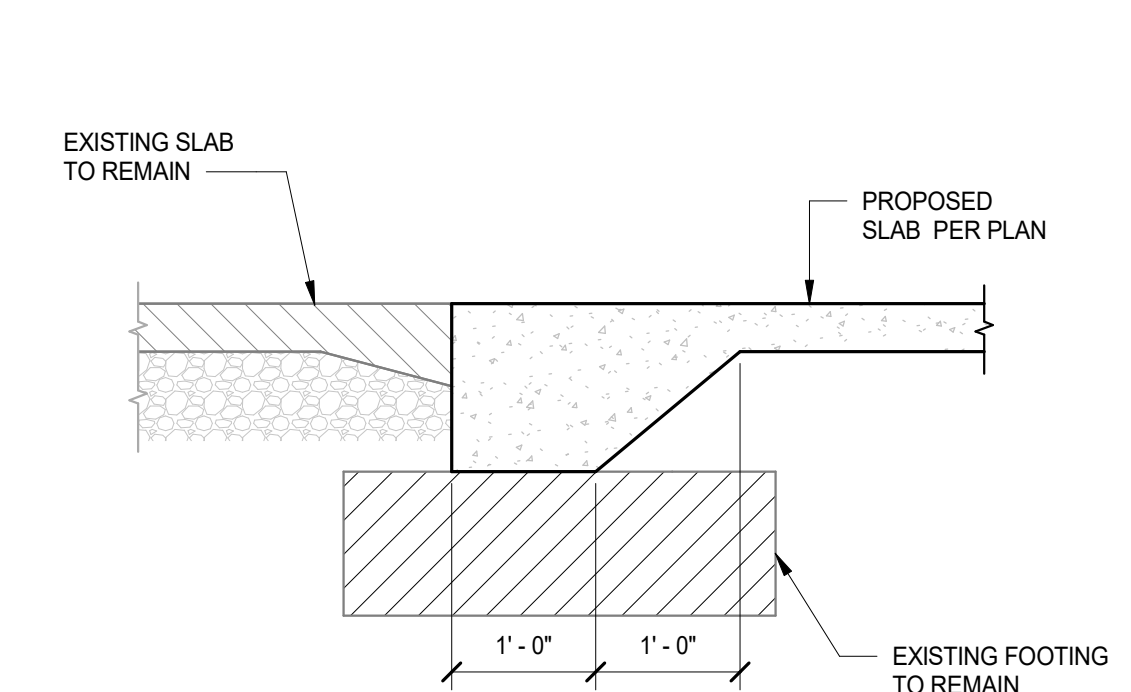
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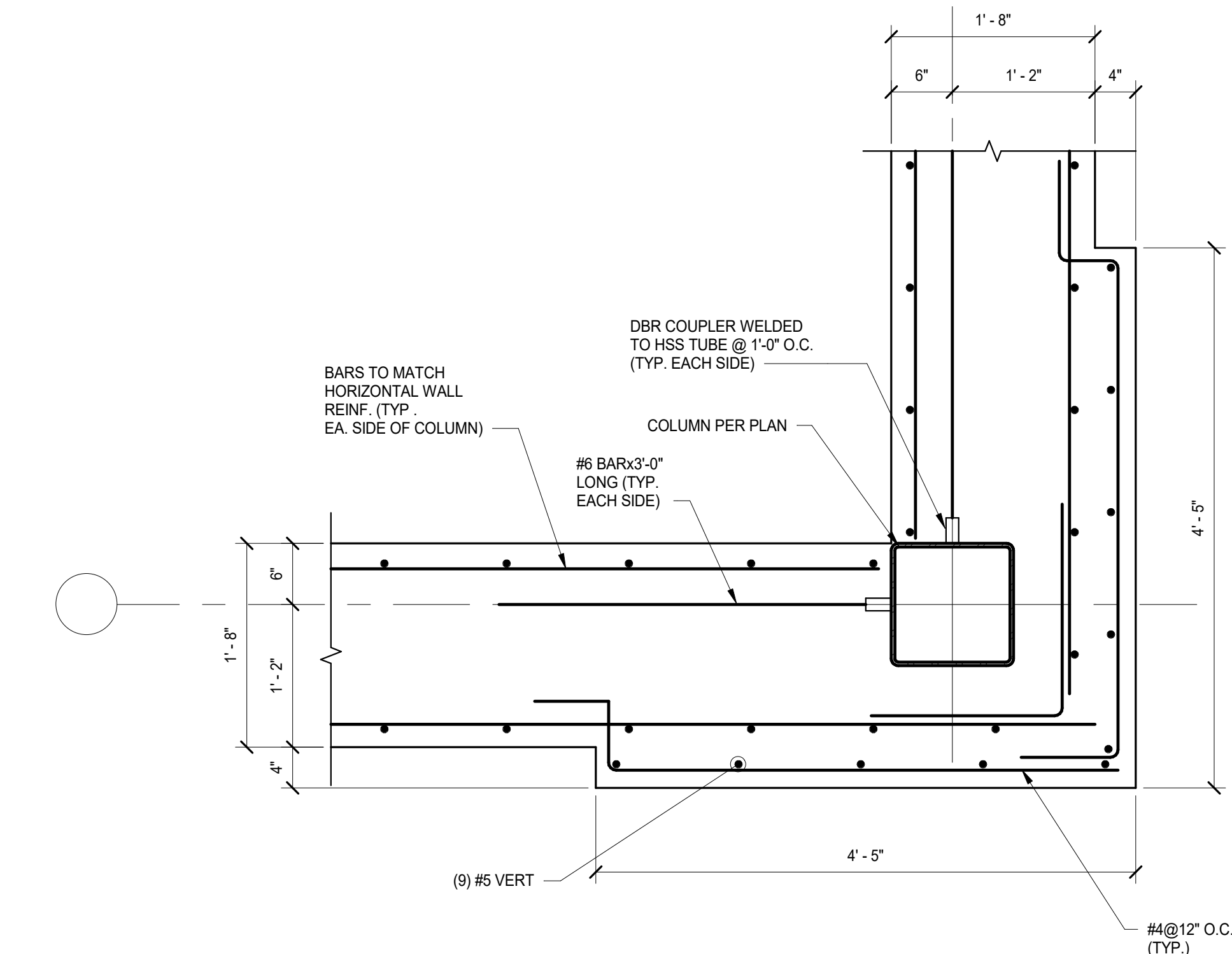
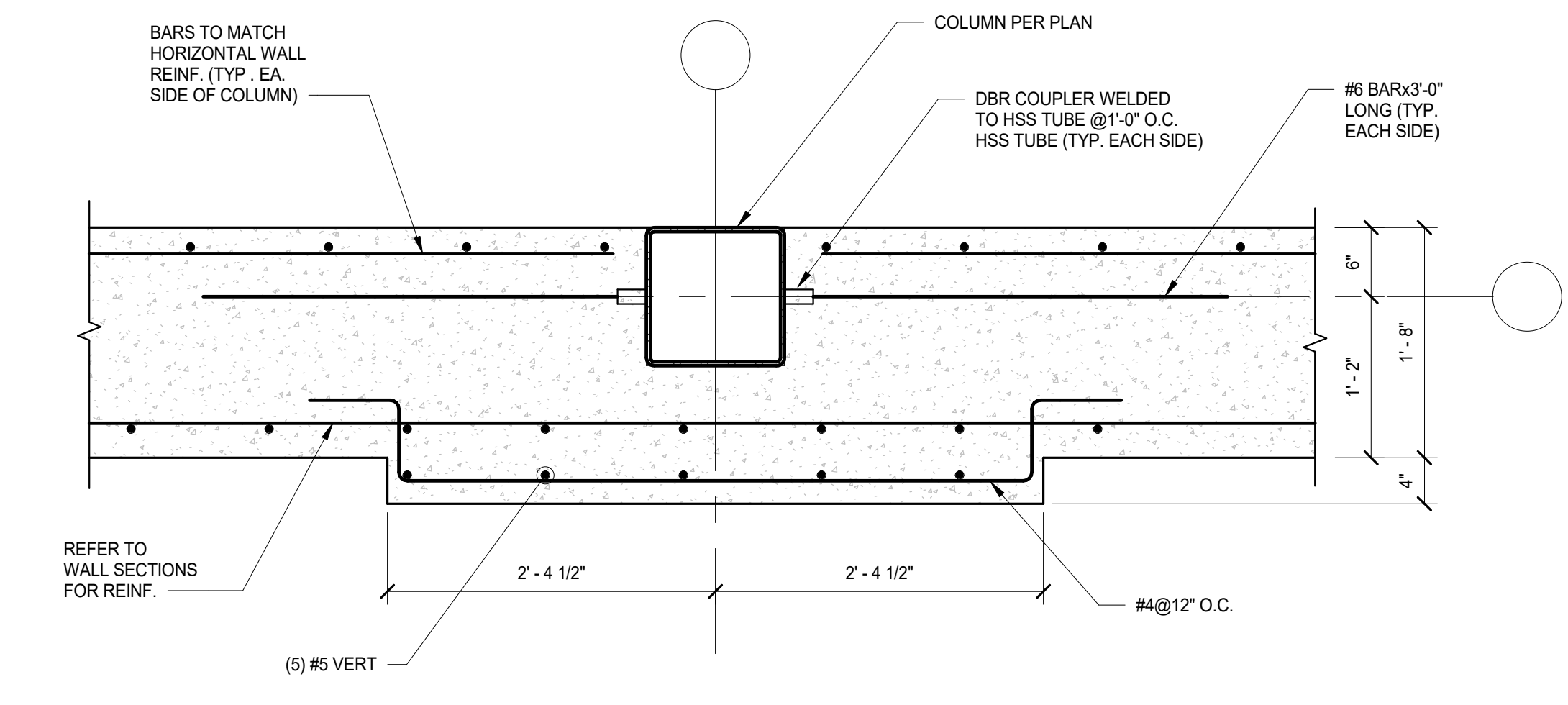
1 SECTION
S301 / 3/4" = 1'-0"



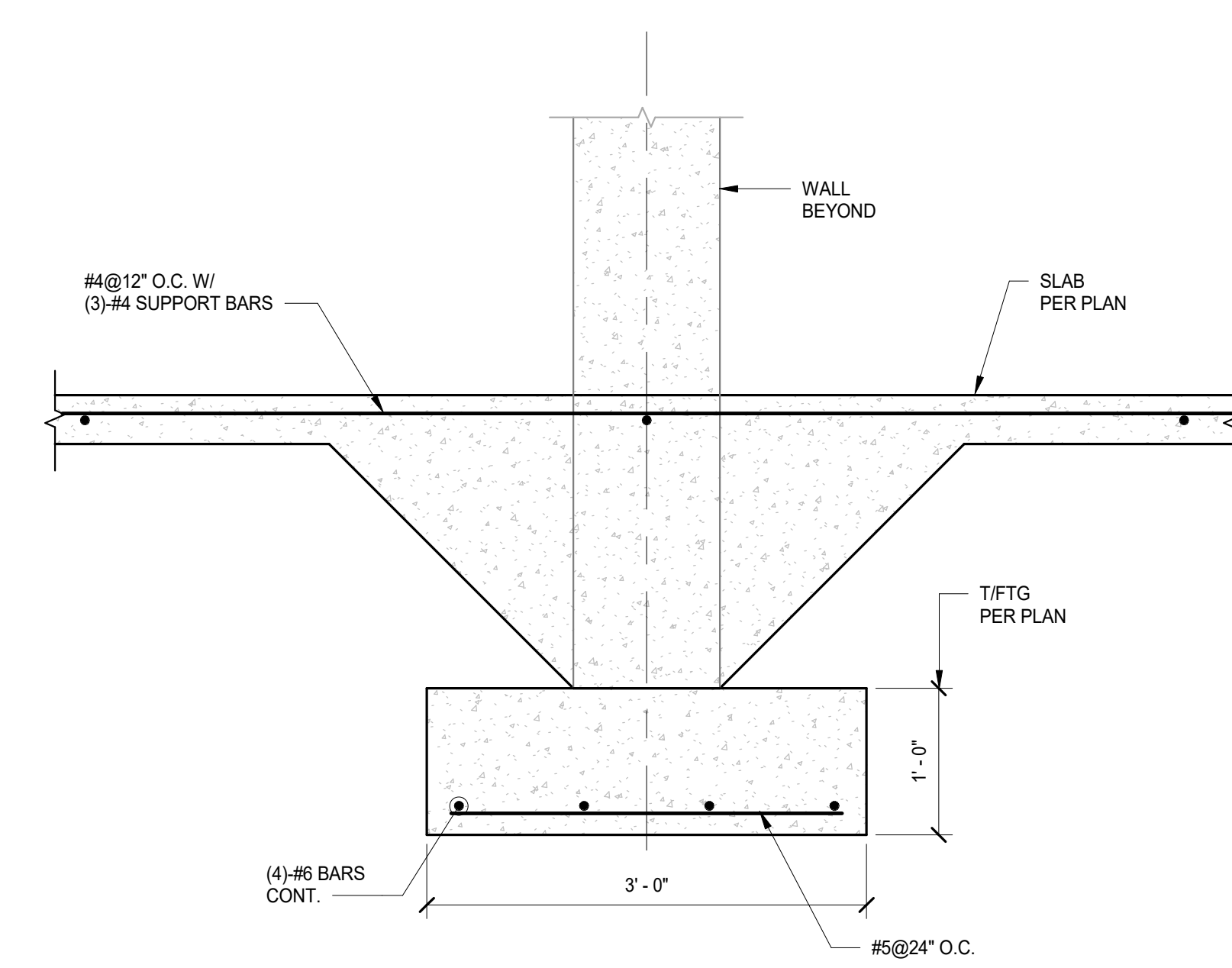
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S301 / 3/4" = 1'-0"



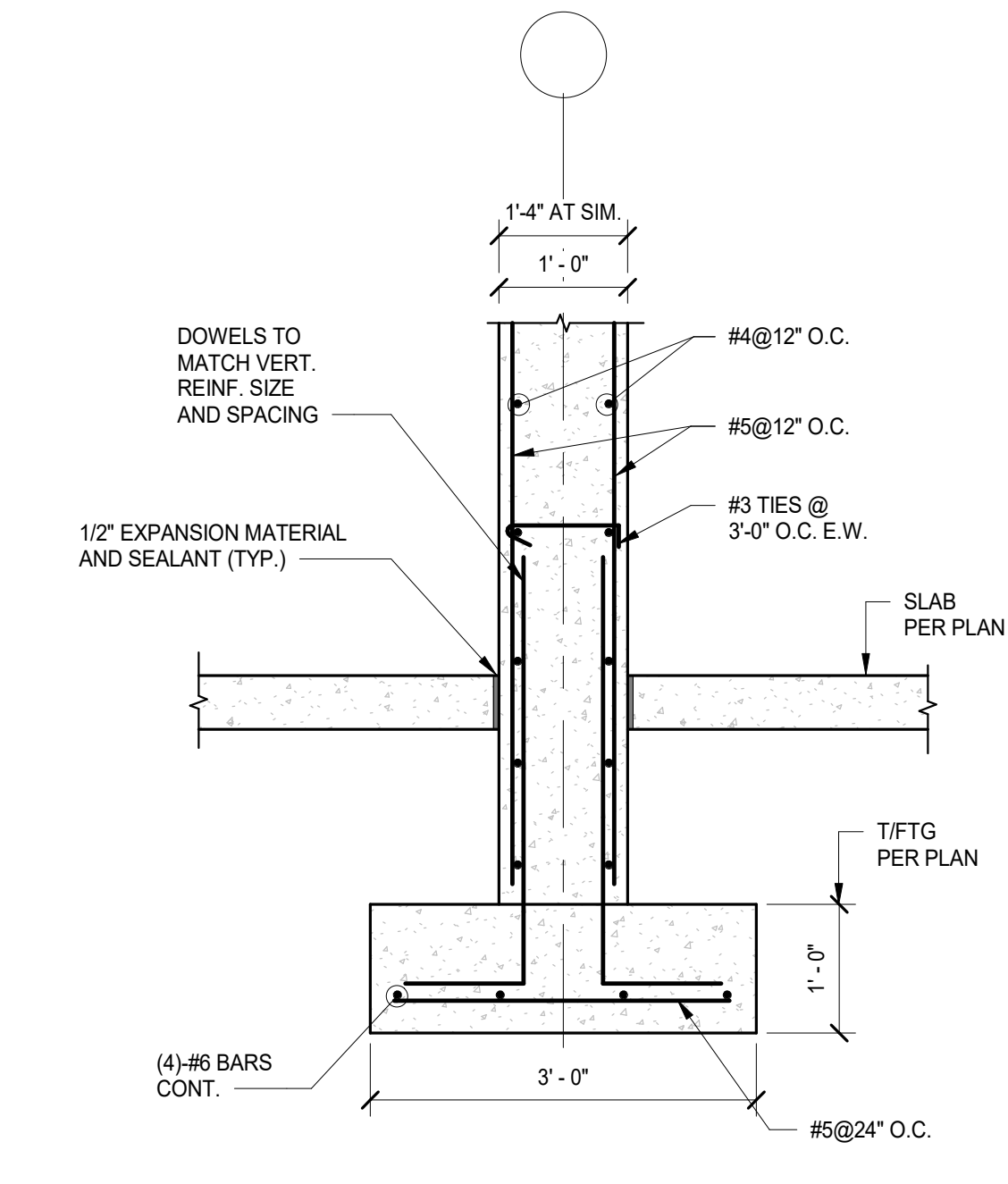
3 DETAIL
S301 / 1" = 1'-0"



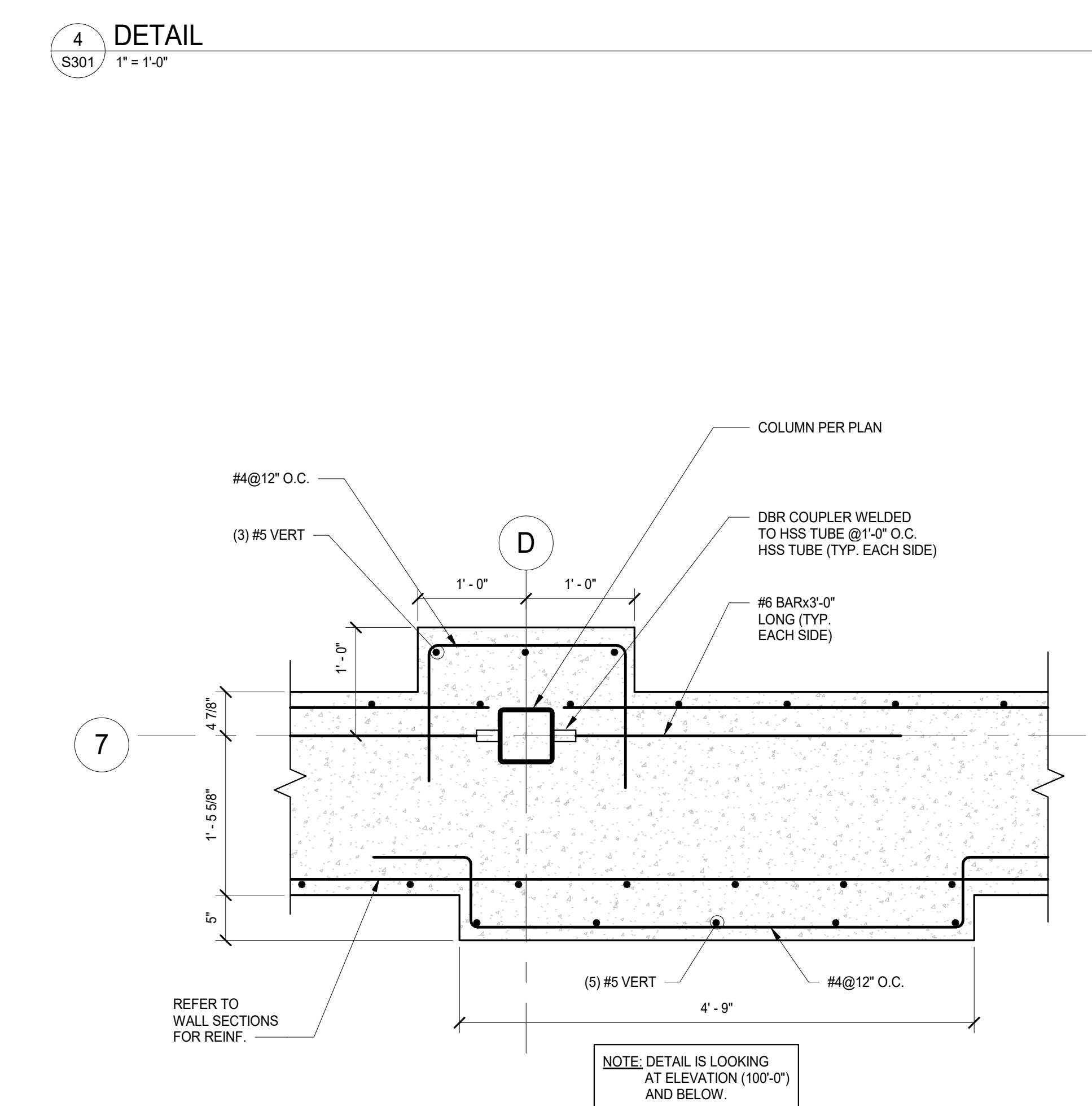
4 DETAIL
S301 / 1" = 1'-0"



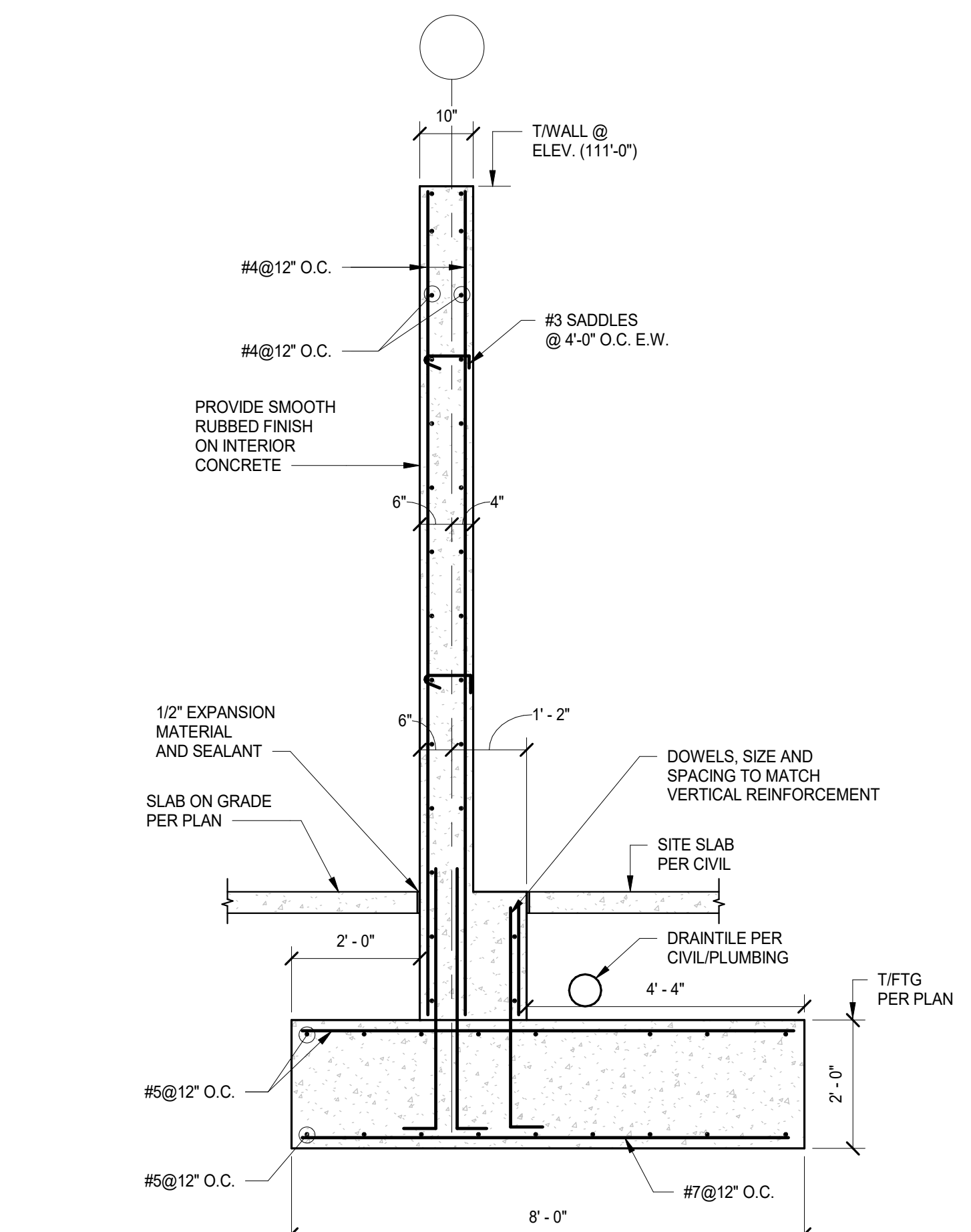
5 SECTION
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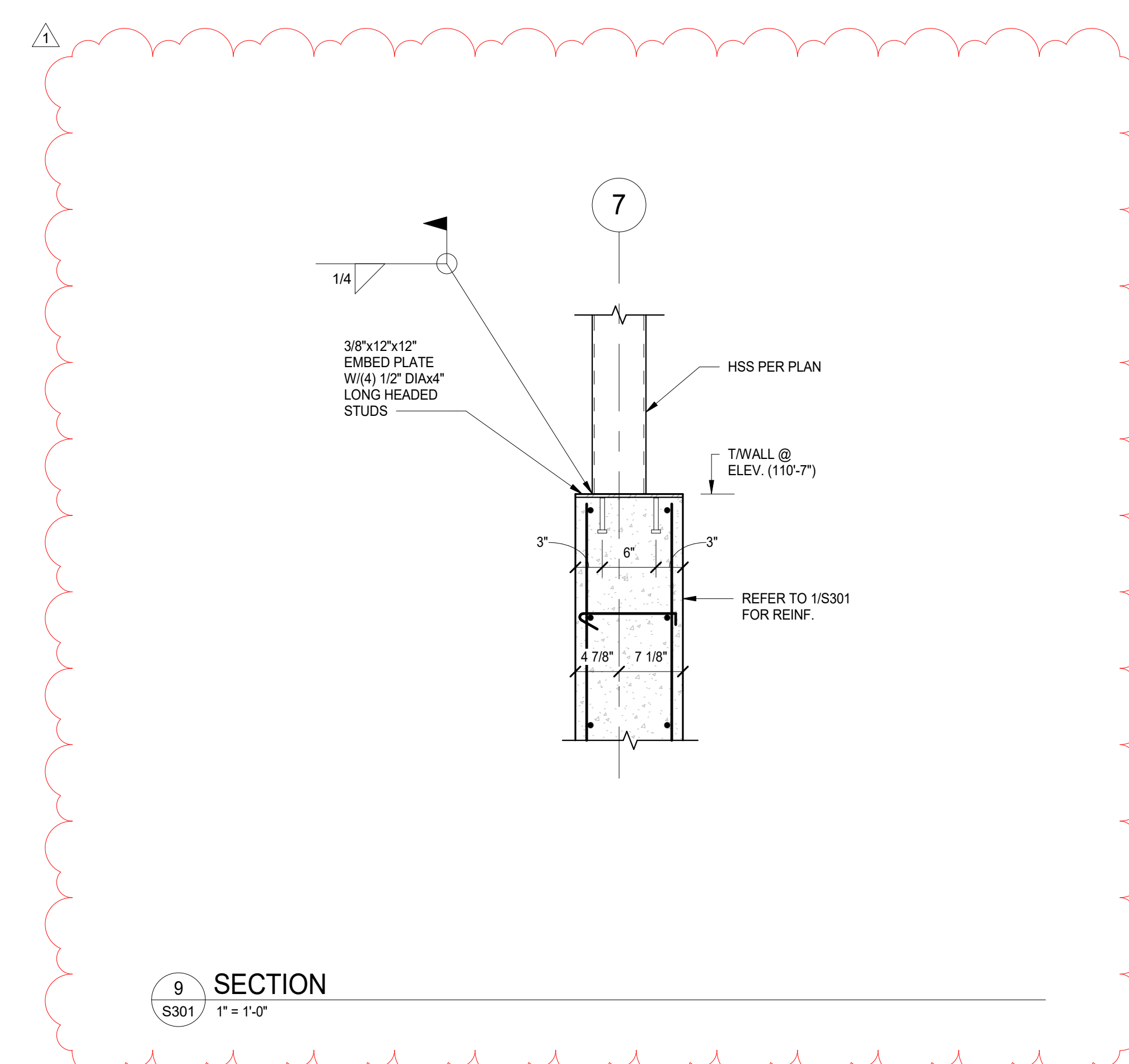
6 SECTION
S301 / 3/4" = 1'-0"



7 DETAIL
S301 / 1" = 1'-0"



8 SECTION
S301 / 1/2" = 1'-0"



9 SECTION
S301 / 1" = 1'-0"

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FOUNDATION SECTIONS AND DETAILS

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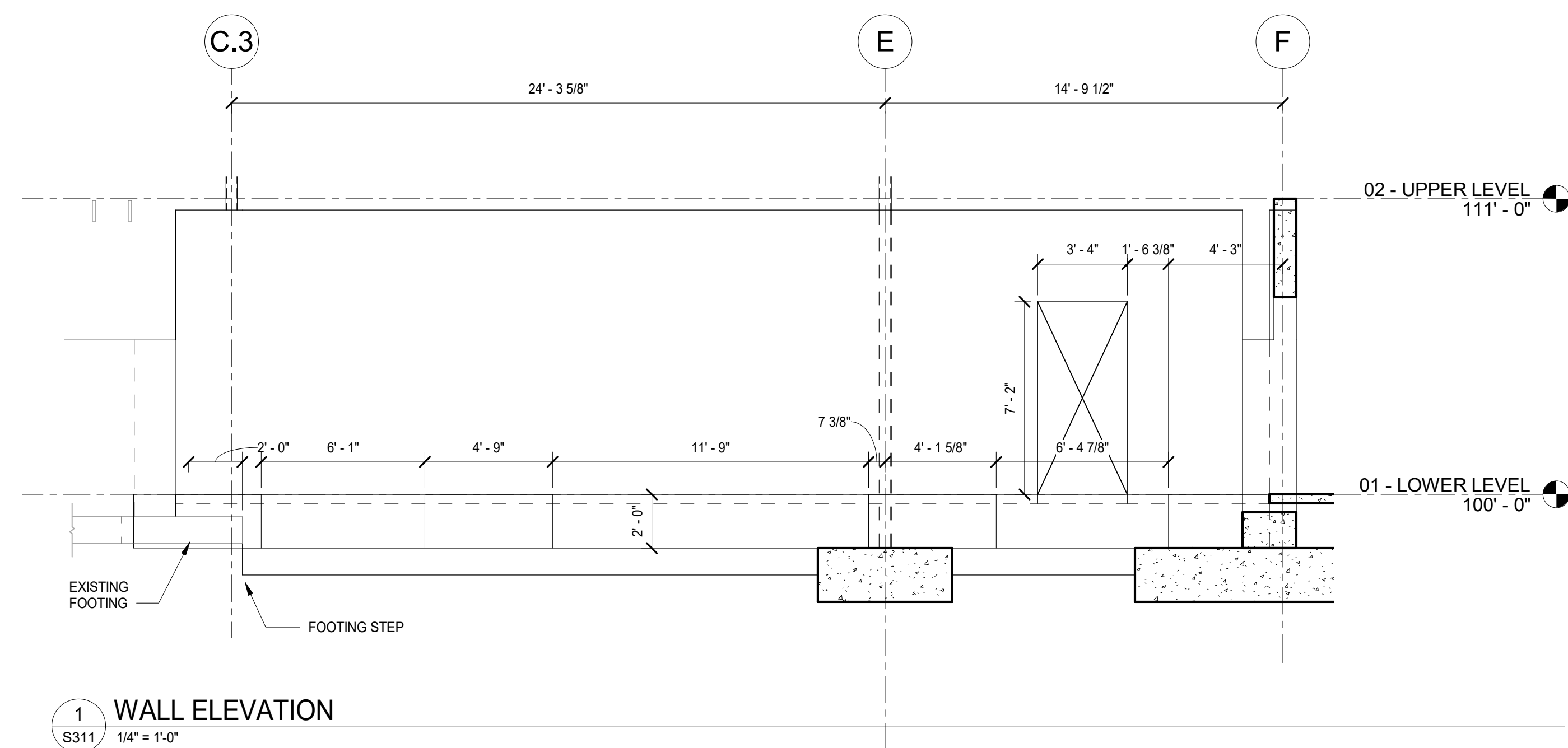
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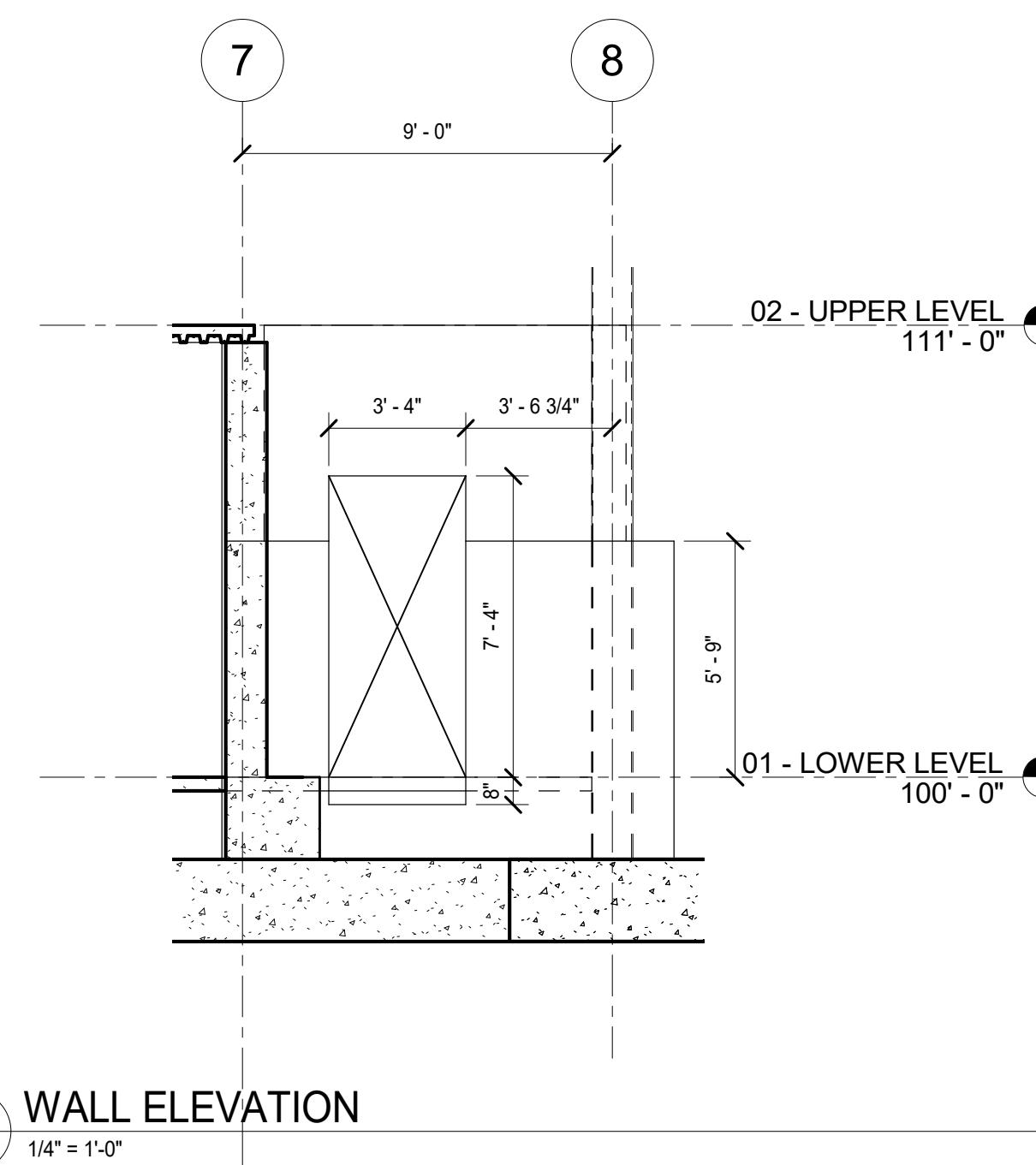
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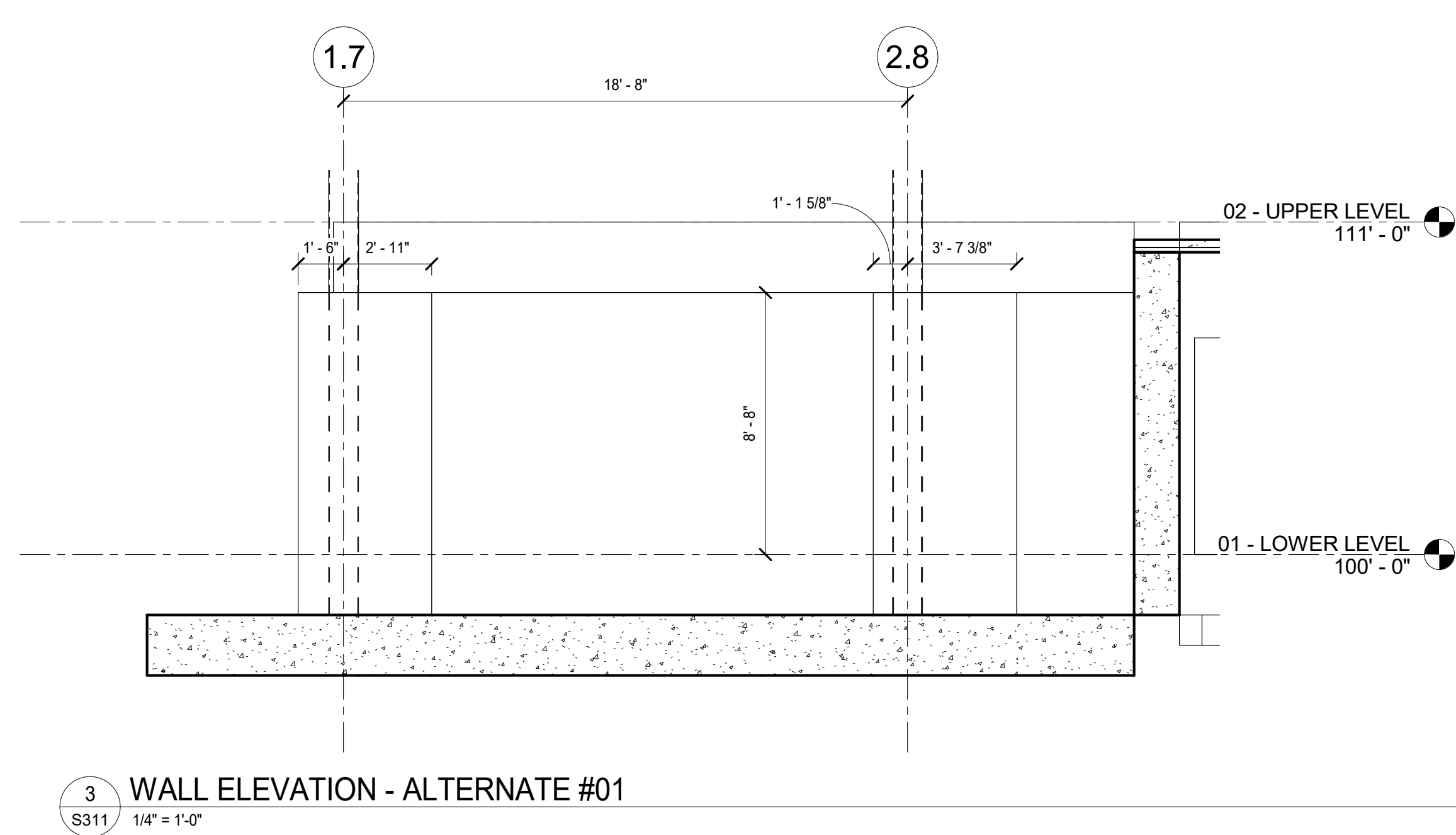
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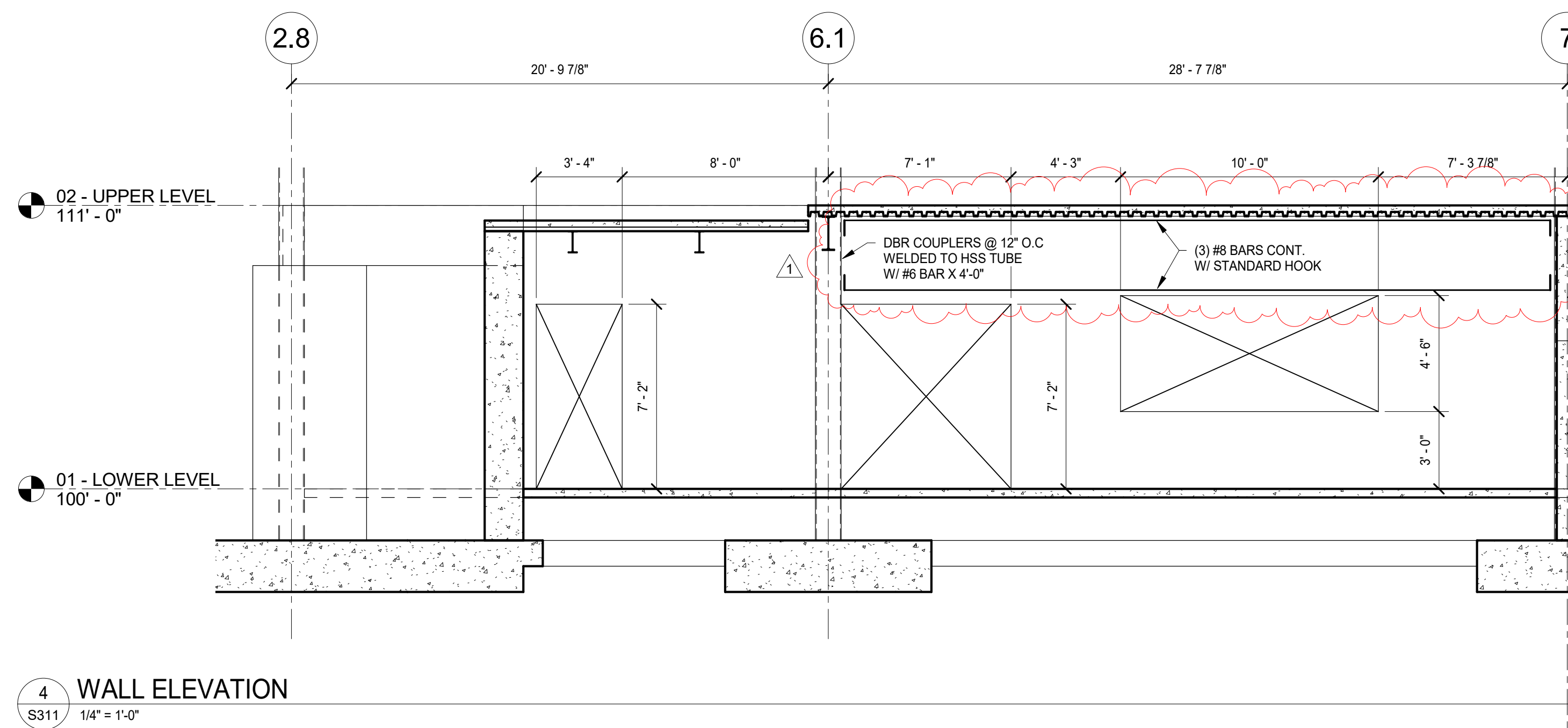
1 WALL ELEVATION
S311 1/4" = 1'-0"



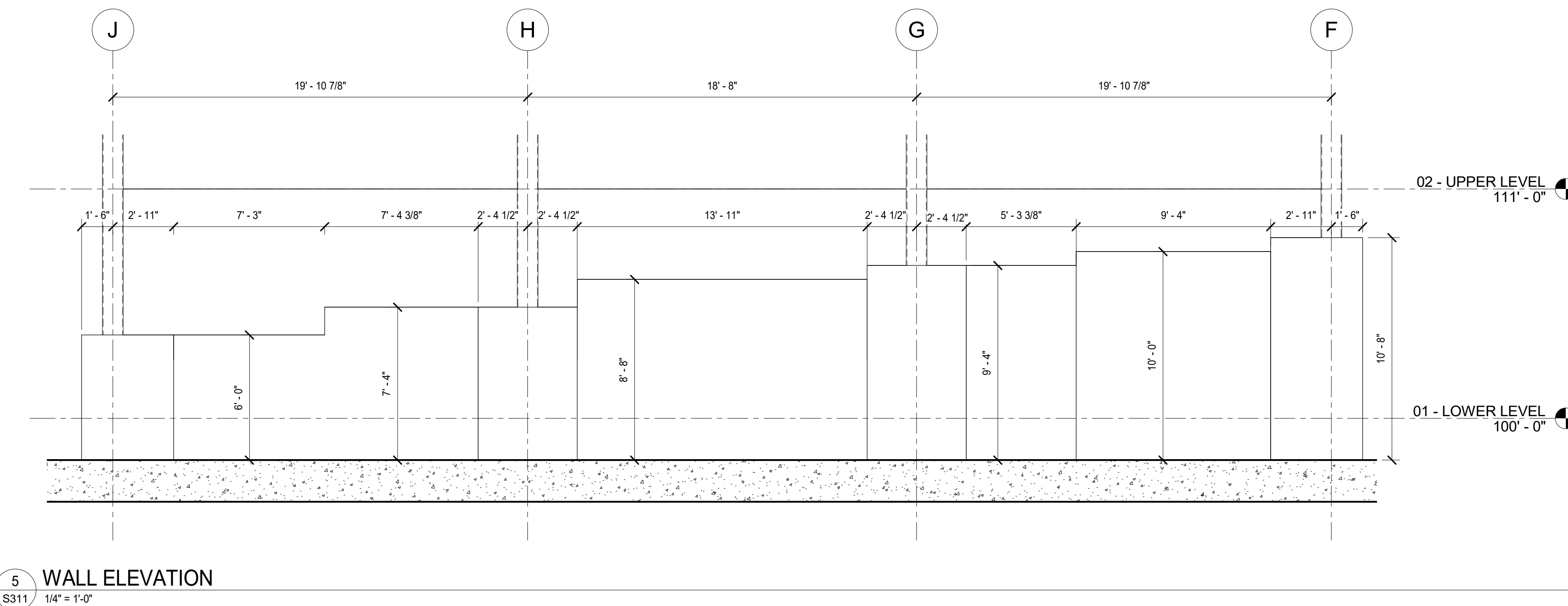
2 WALL ELEVATION
S311 1/4" = 1'-0"



3 WALL ELEVATION - ALTERNATE #01
S311 1/4" = 1'-0"



4 WALL ELEVATION
S311 1/4" = 1'-0"



5 WALL ELEVATION
S311 1/4" = 1'-0"

- PLAN NOTES**
- REFER TO SHEETS S001-S006 FOR GENERAL NOTES AND TYPICAL DETAILS.
 - FOR ADDITIONAL DIMENSIONS SEE ARCH. DWGS.
 - OPENINGS FOR DOORS AND WINDOWS AS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHOULD VERIFY ROUGH OPENINGS IN CONCRETE WITH THE WINDOW AND DOOR MANUFACTURER'S PRIOR TO ANY POURING OF CONCRETE.

BID DOCUMENTS		11.30.2023
ADDENDUM #02		11.21.2023
No.	Revisions / Submissions	Date

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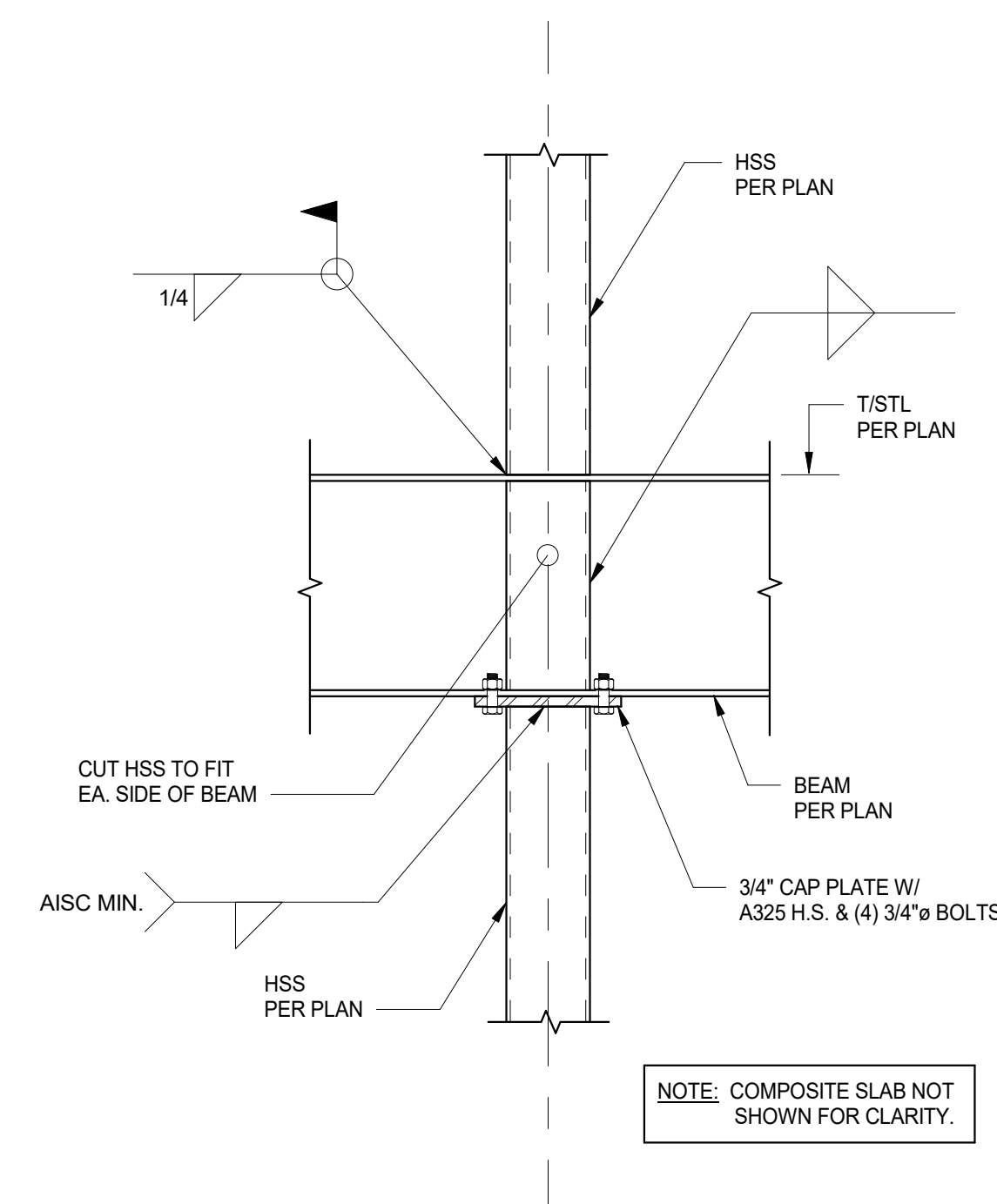
JPS CONSULTING ENGINEERS, LLC
3335 Counseifers Row, Suite 116
Indianapolis, IN 46240
ph 317.617.4270
www.jpconsultingengineers.com

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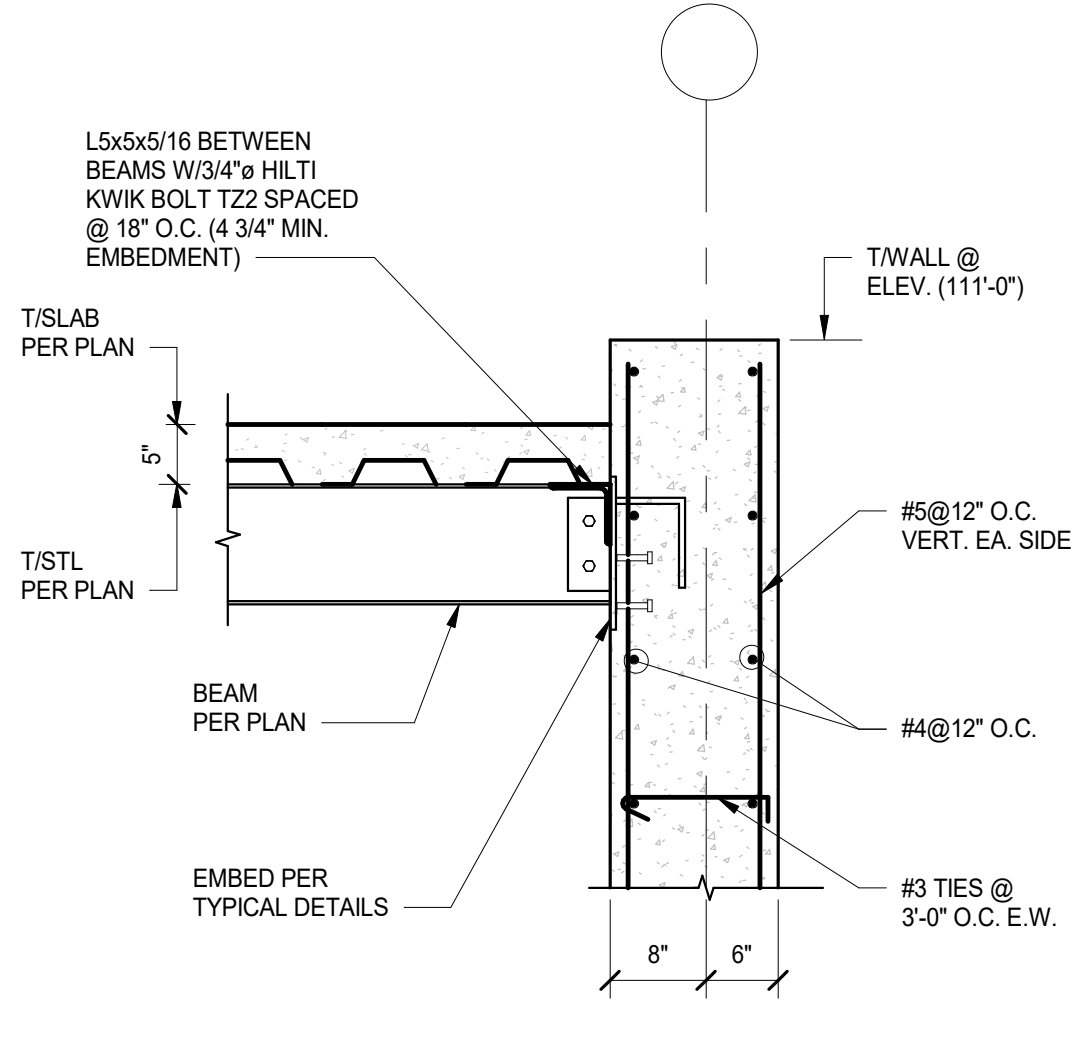
FOUNDATION WALL ELEVATIONS

	Comm. No.	Date
	22106.00	2023/11/10
Drawn	JCB	Drawing No.
Checked	CMS	S311

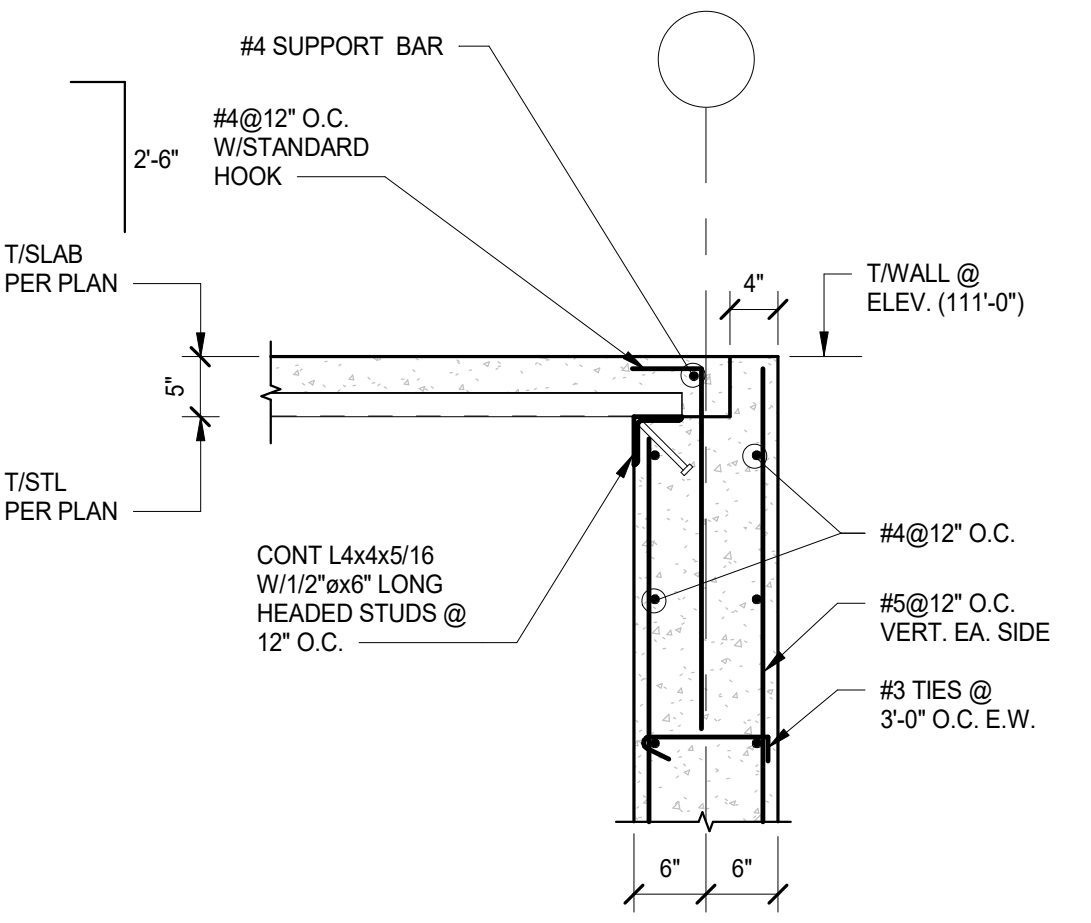
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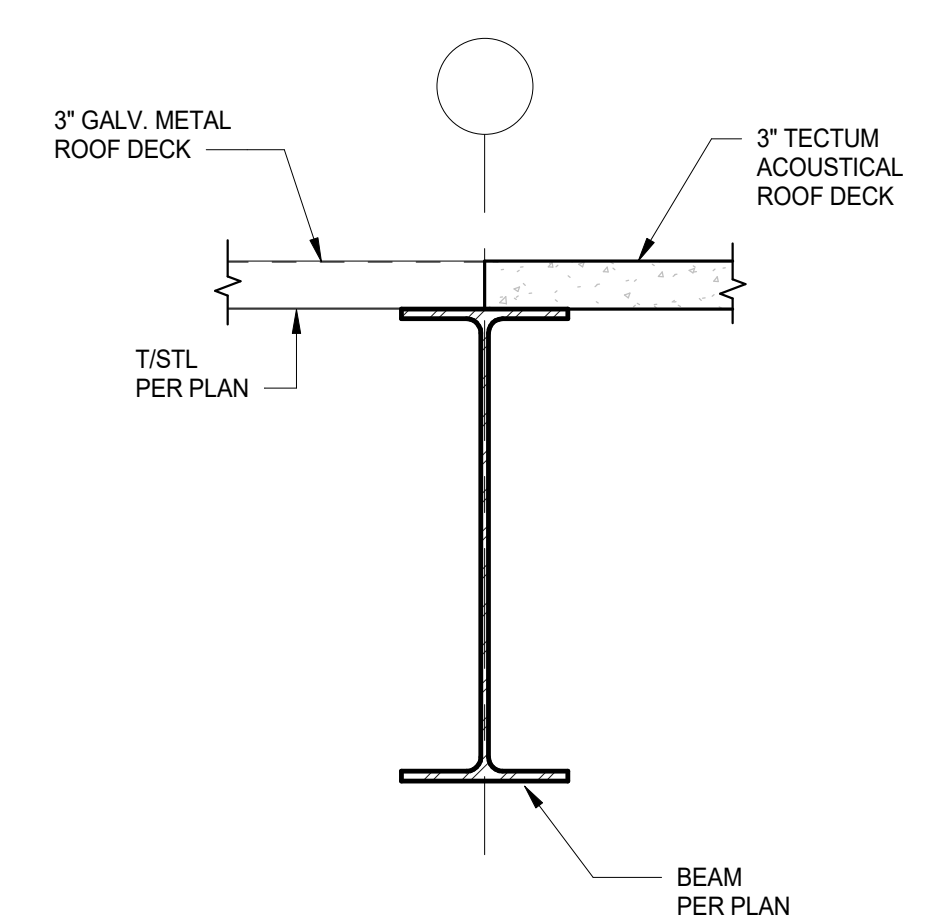
1 SECTION
S501 1" = 1'-0"



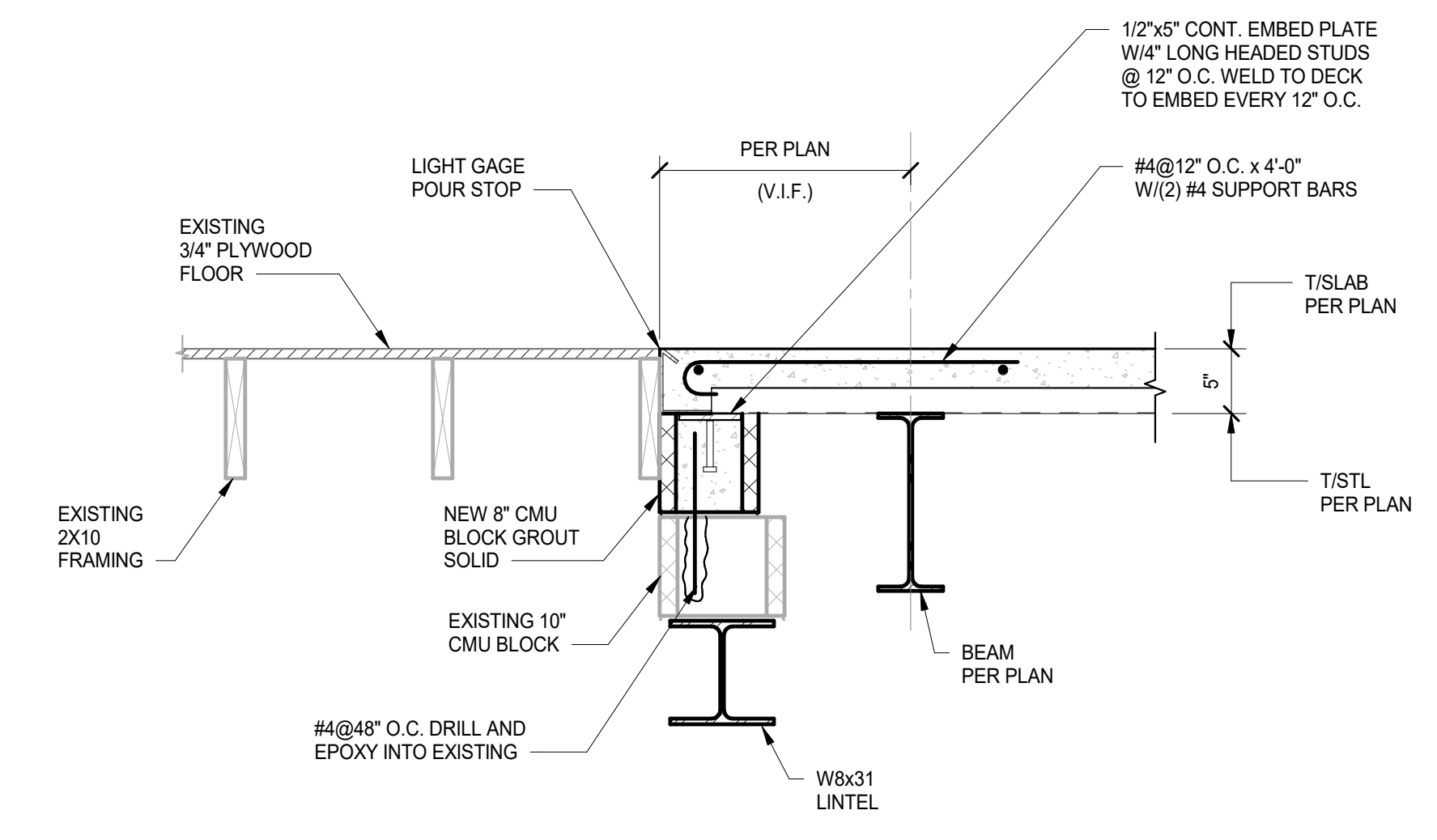
2 SECTION
S501 3/4" = 1'-0"



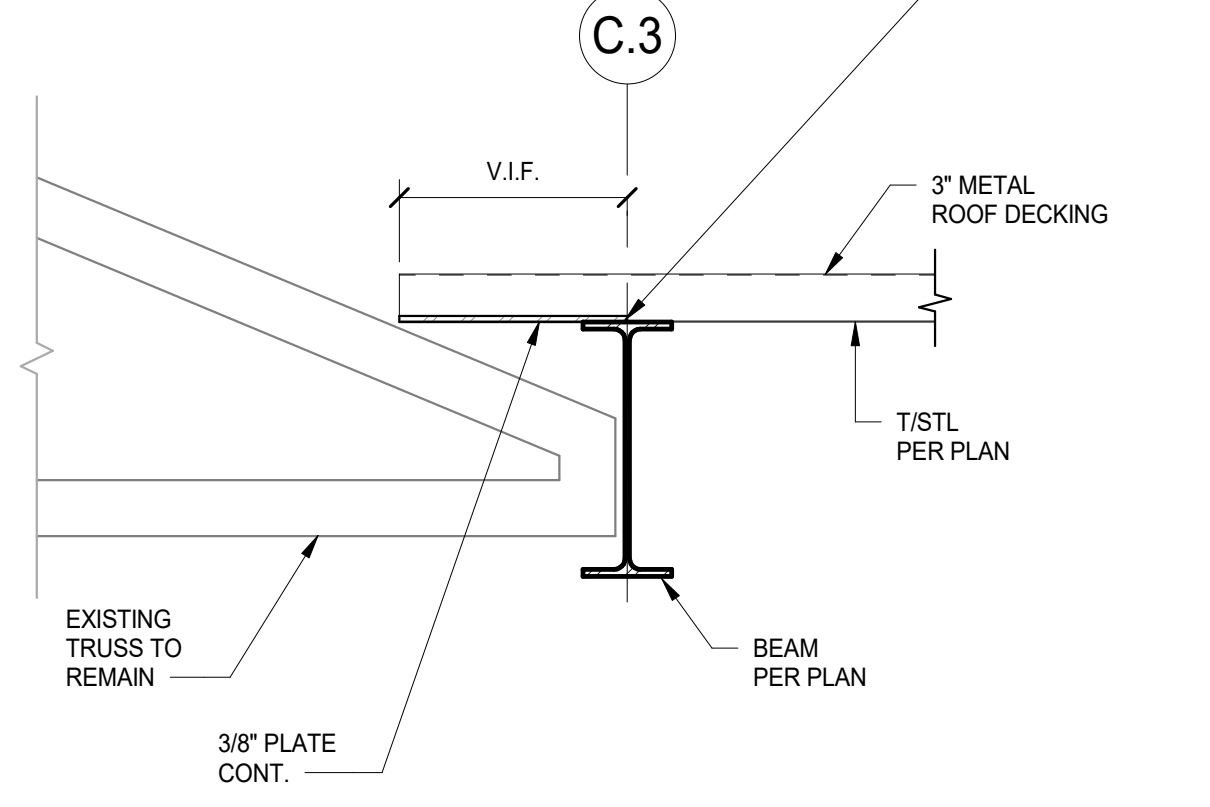
3 SECTION
S501 3/4" = 1'-0"



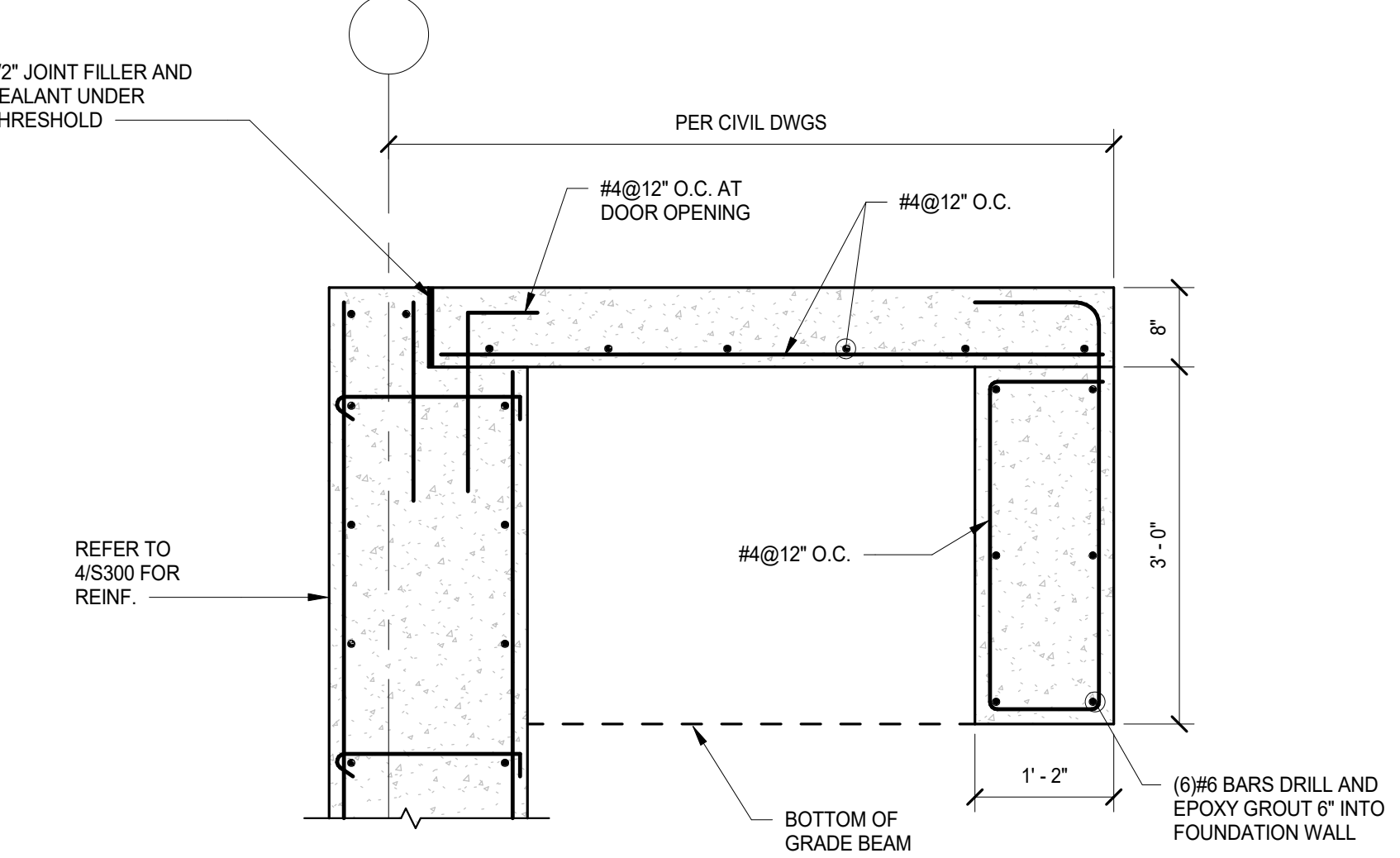
4 SECTION
S501 1" = 1'-0"



5 SECTION
S501 1" = 1'-0"



6 SECTION
S501 1" = 1'-0"



7 SECTION
S501 3/4" = 1'-0"

BID DOCUMENTS		11.10.2023
ADDENDUM #02		11.21.2023
No.	Revisions / Submissions	Date

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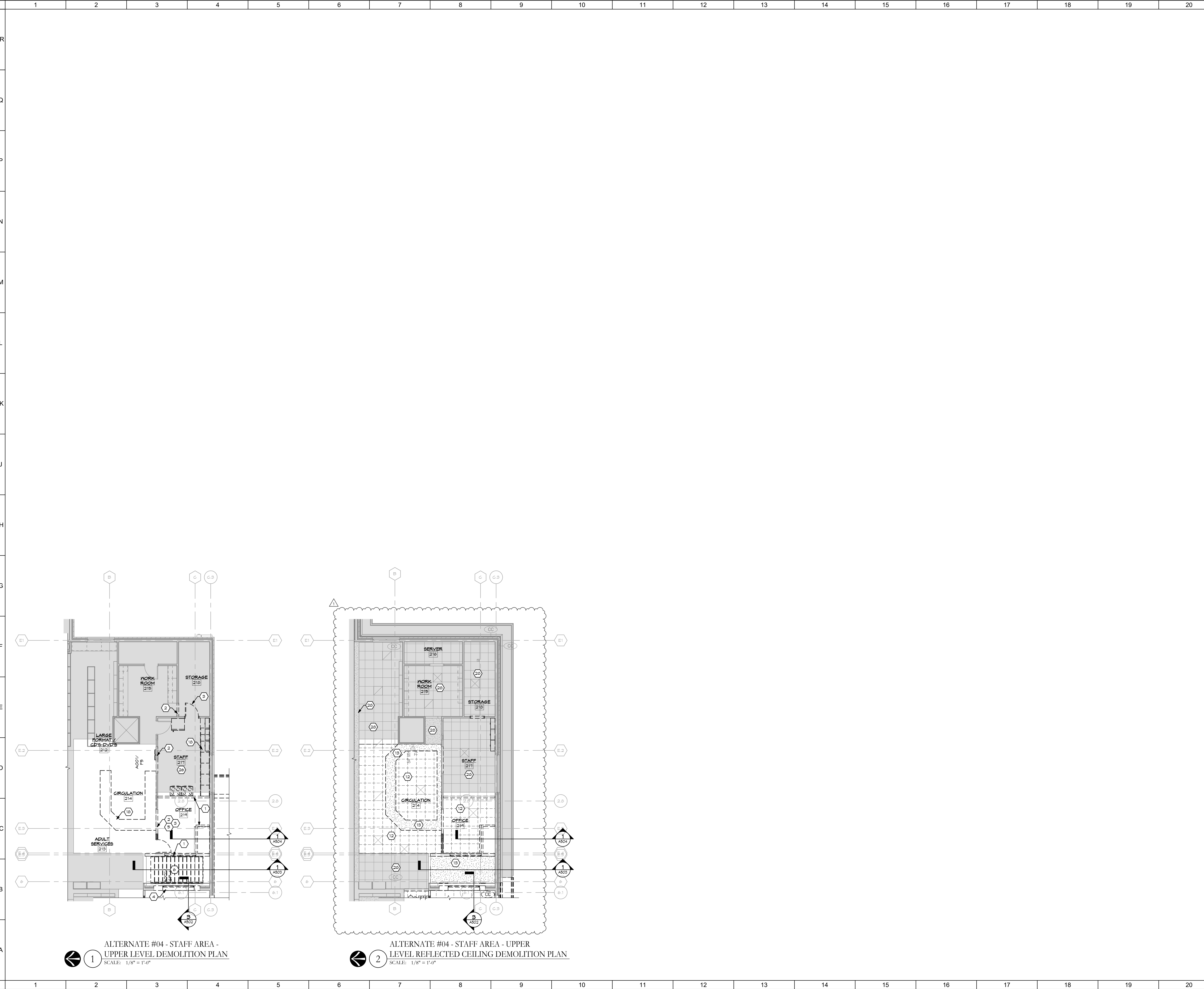
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FRAMING SECTIONS AND DETAILS

	Comm. No.	Date
	22106.00	2023/11/10
	Drawn	JCB
Checked	CMS	S501

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SHEET NOTES:

- REMOVE EXISTING WALL IN ITS ENTIRETY.
- REMOVE PORTION OF EXISTING WALL AS INDICATED FOR NEW WORK.
- REMOVE EXISTING DOOR AND FRAME.
- REMOVE EXISTING WINDOW AND TRIM.
- REMOVE EXISTING BORROW LIGHT FRAME.
- REMOVE EXISTING WOOD STAIR, RAILING AND TRIM.
- REMOVE EXISTING CONCRETE FLOOR SLAB.
- REMOVE EXISTING ELEVATOR DOOR AND FRAME.
- REMOVE EXISTING GARNET AND/OR VINYL TILE AND PREP FOR NEW FINISH.
- SALVAGE ALL EXISTING WOOD BASE THAT IS IN GOOD CONDITION TO BE REUSED AS NOTED ON NEW FINISH PLANS. CONTRACTOR TO VERIFY QUANTITIES OF REQUIRED BASE NEEDED FOR REUSE AS NOTED ON NEW FINISH PLANS.
- REMOVE EXISTING WALL MOUNTED ITEMS AND TURN OVER TO OWNER.
- REMOVE EXISTING SUSPENDED ACOUSTICAL TILE CEILING AND GRID.
- REMOVE EXISTING SPRINKLER HEADS AND SOFFIT AND/OR CEILING.
- REMOVE EXISTING WOOD SOFFIT AND TRIM.
- REMOVE EXISTING WOOD FASCIA, GUTTER AND DOWNSPOUTS.
- REMOVE EXISTING ROOF STRUCTURE, ROOFING AND FLASHING IN ITS ENTIRETY.
- REMOVE EXISTING COUNTERTOP AND SUPPORTS.
- REMOVE EXISTING CASEWORK AND COUNTERTOP.
- REMOVE PORTION OF EXISTING WOOD JOISTS AND SUBFLOOR AS REQUIRED FOR NEW WORK.
- REMOVE PORTION OF EXISTING WOOD FASCIA AND GUTTER AS REQUIRED FOR NEW WORK.
- REMOVE PORTION OF EXISTING WOOD SOFFIT AND TRIM.
- REMOVE EXISTING COLUMN AND REPLACE WITH NEW. SEE STRUCTURAL NOTES.
- EXISTING COLUMN TO REMAIN.
- REMOVE EXISTING FINISH TO EXPOSE REMNANT WINDOW OPENING.
- REMOVE EXISTING AED CABINET AND TURN OVER TO OWNER.
- REMOVE EXISTING MECHANICAL UNIT.
- EXISTING CEILING TO REMAIN.

GENERAL NOTES:

- SEE PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ALL ASSOCIATED ITEMS.
- DIMENSIONS ARE FROM FACE OF FRAMING TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
- PROTECT ALL EXISTING CONSTRUCTION TO REMAIN. PATCH ALL GAPS TO REMAIN WHERE ADJACENT WALLS HAVE BEEN REMOVED TO LEVEL 5 FINISH FRAME AND (2) COATS FINISH PAINT TO COLOR INDICATED ON FINISH PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL FIRE-RATINGS AT EXISTING WALLS & CEILING.
- SEE FINISH PLANS FOR NEW FLOOR AND WALL FINISHES.
- ALL DIMENSIONS ARE TO FACE OF FRAMING, UNLESS NOTED OTHERWISE.
- ALL INTERIOR WALLS SHALL RECEIVE FULL-THICK BATT SOUND INSULATION, UNLESS NOTED OTHERWISE.
- ALL INTERIOR WALLS SHALL EXTEND TO STRUCTURE ABOVE AND SEAL THERE TO, UNLESS NOTED OTHERWISE.
- ALL WALLS ARE TYPE #2 UNLESS NOTED OTHERWISE.
- ALL ITEMS PASSING THROUGH RATED WALLS MUST BE SEALED (WITH MATERIALS APPROVED BY ARCHITECT/ENGINEER) BY THE CONTRACTOR INSTALLING THE ITEMS.
- FOUR (4) GRAY AREAS INDICATE AREAS OF NO WORK. THERE MAY BE SOME OVERLAP OF NEW WORK WITH EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO COORDINATE AREAS WHERE OVERLAP OCCURS.
- PROVIDE TAPERED RIGID INSULATION ROOF CRICKETS AT THE HIGH SIDE OF ALL MECHANICAL CURBS.
- PROVIDE APPROPRIATE CORROSION PROTECTION WHERE EVER DISSIPILAR MATERIALS COME IN CONTACT WITH ONE ANOTHER.
- NEW GLAZED TILE ROOF SHALL MATCH SLOPE OF EXISTING ROOF (TYP.)
- PROVIDE GUTTER EXPANSION JOINTS AS RECOMMENDED BY SMACNA.

BID DOCUMENTS	11.10.2023	
ADDENDUM #02	11.21.2023	
No.	Revisions / Submissions	Date

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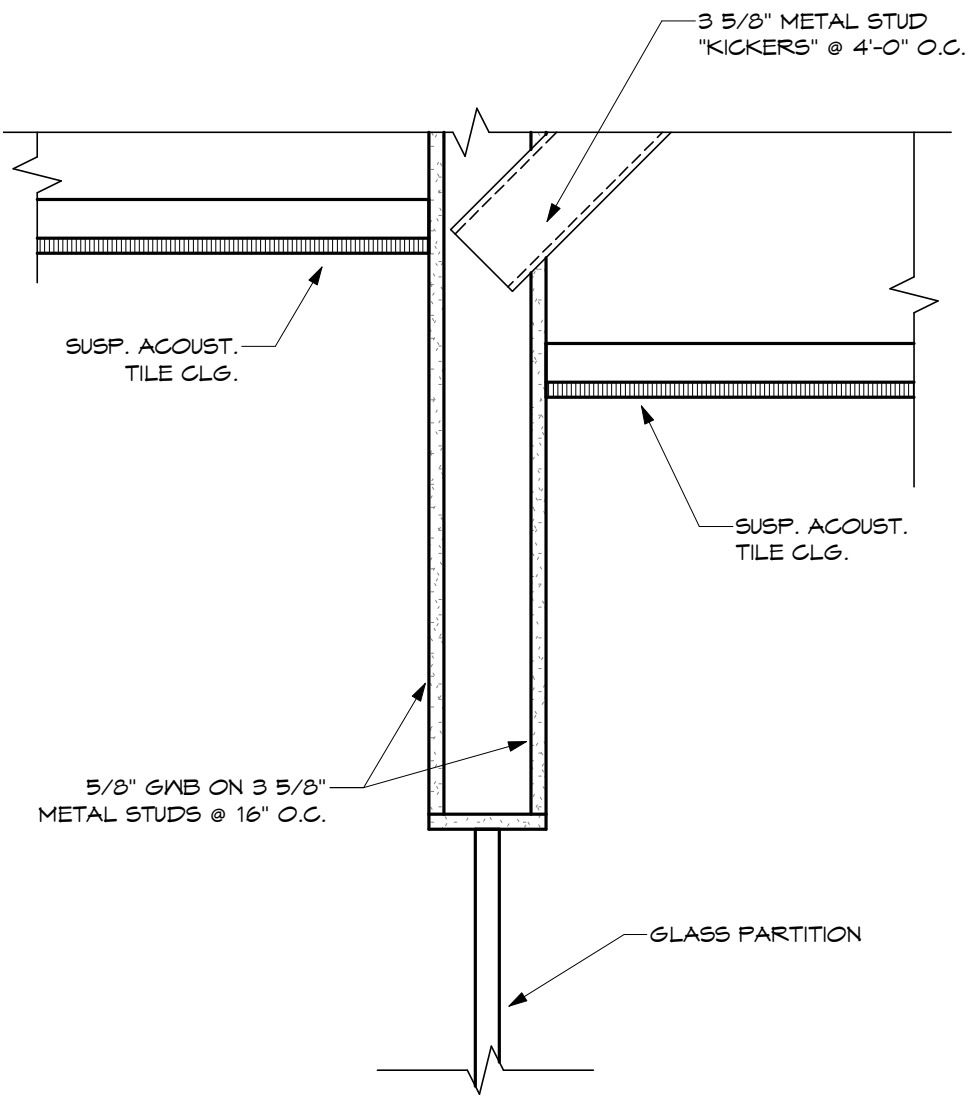
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ALTERNATE DEMOLITION PLANS

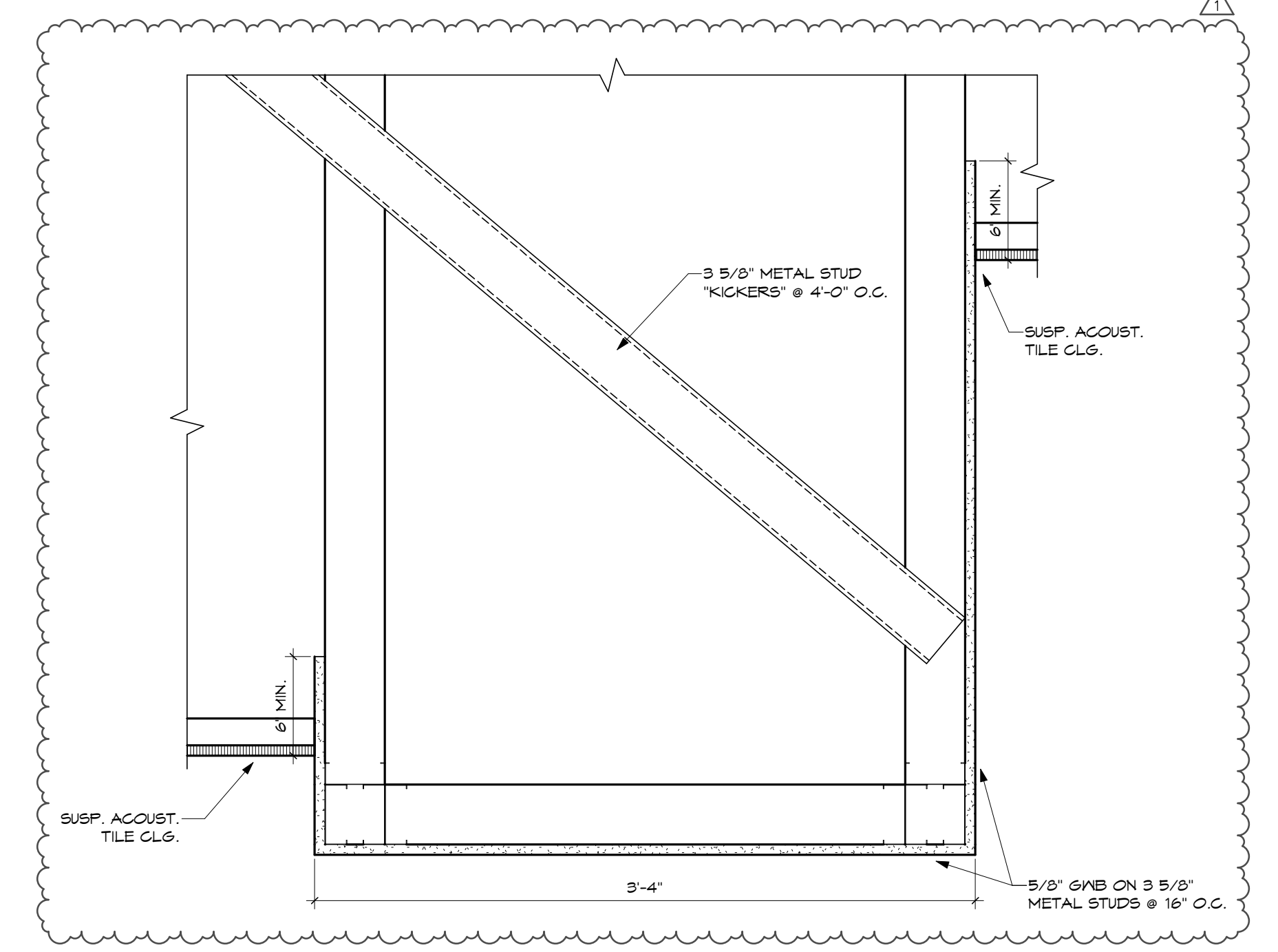
	Comm. No.	Date
	22106.00	11.10.2023
	Drawn	Drawing No.
TOD	AD102.1	
Checked	KRM	

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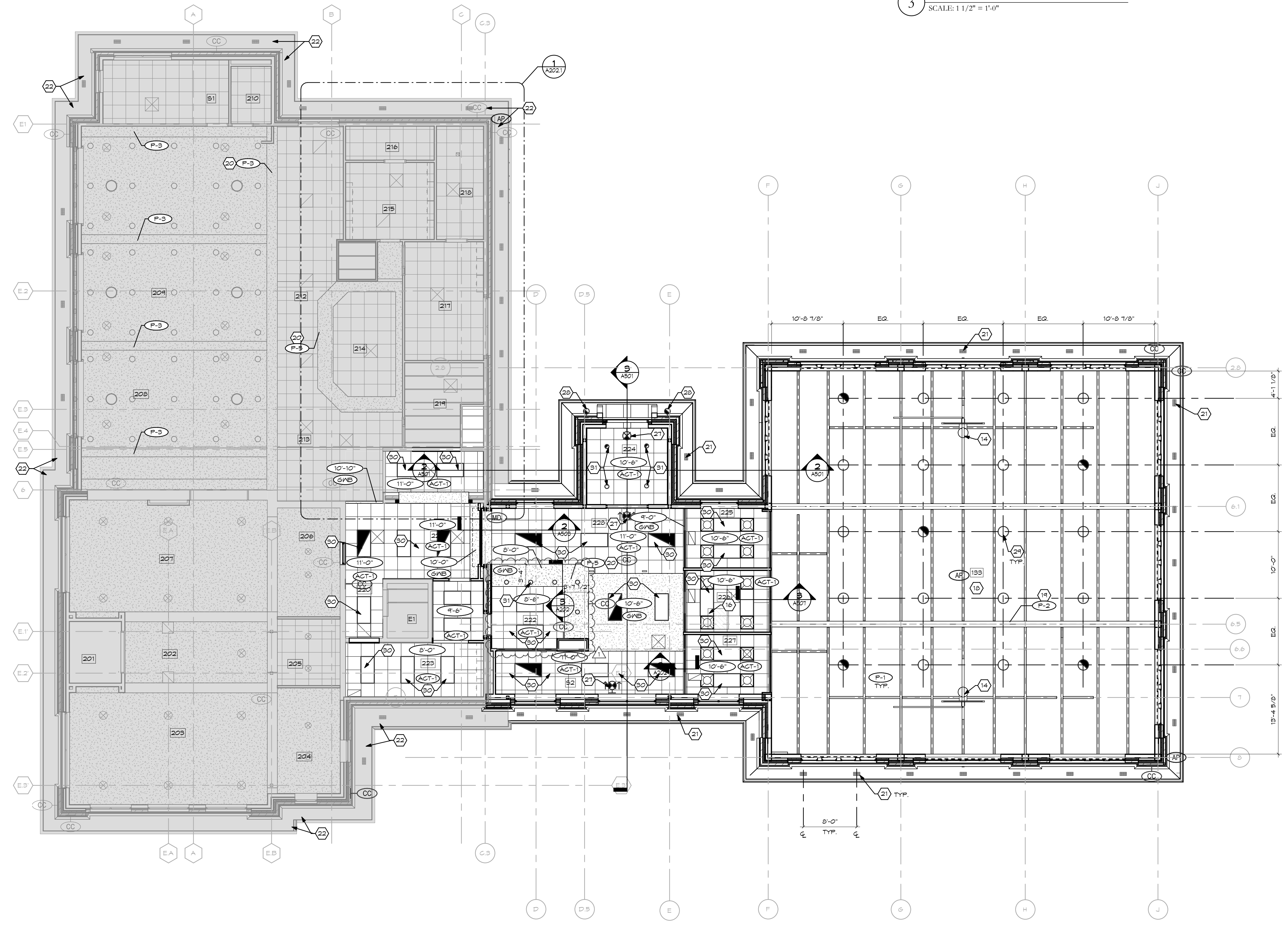
11/21/2023 11:06:44 AM
Autodesk Docs/Union County Public Library/22106-00-LUPL - Addition & Renovation - (R22).rvt



2 SOFFIT AT GLASS PARTITION
SCALE: 1 1/2" = 1'-0"



3 BULKHEAD AT CIRCULATION DESK
SCALE: 1 1/2" = 1'-0"



1 BASE BID - UPPER LEVEL REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

SHEET NOTES: TYPICAL FOR ALL NEW YORK PLAN SHEETS. ALL NOTES MAY NOT BE USED.

1. ALIGN FACE OF NEW AND EXISTING WALL.
2. BOOK RETURN - SEE SPECS.
3. STUD WALL INFILL OF DOOR OPENING. SALVAGE DOOR & TURN OVER TO OWNER.
4. PROVIDE RECESSED SLAB FOR WALK-OFF MAT. SEE FINISH & STRUCTURAL DRAWINGS.
5. NOT USED.
6. INFILL CONCRETE FLOOR SLAB. SEE STRUCT DWGS.
7. RAILING SYSTEM. SEE SPECS & DETAILS.
8. MATCH EXISTING MOOD TRIM ON WALLS. SEE ELEVATIONS. REFINISH ALL MOOD TRIM.
9. INFILL EXISTING OPENING WITH FACE BRICK, 1/2" GYP SHEATHING, 6" METAL STUDS @ 16" O.C. & 5/8" GNB TO MATCH EXISTING. PROVIDE FULL THICK BATT INSULATION.
10. TEMPORARY CONSTRUCTION BARRIERS.
11. BASEBOARDS TO MATCH EXISTING ADJACENT IN COLOR, SIZE, & STYLE - TYP.
12. CONCRETE FAYERS.
13. CONCRETE FAYERS.
14. MOTORIZED RETRACTABLE BASKETBALL GOAL.
15. TERRAZZOTA TILES - TO MATCH EXISTING ADJACENT.
16. ACCESS TO ROOF HATCH.
17. UNDER STAIRS TO BE TYPE "X" GNB.
18. OPEN TO STRUCTURE ABOVE.
19. STRUCTURAL BEAMS ON CEILING IN ROOM 133 TO BE PAINTED P-2 UN.O.
20. UNDERSIDE OF SOFFIT TO BE PAINTED AS INDICATED BY FINISH TAG.
21. SOFFIT VENTS.
22. EXISTING SOFFIT, FASCIA, AND TRIM WORK TO BE CLEANED, PREPARED, & REPAINTED - TYP.
23. NEW WINDOW - STAIN GLAZING BY OWNER. CONTRACTOR TO COORDINATE R.O.D. WITH OWNERS GLAZING.
24. CABINET HEATERS - SEE MECHANICAL.
25. DOOR TO BE REMOVED & REINSTALLED FOR MAG-LOCK.
26. COURT STRIPING - SEE DETAILS.
27. EXIT LIGHT - SEE ELECTRICAL.
28. EXTERIOR LIGHTING - SEE ELECTRICAL.
29. PENDANT DOWN LIGHT - SEE ELECTRICAL.
30. 2X4 LIGHTING FIXTURE - SEE ELECTRICAL.
31. 4" DOWN LIGHT - SEE ELECTRICAL.
32. EXHAUST FAN - SEE MECHANICAL.
33. DOWN LIGHT FIXTURE - SEE ELECTRICAL.
34. PATCH IN CEILING TILES REQUIRED FOR NEW YORK.
35. SIDES OF SOFFIT TO BE PAINTED AS INDICATED BY FINISH TAG.
36. 2" DOWN LIGHT - SEE ELECTRICAL.
37. RETRACTABLE COIL OUTLET UNDERSIDE OF TRACK - SEE ELECTRICAL.
38. PROTECTION SCREEN.

GENERAL NOTES:

- A. SEE PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ALL ASSOCIATED ITEMS.
- B. DIMENSIONS ARE FROM FACE OF FRAMING TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
- C. PROTECT ALL EXISTING CONSTRUCTION TO REMAIN. PATCH ALL GNB TO REMAIN WHERE ADJACENT WALLS HAVE BEEN REMOVED TO LEVEL 5 FINISH FRAME AND (2) COATS FINISH PAINT TO COLOR INDICATED ON FINISH PLANS.
- D. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL FIRE-RATINGS AT EXISTING WALLS & CEILING.
- E. SEE FINISH PLANS FOR NEW FLOOR AND WALL FINISHES.
- F. ALL DIMENSIONS ARE TO FACE OF FRAMING, UNLESS NOTED OTHERWISE.
- G. ALL INTERIOR WALLS SHALL RECEIVE FULL-THICK BATT SOUND INSULATION, UNLESS NOTED OTHERWISE.
- H. ALL INTERIOR WALLS SHALL EXTEND TO STRUCTURE ABOVE AND SEAL THERE TO, UNLESS NOTED OTHERWISE.
- I. ALL WALLS ARE TYPE #2 UNLESS NOTED OTHERWISE.
- J. ALL ITEMS PASSING THROUGH RATED WALLS MUST BE SEALED (WITH MATERIALS APPROVED BY ARCHITECT/ENGINEER) BY THE CONTRACTOR INSTALLING THE ITEMS.
- K. FICHE GRAY AREAS INDICATE AREAS OF NO WORK. THERE MAY BE SOME OVERLAP OF NEW WORK WITH EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO COORDINATE AREAS WHERE OVERLAP OCCUR.
- L. PROVIDE TAPERED RIGID INSULATION ROOF CRICKETS AT THE HIGH SIDE OF ALL MECHANICAL CURBS.
- M. PROVIDE APPROPRIATE CORROSION PROTECTION WHERE EVER DISSIMILAR MATERIALS COME IN CONTACT WITH ONE ANOTHER.
- N. NEW GLAZ TILE ROOF SHALL MATCH SLOPE OF EXISTING ROOF (TYP).
- O. PROVIDE GUTTER EXPANSION JOINTS AS RECOMMENDED BY SMACNA.

BID DOCUMENTS		11.10.2023
ADDENDUM #02		11.21.2023
No.	Revisions / Submissions	Date

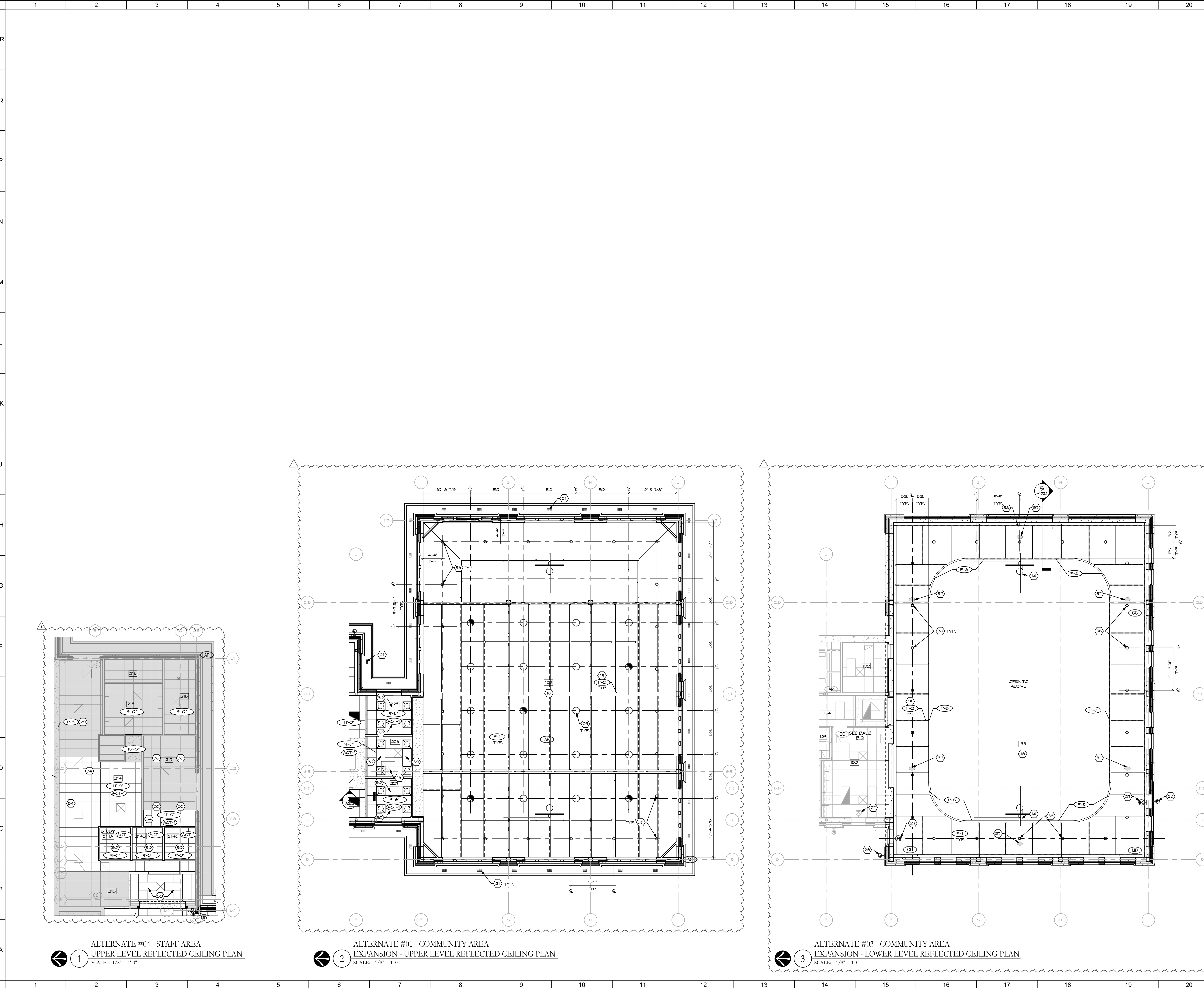
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UPPER LEVEL REFLECTED CEILING PLAN - BASE BID

	Comm. No.	Date
	22106.00	11.10.2023
Drawn	TOD	Drawing No.
Checked	KRM	A202

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SHEET NOTES: TYPICAL FOR ALL NEW WORK PLAN SHEETS. ALL NOTES MAY NOT BE USED.

1. ALIGN FACE OF NEW AND EXISTING WALL.
2. BOOK RETURN - SEE SPECS.
3. STUD WALL INFILL OF DOOR OPENING, SALVAGE DOOR & TURN OVER TO OWNER.
4. PROVIDE RECESSED SLAB FOR WALK-OFF MAT, SEE FINISH & STRUCTURAL DRAWINGS.
5. NOT USED.
6. INFILL CONCRETE FLOOR SLAB, SEE STRUCT DWGS.
7. RAILING SYSTEM, SEE SPECS & DETAILS.
8. MATCH EXISTING MOOD TRIM ON WALLS, SEE ELEVATIONS.
9. REFINISH ALL MOOD TRIM.
10. INFILL EXISTING OPENING WITH FACE BRICK, 1/2" GYP SHEATHING, 6" METAL STUDS @ 16" O.C. & 3/8" GMB TO MATCH EXISTING, PROVIDE FULL THICK BATT INSULATION.
11. TEMPORARY CONSTRUCTION BARRIERS.
12. BASEBOARDS TO MATCH EXISTING ADJACENT IN COLOR, SIZE, & STYLE - TYP.
13. CONCRETE FAYERS.
14. MOTORIZED RETRACTABLE BASKETBALL GOAL.
15. TERRAZZOTTA TILES - TO MATCH EXISTING ADJACENT.
16. ACCESS TO ROOF HATCH.
17. UNDER STAIRS TO BE TYPE "X" GMB.
18. OPEN TO STRUCTURE ABOVE.
19. STRUCTURAL BEAMS ON CEILING IN ROOM 133 TO BE PAINTED P-2 UN.O.
20. UNDERSIDE OF SOFFIT TO BE PAINTED AS INDICATED BY FINISH TAG.
21. SOFFIT VENTS.
22. EXISTING SOFFIT, FASCIA, AND TRIM WORK TO BE CLEANED, PREPARED, & REPAINTED - TYP.
23. NEW WINDOW - STAIN GLAZING BY OWNER, CONTRACTOR TO COORDINATE R.O.D. WITH OWNERS GLAZING.
24. CABINET HEATERS - SEE MECHANICAL.
25. DOOR TO BE REMOVED & REINSTALLED FOR MAG-LOCK.
26. COURT STRIPING - SEE DETAILS.
27. EXIT LIGHT - SEE ELECTRICAL.
28. EXTERIOR LIGHTING - SEE ELECTRICAL.
29. PENDANT DOWN LIGHT - SEE ELECTRICAL.
30. 2X4 LIGHTING FIXTURE - SEE ELECTRICAL.
31. 4" DOWN LIGHT - SEE ELECTRICAL.
32. EXHAUST FAN - SEE MECHANICAL.
33. DOWN LIGHT EXISTING - SEE ELECTRICAL.
34. PATCH IN CEILING (TILING REQUIRED FOR NEW YORK).
35. SIDES OF SOFFIT TO BE PAINTED AS INDICATED BY FINISH TAG.
36. 2" DOWN LIGHT - SEE ELECTRICAL.
37. RETRACTABLE COIL OUTLET UNDERSIDE OF TRACK - SEE ELECTRICAL.
38. PROTECTION SCREEN.

GENERAL NOTES:

- A. SEE PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ALL ASSOCIATED ITEMS.
- B. DIMENSIONS ARE FROM FACE OF FRAMING TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
- C. PROTECT ALL EXISTING CONSTRUCTION TO REMAIN, PATCH ALL GMB TO REMAIN WHERE ADJACENT WALLS HAVE BEEN REMOVED TO LEVEL 5 FINISH FRAME AND (2) COATS FINISH PAINT TO COLOR INDICATED ON FINISH PLANS.
- D. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL FIRE RATINGS AT EXISTING WALLS & CEILINGS.
- E. SEE FINISH PLANS FOR NEW FLOOR AND WALL FINISHES.
- F. ALL DIMENSIONS ARE TO FACE OF FRAMING, UNLESS NOTED OTHERWISE.
- G. ALL INTERIOR WALLS SHALL RECEIVE FULL-THICK BATT SOUND INSULATION, UNLESS NOTED OTHERWISE.
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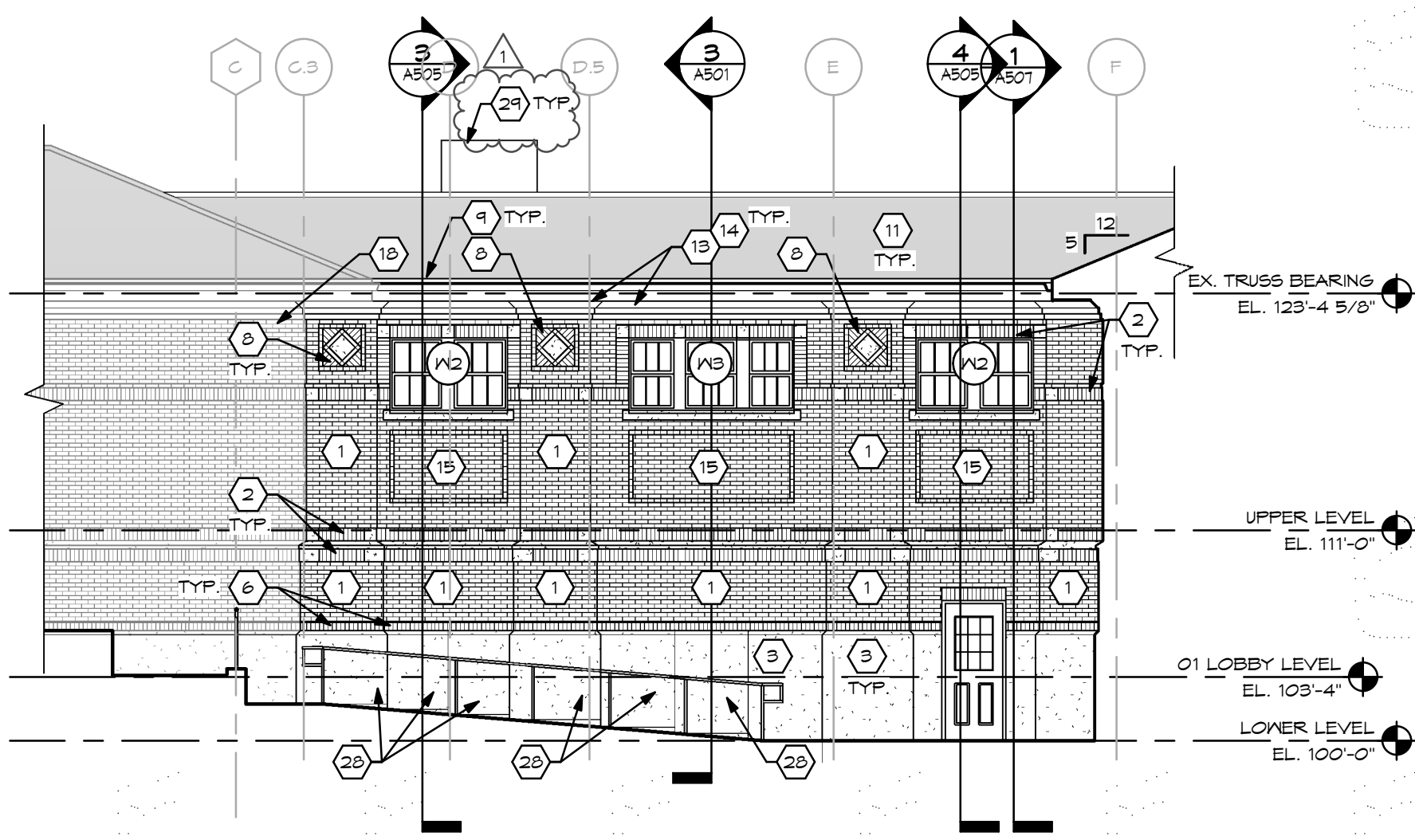
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Comm. No.	22106.00	Date	11.10.2023
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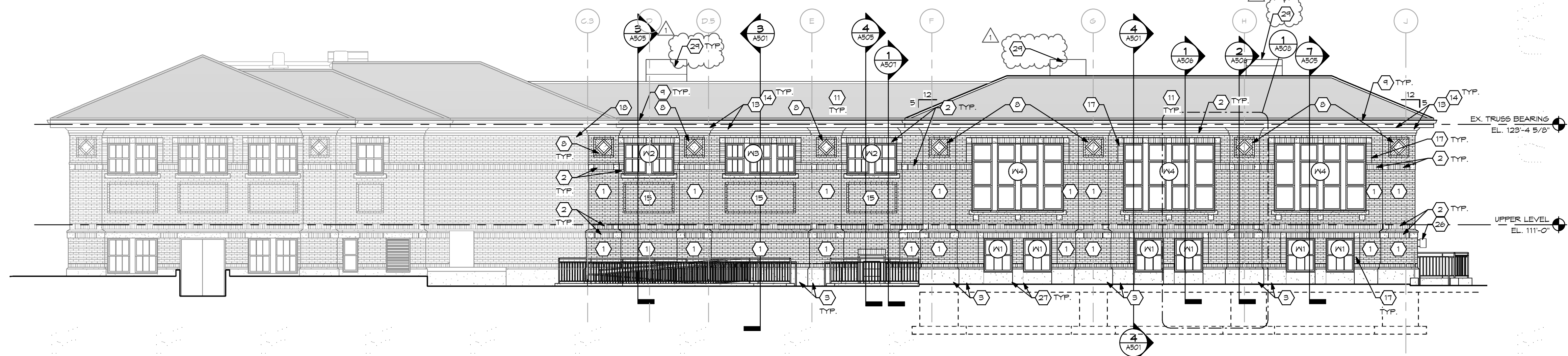
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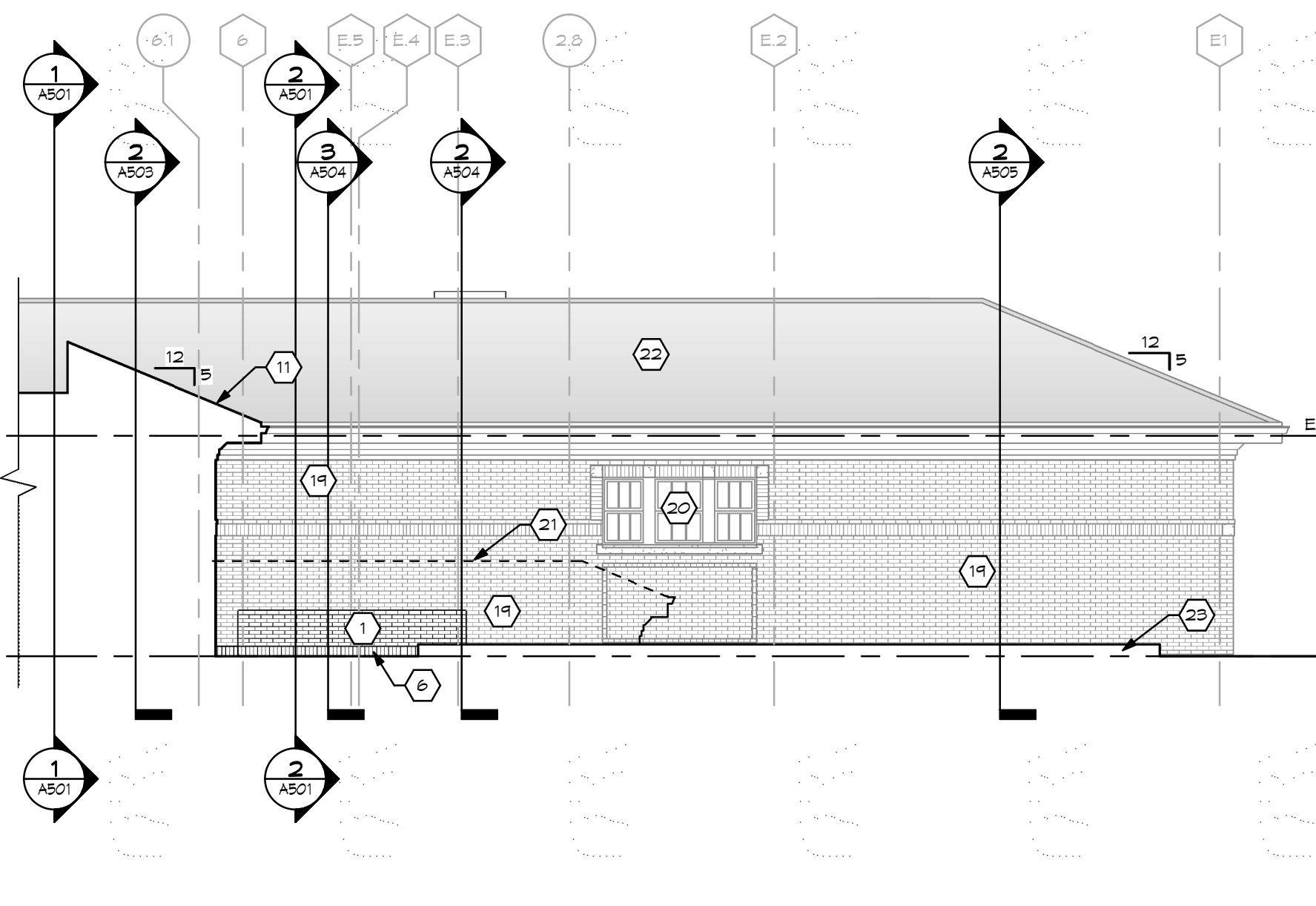
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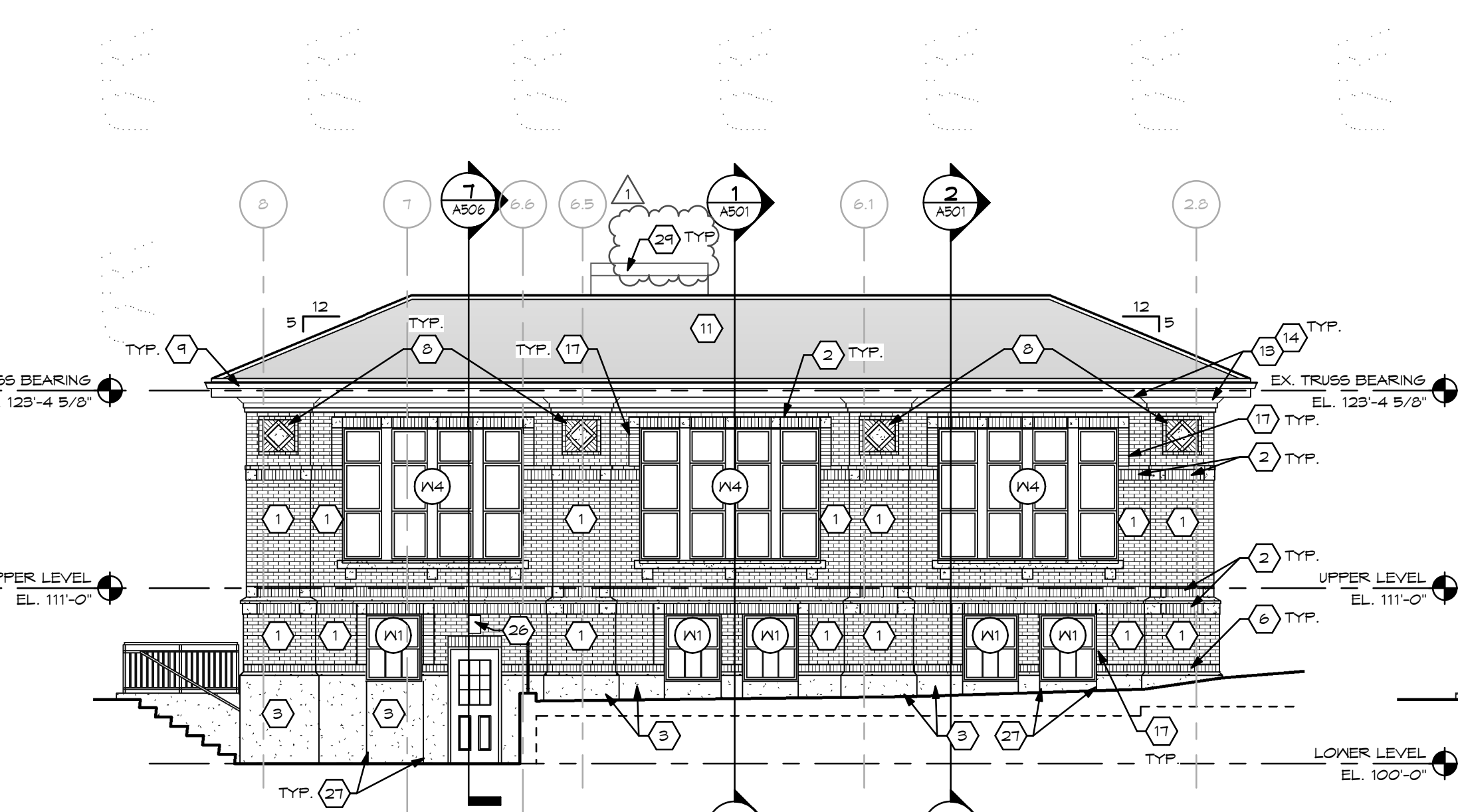
11 PARTIAL WEST ELEVATION
SCALE: 1/8" = 1'-0"



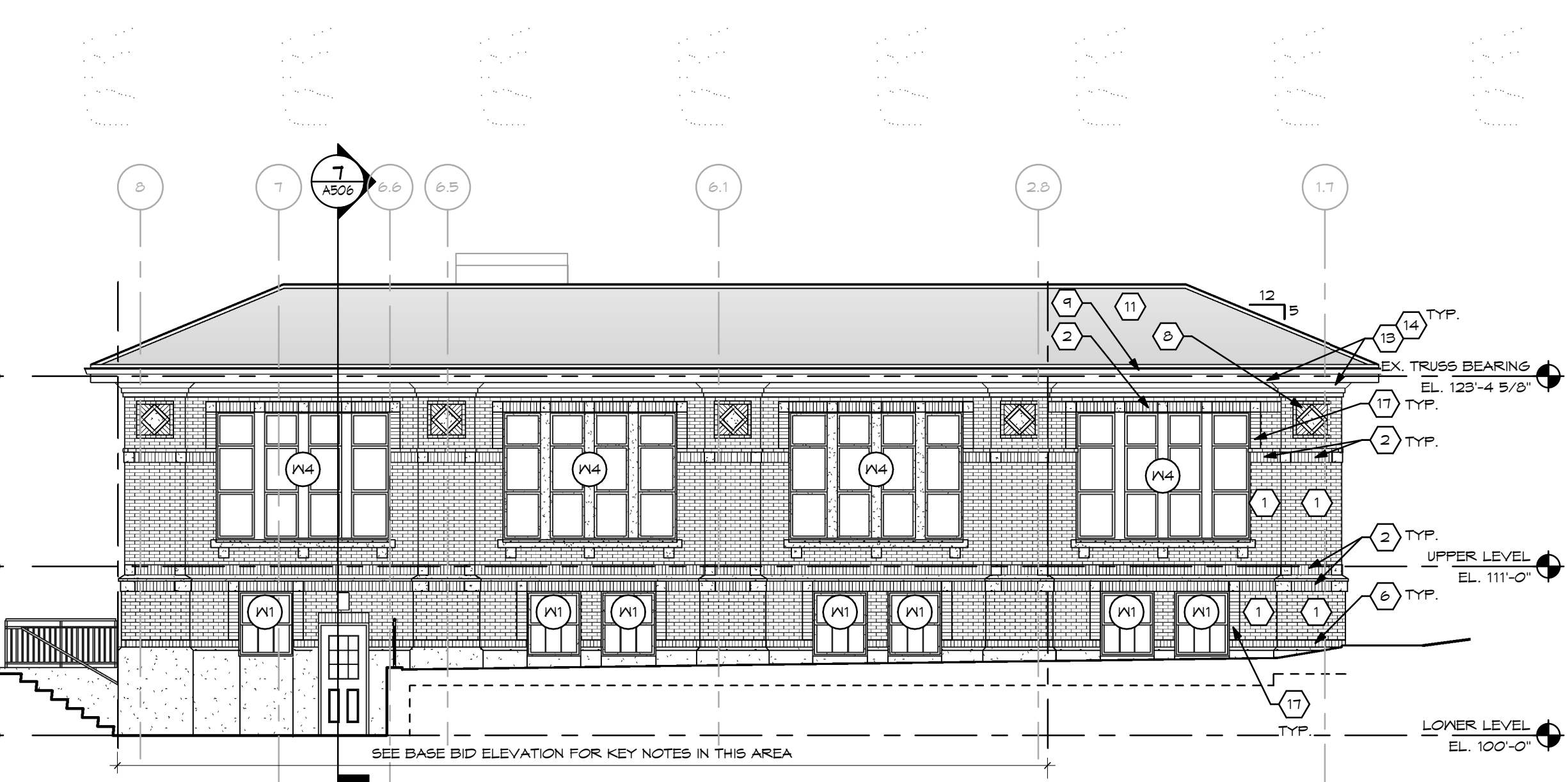
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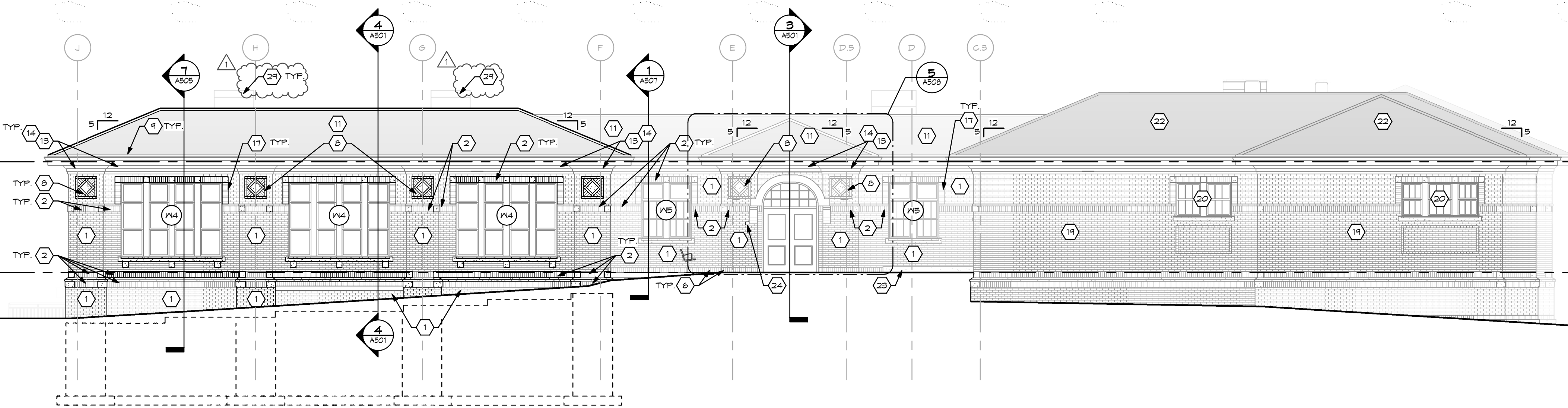
8 PARTIAL SOUTH ELEVATION
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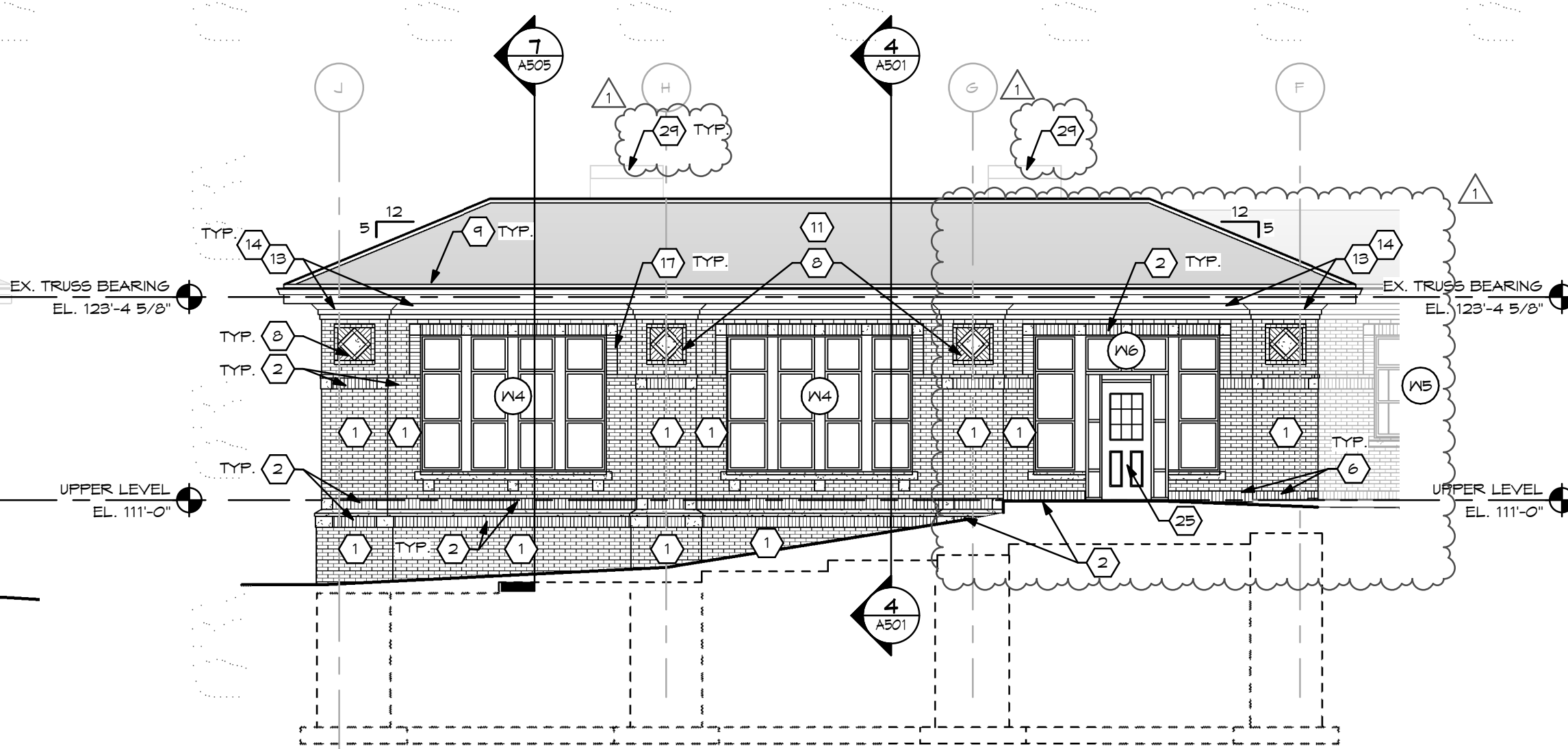
9 SOUTH ELEVATION - BASE BID
SCALE: 1/8" = 1'-0"



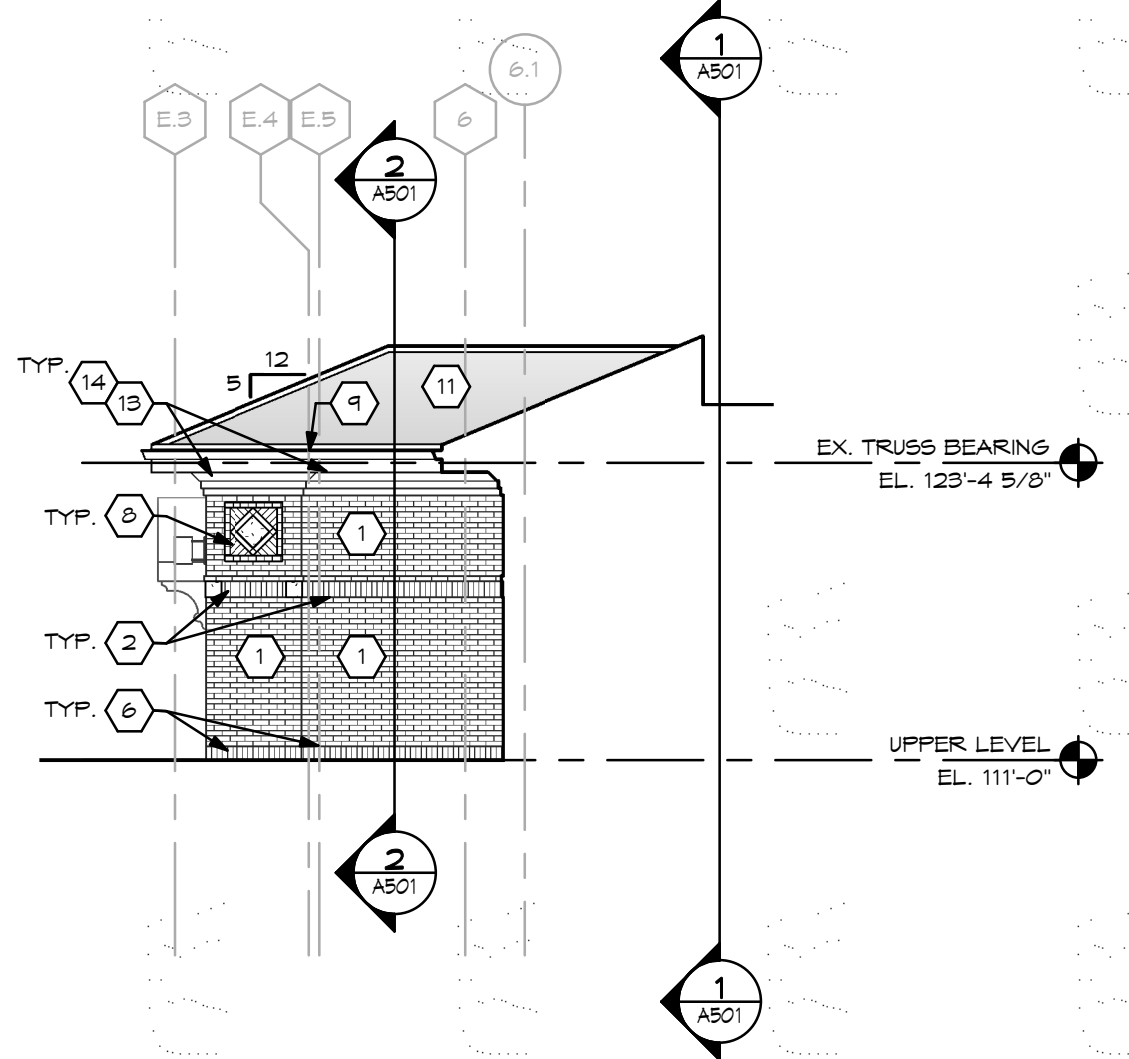
10 SOUTH ELEVATION - ALTERNATE #01
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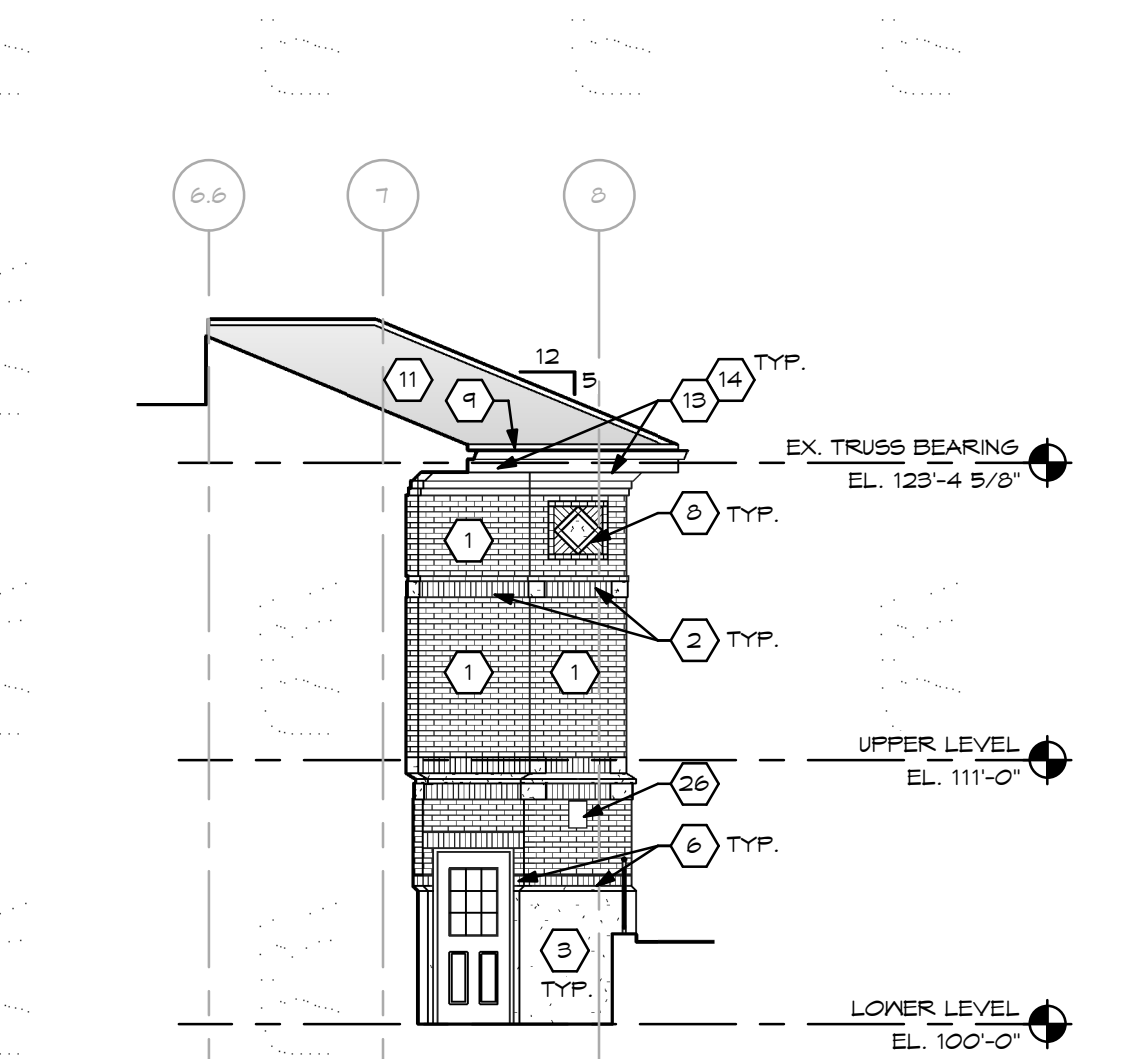
6 EAST ELEVATION - BASE BID
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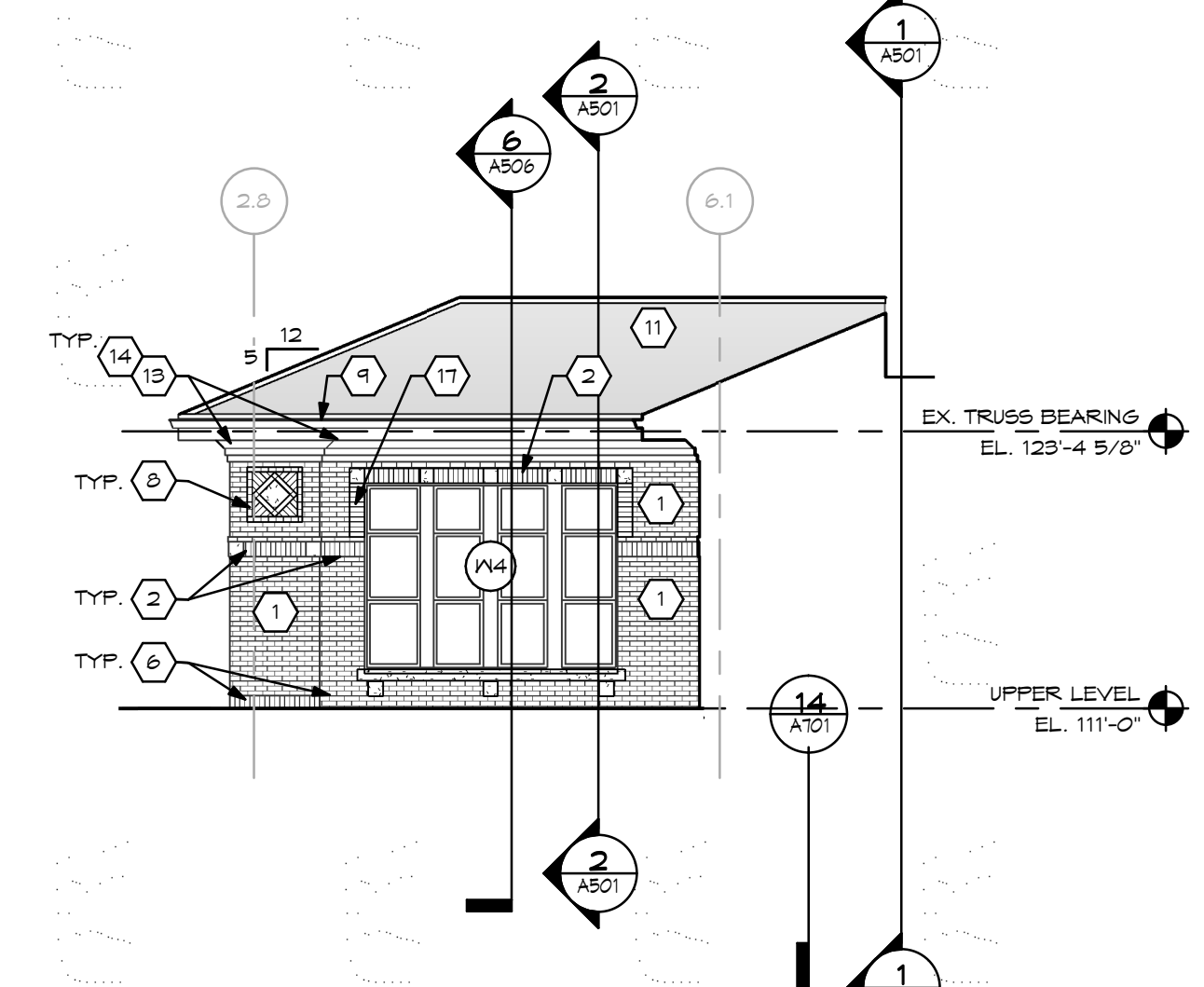
7 PARTIAL EAST ELEVATION - ALTERNATE #03
SCALE: 1/8" = 1'-0"



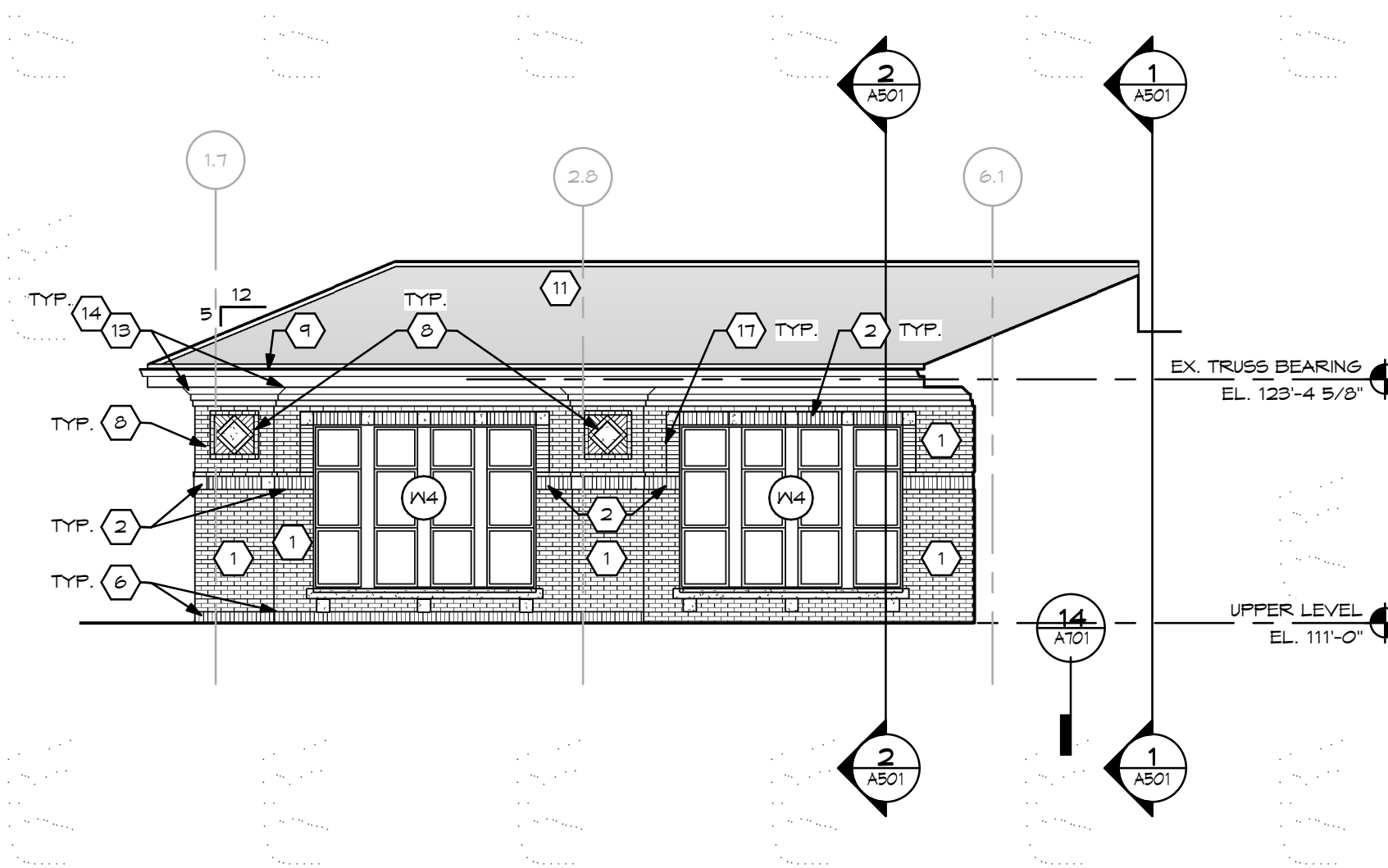
1 PARTIAL NORTH ELEVATION @ ENTRANCE
SCALE: 1/8" = 1'-0"



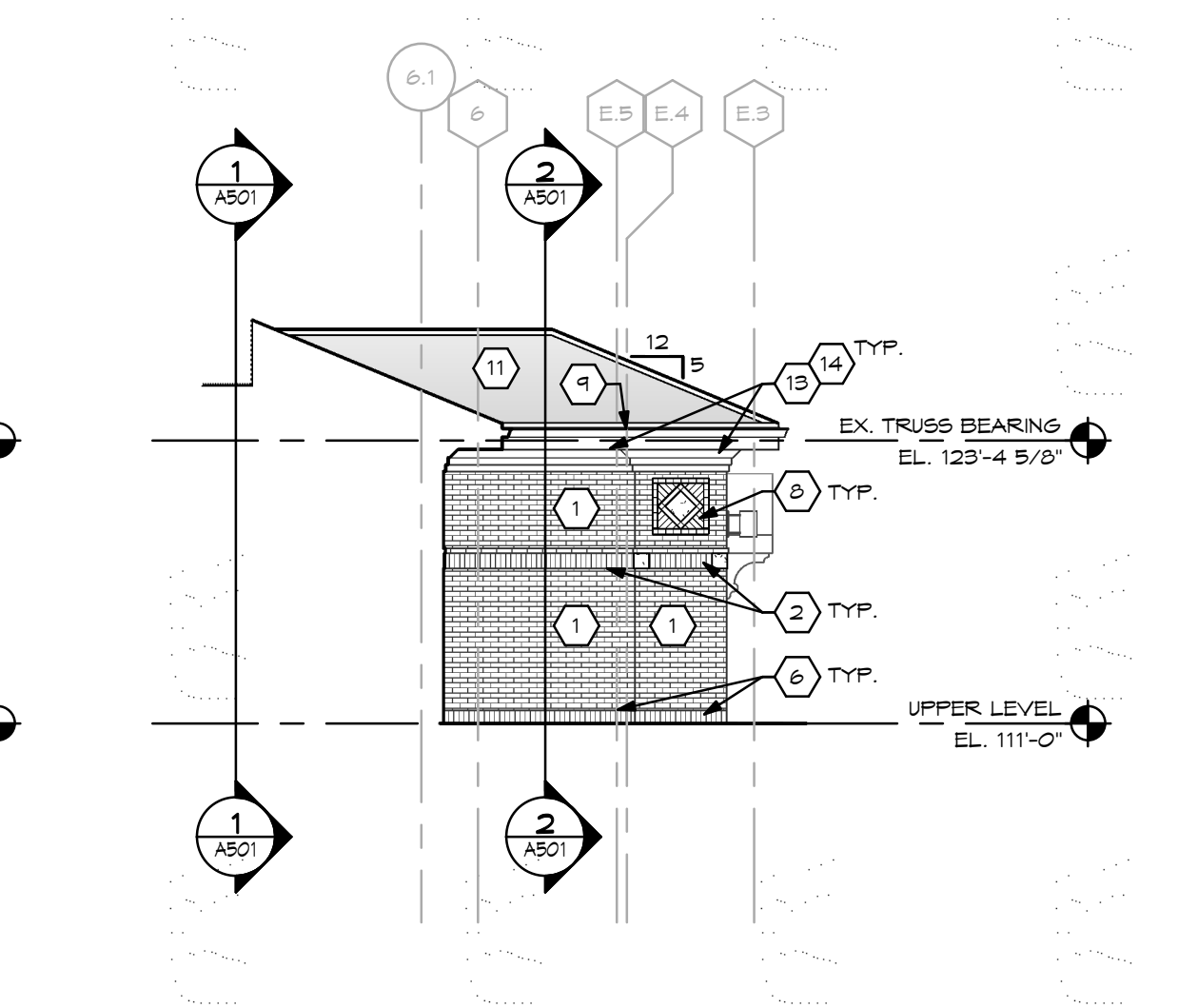
2 PARTIAL NORTH ELEVATION @ KITCHEN STAIR
SCALE: 1/8" = 1'-0"



3 PARTIAL NORTH ELEVATION - BASE BID
SCALE: 1/8" = 1'-0"



4 PARTIAL NORTH ELEVATION - ALTERNATE #01
SCALE: 1/8" = 1'-0"



5 PARTIAL SOUTH ELEVATION @ ENTRANCE
SCALE: 1/8" = 1'-0"

SHEET NOTES:

- 4" FACE BRICK - MODULAR SIZE - MATCH EXISTING COLOR, TEXTURE.
- ADJUST HORIZONTAL GROUT JOINTS AS REQUIRED TO MATCH GOURING OF EXISTING ORIGINAL (1915 GARNESE) BUILDING.
- BRICK SOLDIER COURSE TO MATCH EXISTING (1915 GARNESE) BUILDING.
- STONE PANEL - SEE SECTIONS.
- CAST-IN-PLACE FORMED CONCRETE FOUNDATION WALL WITH CHAMFER - MATCH EXISTING - SEE WALL SECTIONS AND STRUCT. FOR FURTHER INFORMATION.
- PROJECTED RUNNING BRICK BAND TO MATCH DETAIL AT EXISTING - SEE WALL SECTIONS.
- SPECIAL CUT "SOLDIER" WITH STACK BOND DETAIL AT CORNERS - SEE WALL SECTIONS.
- WINDOW AS SCHEDULED.
- FACE BRICK BASKETWEAVE DETAIL WITH CUT STONE CENTER TO MATCH EXISTING. PROVIDE SHOP DRAWINGS SHOWING LAYOUT.
- COPPER GUTTER - MATCH EXISTING - SEE ROOF PLAN.
- COPPER DOWNSPOUT (MATCH EXISTING) WITH GAST-RON SHOE. SEE ROOF PLAN.
- CLAY TILE ROOFING SYSTEM TO MATCH EXISTING. 5/12 ROOF SLOPE. TYP. - VERIFY - MATCH EXISTING.
- EXISTING GLAY TILE TO REMAIN.
- WOOD FASCIA - PAINTED TO MATCH EXISTING.
- WOOD MOLDINGS - PAINTED TO MATCH EXISTING.
- BRICK PANEL BENEATH WINDOW WITH RUNNING CUT BRICK AT TOP & BOTTOM. CUT VERTICAL RUN BRICK AT SIDES TO MATCH EXISTING.
- PAINTED WOOD FASCIA, SOFFIT, MOLDING - SEE WALL SECTIONS.
- STACK BOND AT SIDE OF WINDOW, DOOR OPENING TO MATCH EXISTING.
- COPPER DOWNSPOUT TO BE RELOCATED AS REQUIRED - LOCATE AT JOINT BETWEEN NEW AND EXISTING CONSTRUCTION.
- EXISTING TO REMAIN.
- EXISTING WINDOW TO REMAIN.
- EXTENTS OF DEMOLISHED FRONT ENTRANCE.
- EXISTING GLAY TILE ROOF TO REMAIN.
- TOP OF CONCRETE AREA MAY VARY. SEE PLANS.
- EMERGENCY KNIX BOX - SEE SPECS.
- EXIT DOOR IN P1-B IS ONLY USED IF ALTERNATE #03 IS CHOSEN.
- LIGHT FIXTURE - SEE ELECTRICAL.
- STONE PANEL JOINT - TYP.
- STONE PANEL - SEE WALL SECTIONS.
- ROOF TOP UNIT - SEE MECHANICAL.

GENERAL NOTES:

BID DOCUMENTS	11.10.2023
ADDENDUM #02	11.21.2023
No.	Revisions / Submissions
	Date

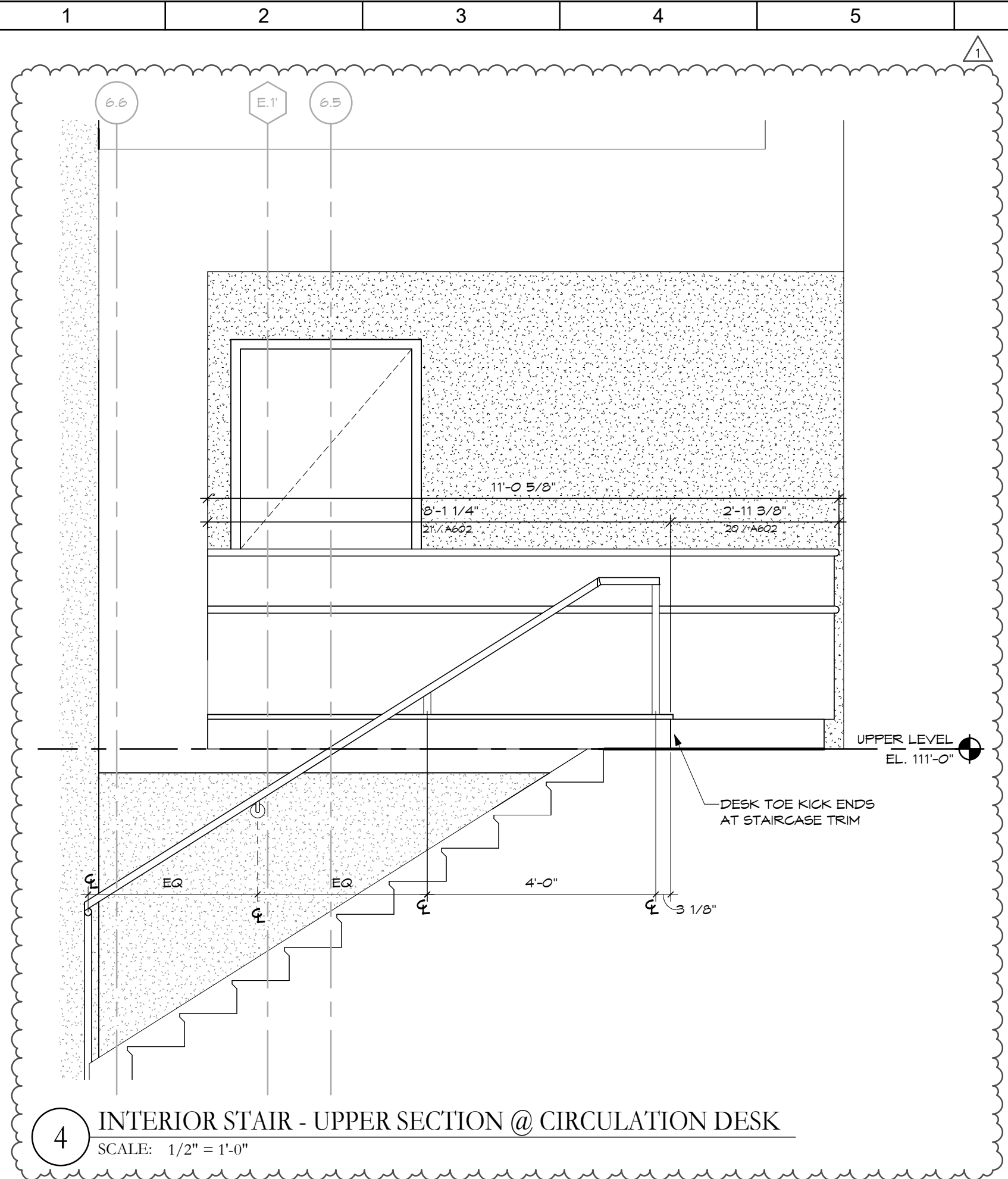
LWC
INCORPORATED
434 East First Street Dayton, OH 45402 937.223.6500
712 East Main Street Richmond, IN 47374 765.966.3546

Union County Public Library
UNION COUNTY PUBLIC LIBRARY
LIBRARY ADDITION AND RENOVATION
2 EAST SEMINARY STREET
LIBERTY, IN 47353

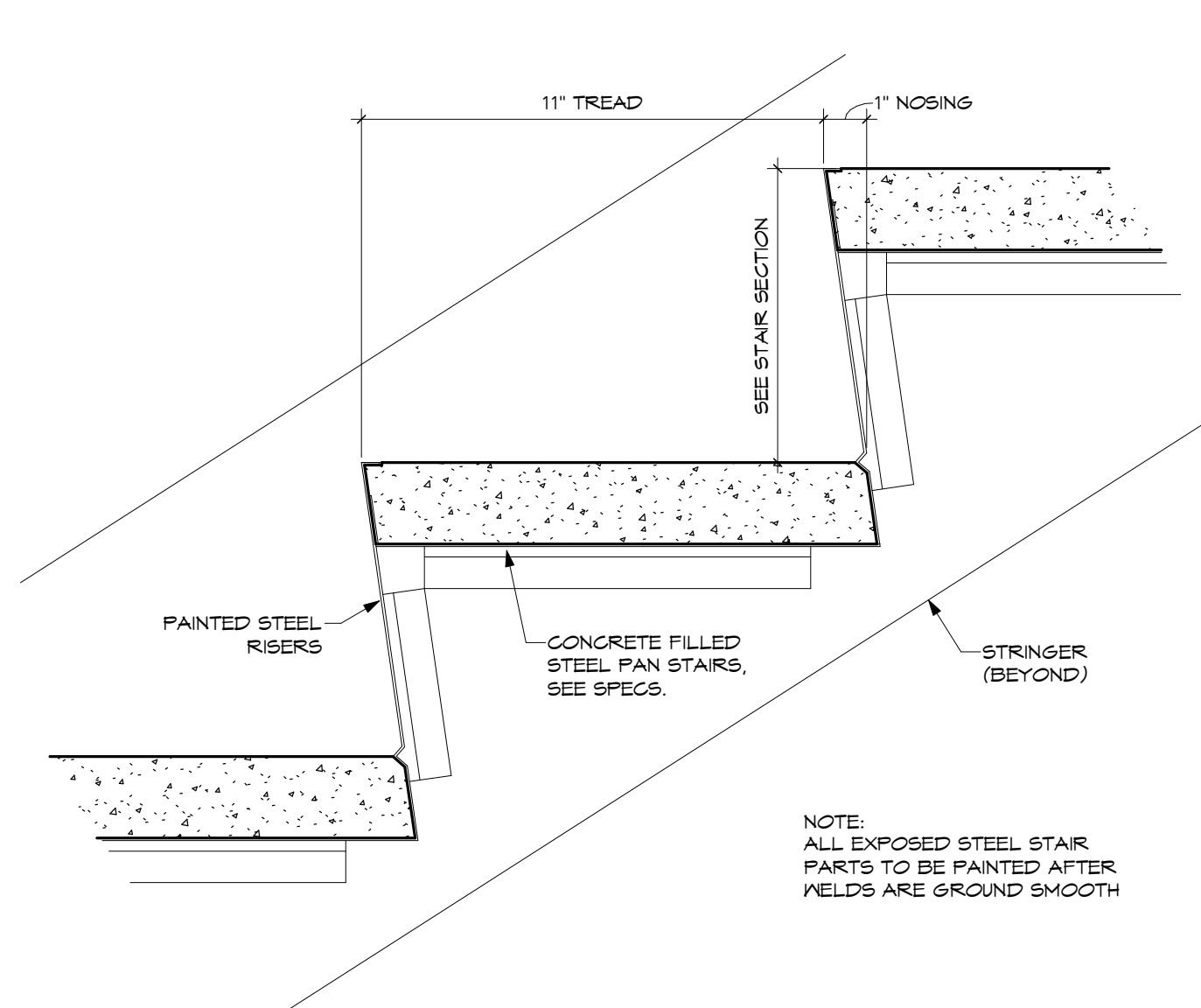
EXTERIOR BUILDING ELEVATIONS

	Comm. No.	Date
	22106.00	11.10.2023
	Drawn	Drawing No.
	TOD	A301
Checked	KRM	

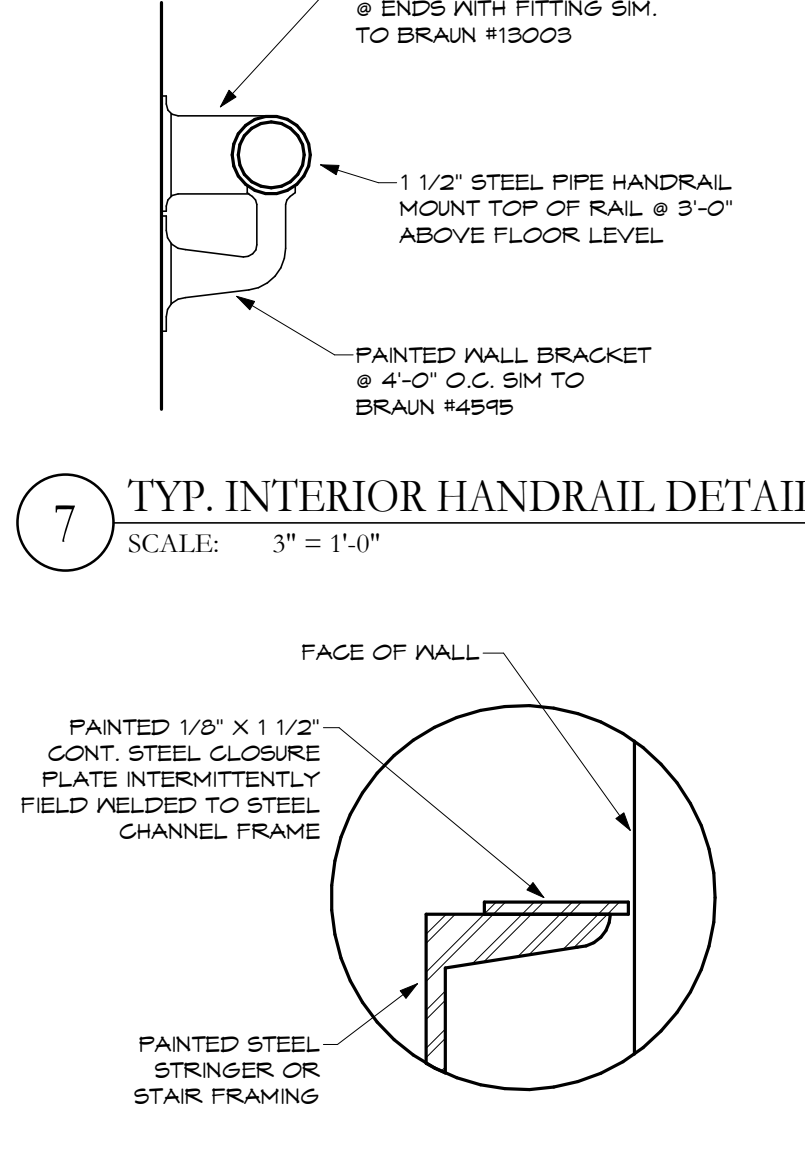
Autodesk Docs/Union County Public Library/22106-00-UCPL - Addition & Renovation - (R22) rvt 11/16/2023 11:25:46 AM



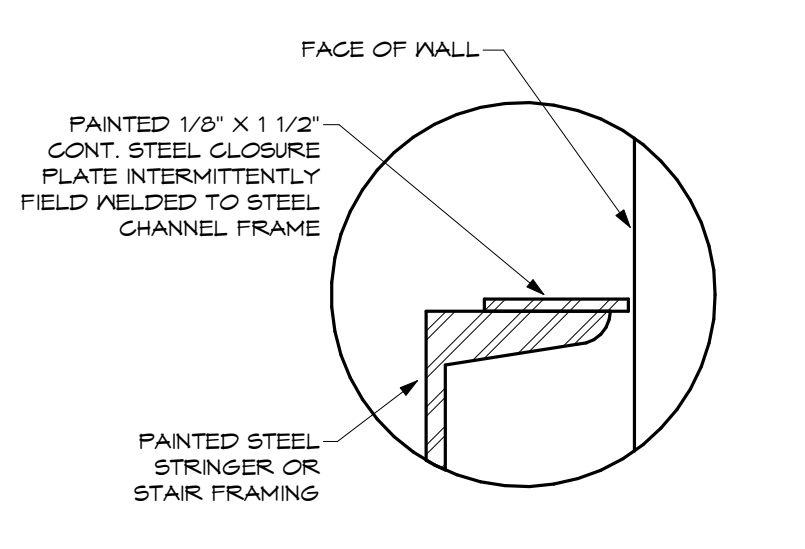
4 INTERIOR STAIR - UPPER SECTION @ CIRCULATION DESK
SCALE: 1/2" = 1'-0"



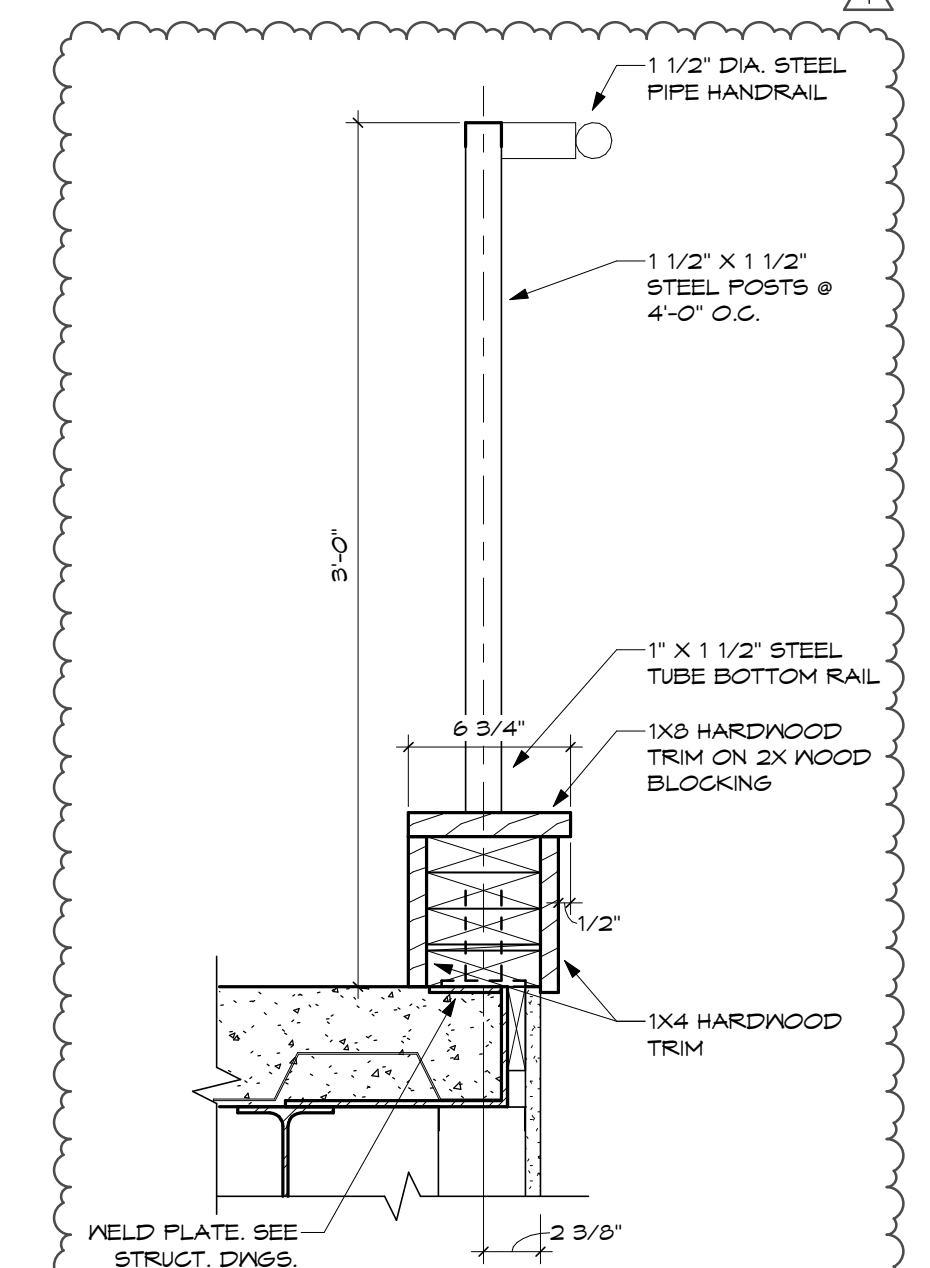
5 TYP. STAIR PAN SECTION
SCALE: 3" = 1'-0"



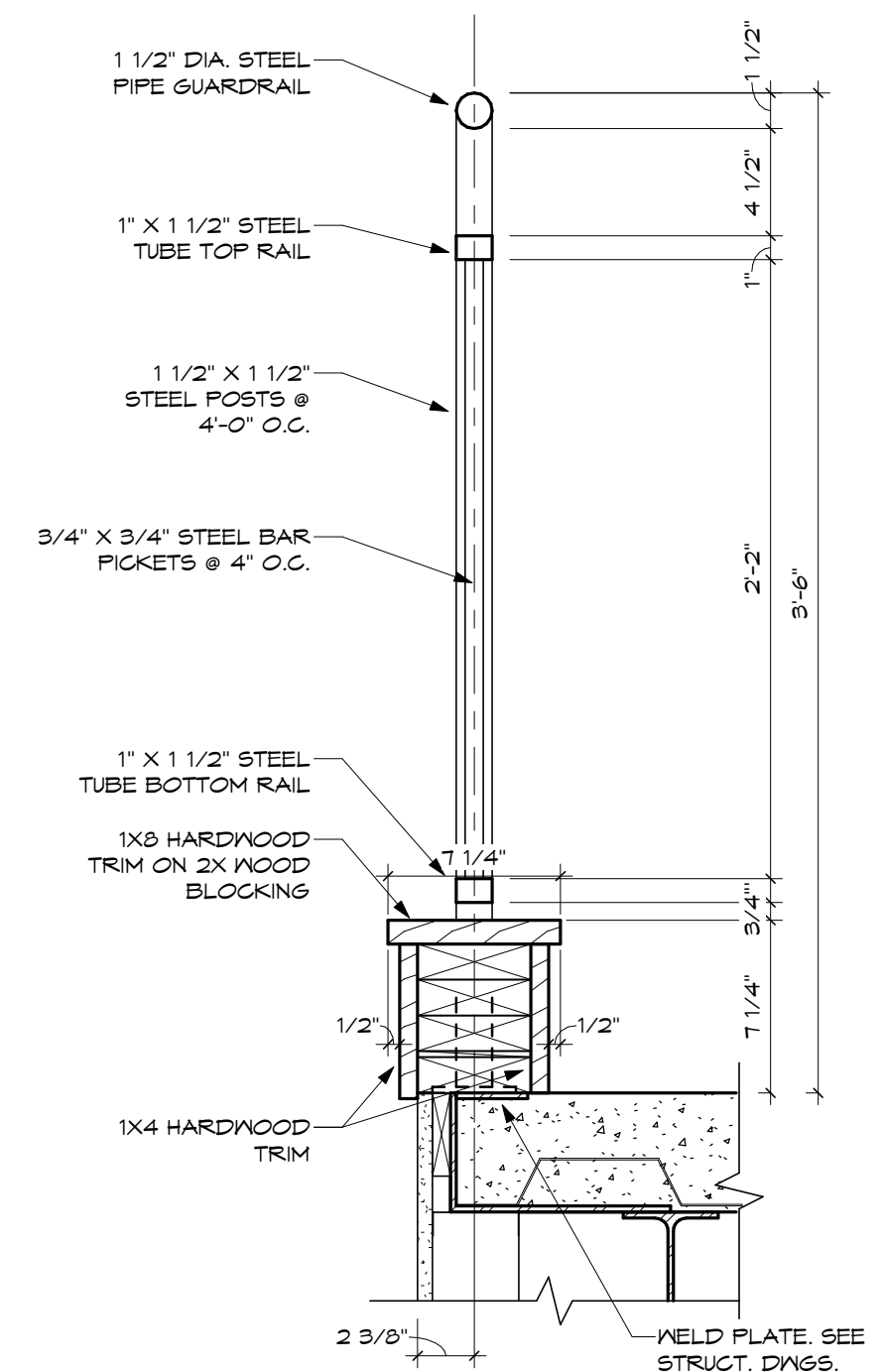
7 TYP. INTERIOR HANDRAIL DETAIL
SCALE: 3" = 1'-0"



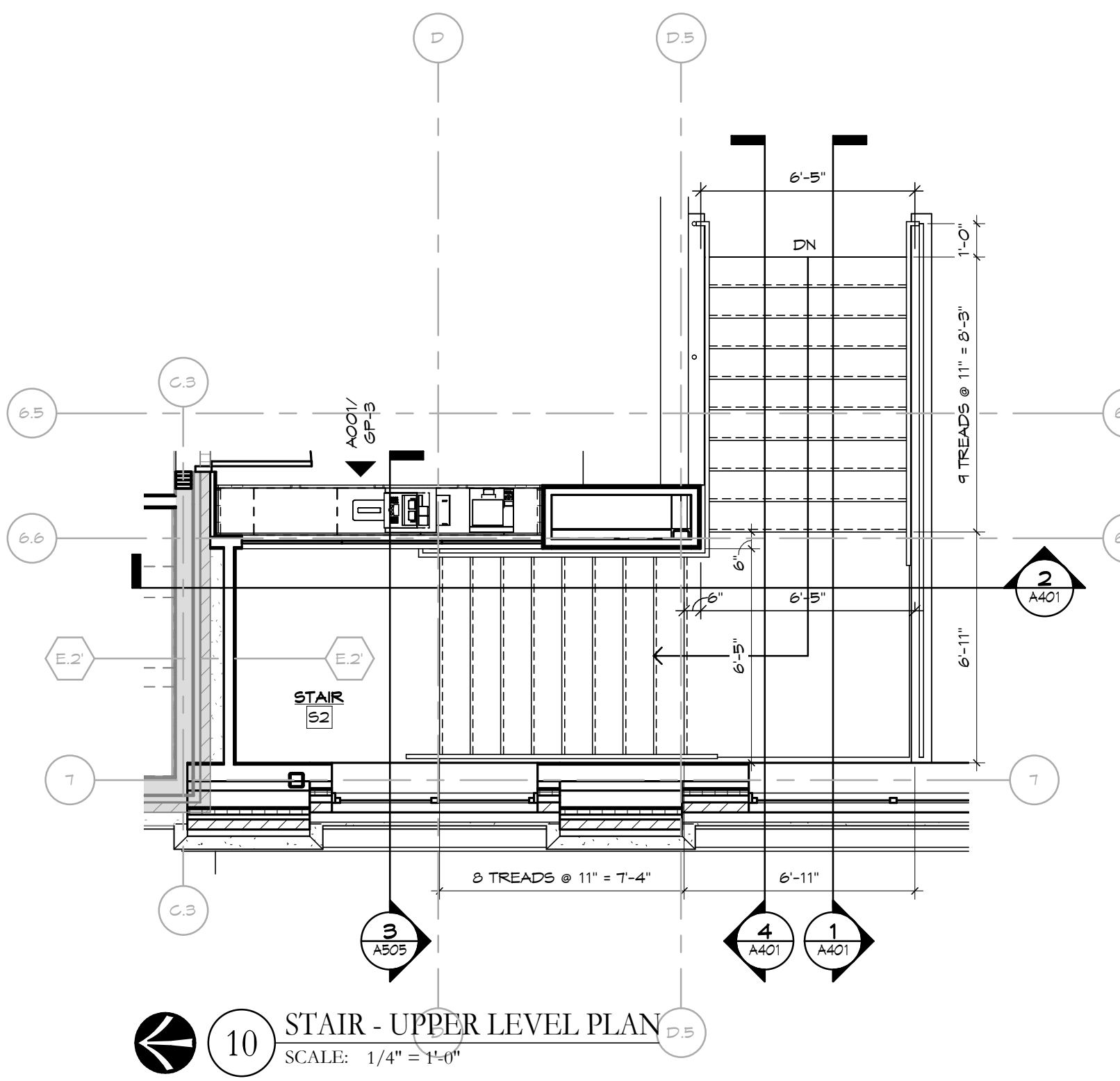
6 TYP. CLOSURE PLATE DETAIL
SCALE: 6" = 1'-0"



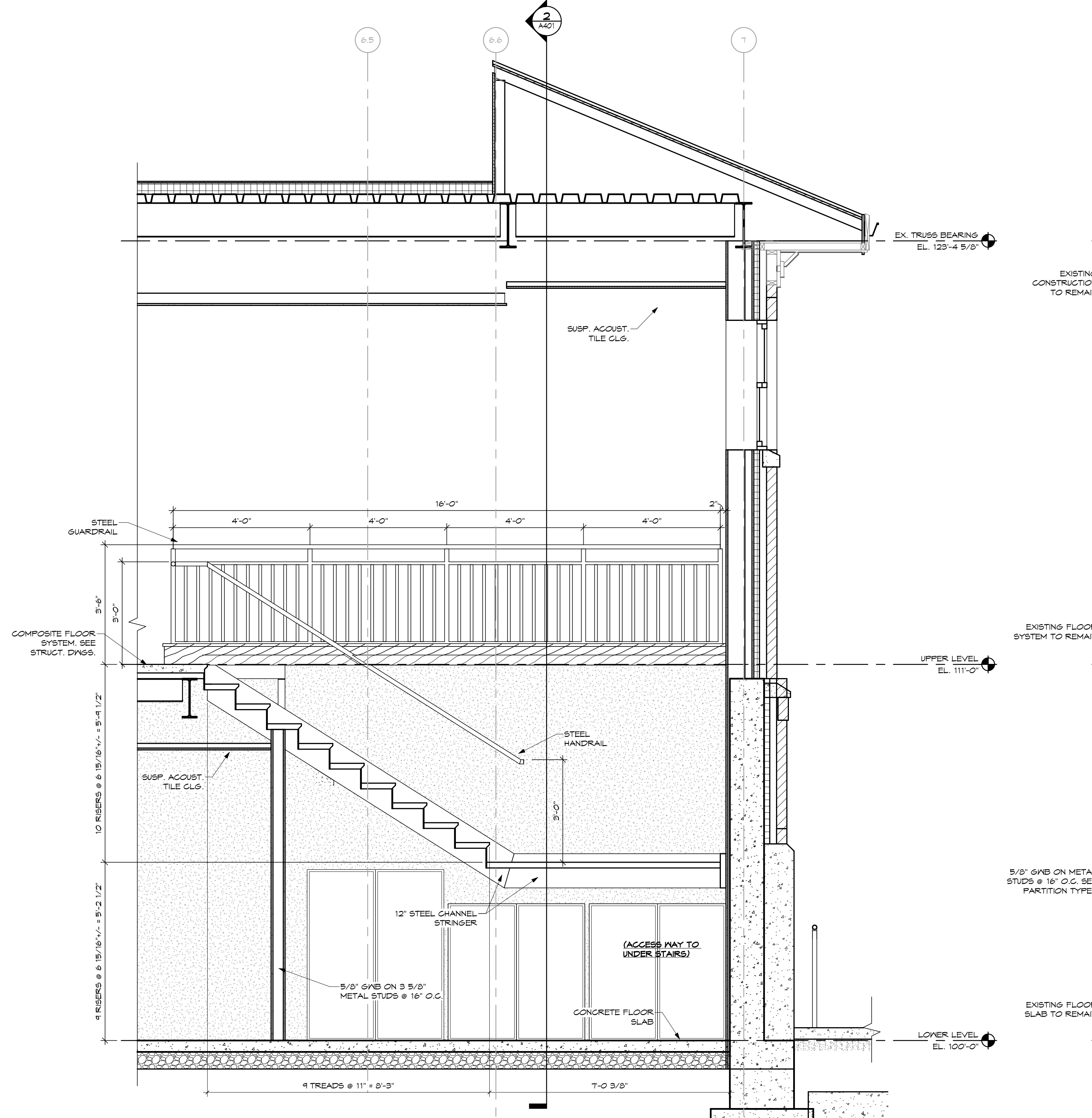
8 TYPICAL INTERIOR HANDRAIL
SCALE: 1 1/2" = 1'-0"



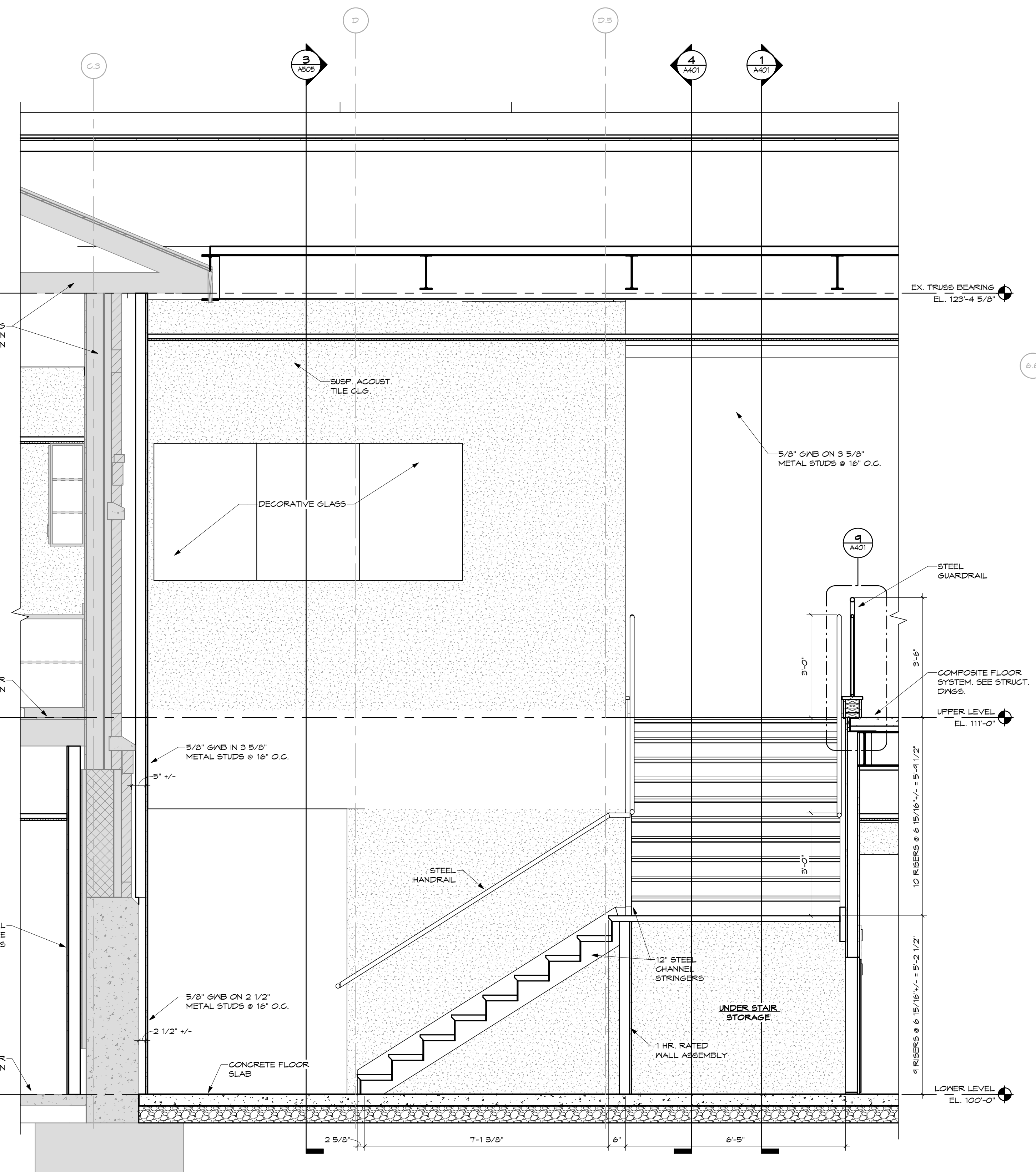
9 TYPICAL INTERIOR GUARDRAIL
SCALE: 1 1/2" = 1'-0"



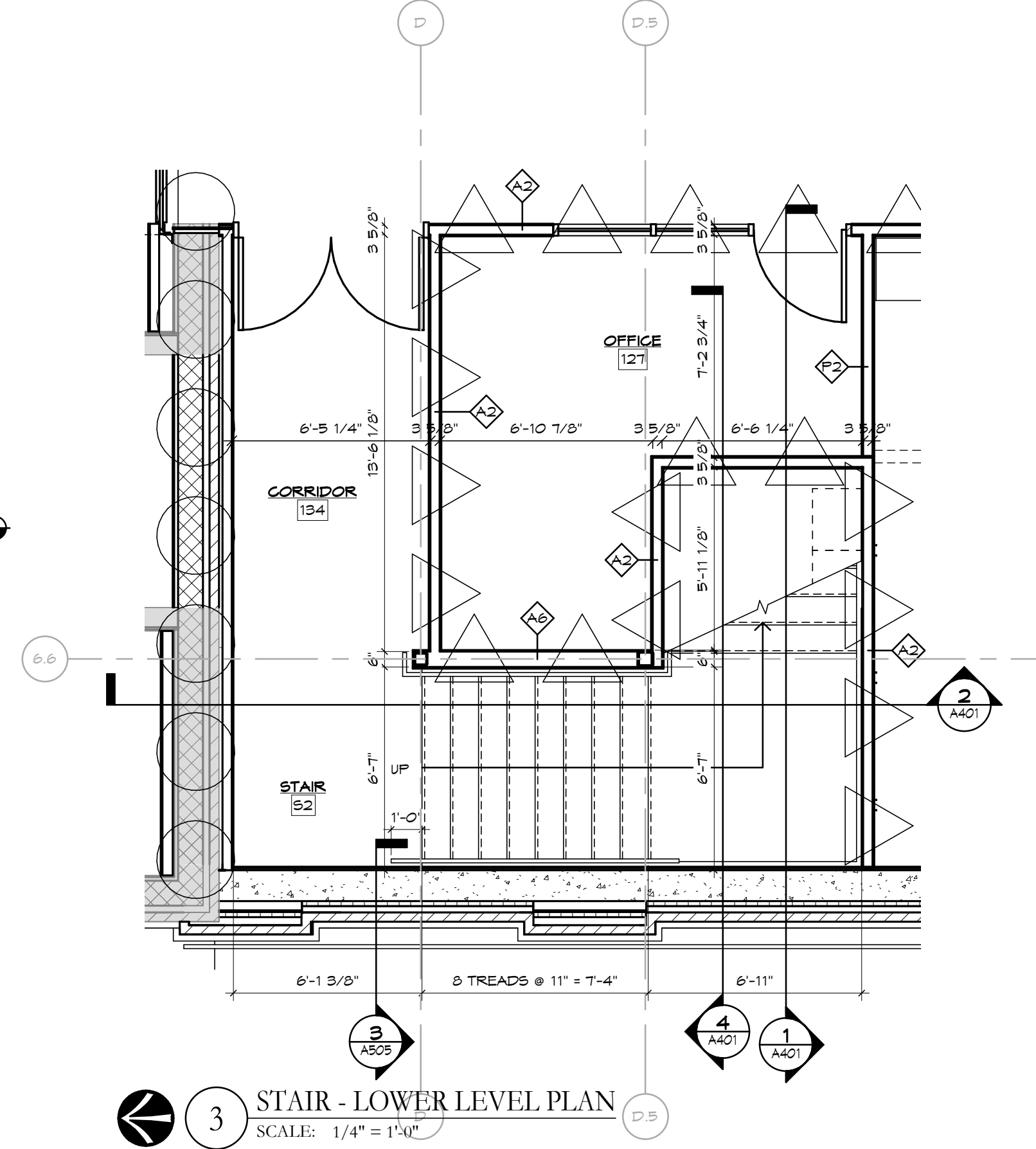
10 STAIR - UPPER LEVEL PLAN
SCALE: 1/4" = 1'-0"



1 INTERIOR STAIR - UPPER SECTION
SCALE: 1/2" = 1'-0"



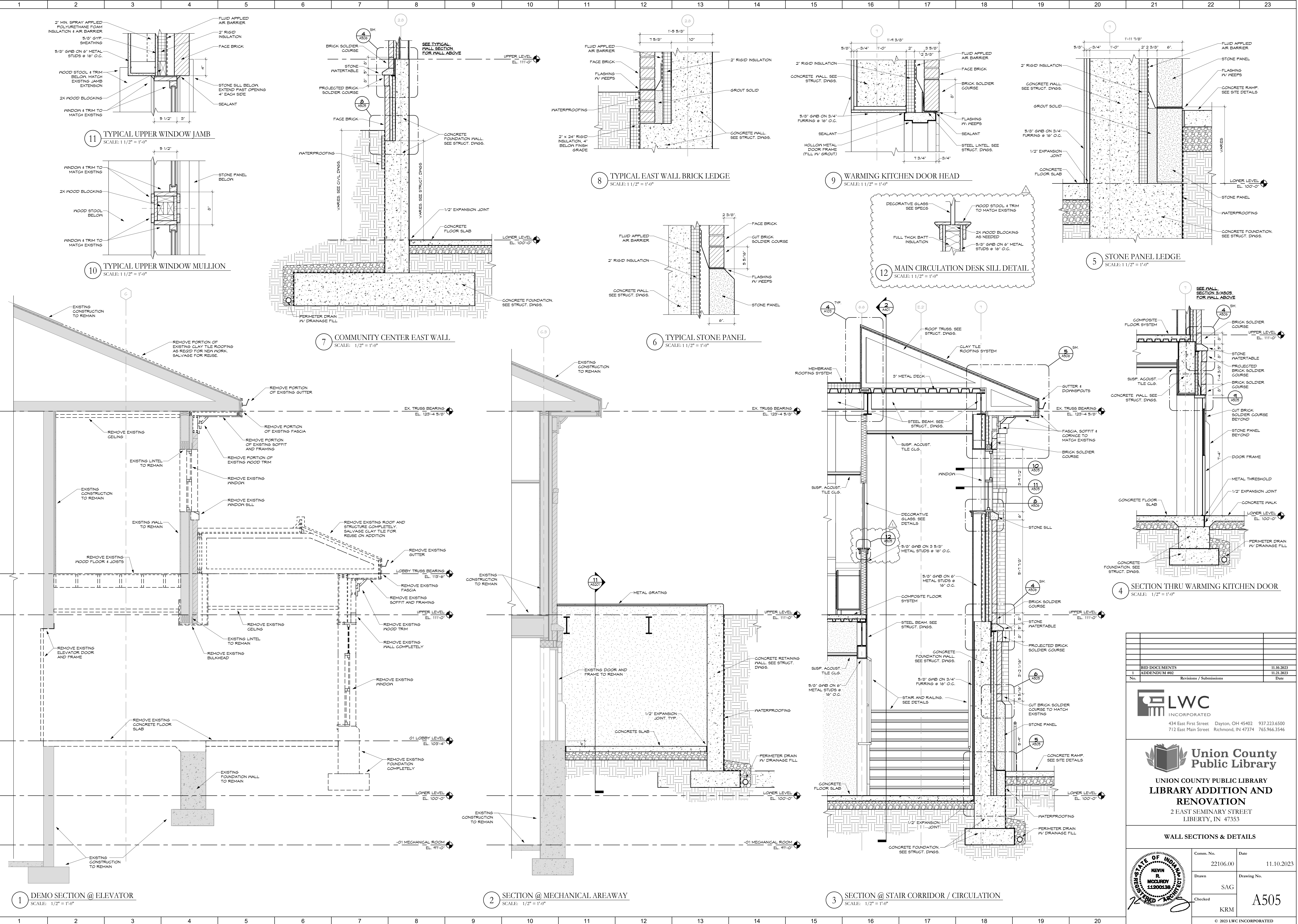
2 INTERIOR STAIR - LOWER SECTION
SCALE: 1/2" = 1'-0"



3 STAIR - LOWER LEVEL PLAN
SCALE: 1/4" = 1'-0"

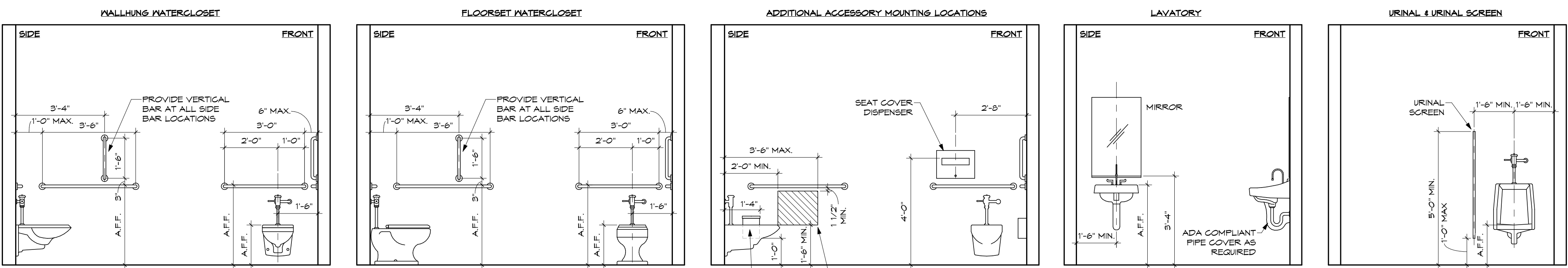
BID DOCUMENTS		11.10.2023
ADDENDUM #02		11.21.2023
No.	Revisions / Submissions	Date
434 East First Street Dayton, OH 45402 937.223.6500 712 East Main Street Richmond, IN 47374 765.966.3546		
UNION COUNTY PUBLIC LIBRARY LIBRARY ADDITION AND RENOVATION 2 EAST SEMINARY STREET LIBERTY, IN 47353		
VERTICAL CIRCULATION PLANS, SECTIONS AND DETAILS		
Comm. No.	Date	11.10.2023
22106.00		
Drawn	Drawing No.	A401
TOD		
Checked	KRM	
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BID DOCUMENTS		11.10.2023
ADDENDUM #02		11.21.2023
No.	Revisions / Submissions	Date
434 East First Street Dayton, OH 45402 937.223.6500 712 East Main Street Richmond, IN 47374 765.966.3546		
UNION COUNTY PUBLIC LIBRARY LIBRARY ADDITION AND RENOVATION 2 EAST SEMINARY STREET LIBERTY, IN 47353		
WALL SECTIONS & DETAILS		
Comm. No.	Date	11.10.2023
22106.00		
Drawn	Drawing No.	A505
SAG		
Checked	KRM	
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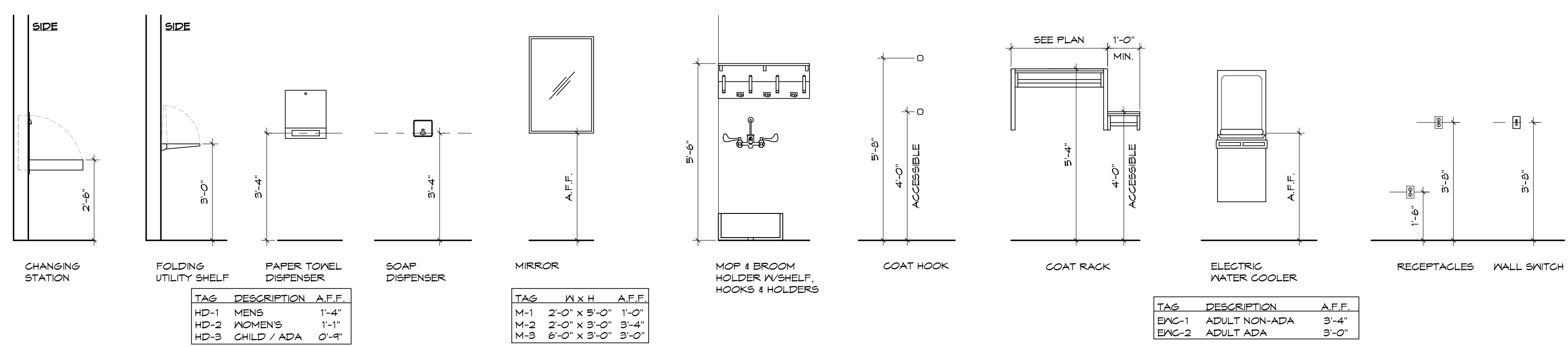


GENERAL NOTES:
 A. NOT ALL ITEMS SHOWN MAY BE APPLICABLE TO THIS PROJECT.
 B. ALL ACCESSIBLE REACH AND MOUNTING DIMENSIONS SHALL CONFORM TO THE ICC A117.1, 2009 VERSION STANDARDS.
 C. PROJECT SPECIFIC ITEMS NOT SHOWN, OR THAT REQUIRE SELECTIVE ALTERATIONS TO LOCATION, MOUNTING, ETC., SHALL BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
 D. ALL DIMENSIONS ARE TO FINISH FACE, COORDINATE FINAL FINISH MATERIALS AND THICKNESS.
 E. ALL DIMENSIONS ARE TO INCLUDE ACCESS TO OPERABLE LEVERS, CONTROLS, BUTTONS, CONDUITS, AND/OR OTHER ITEMS THAT MAY REQUIRE INTERACTION BY A PATRON.

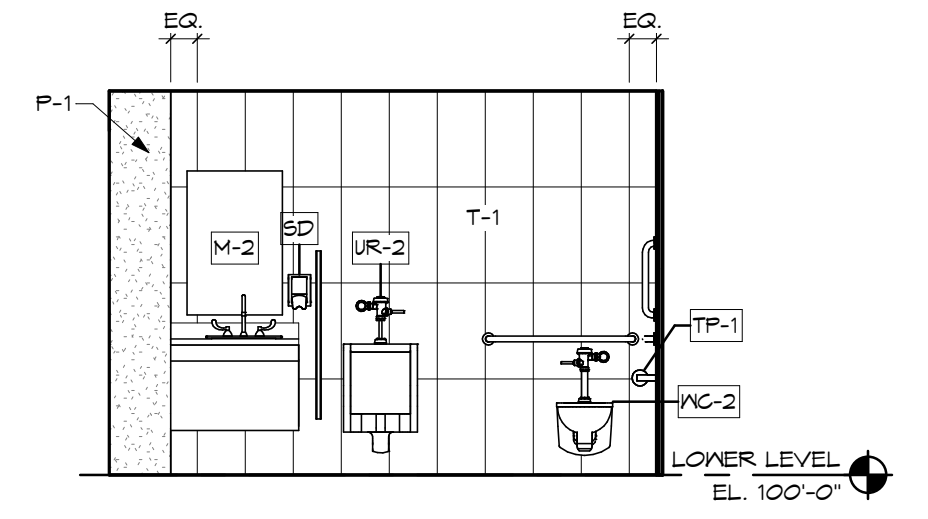
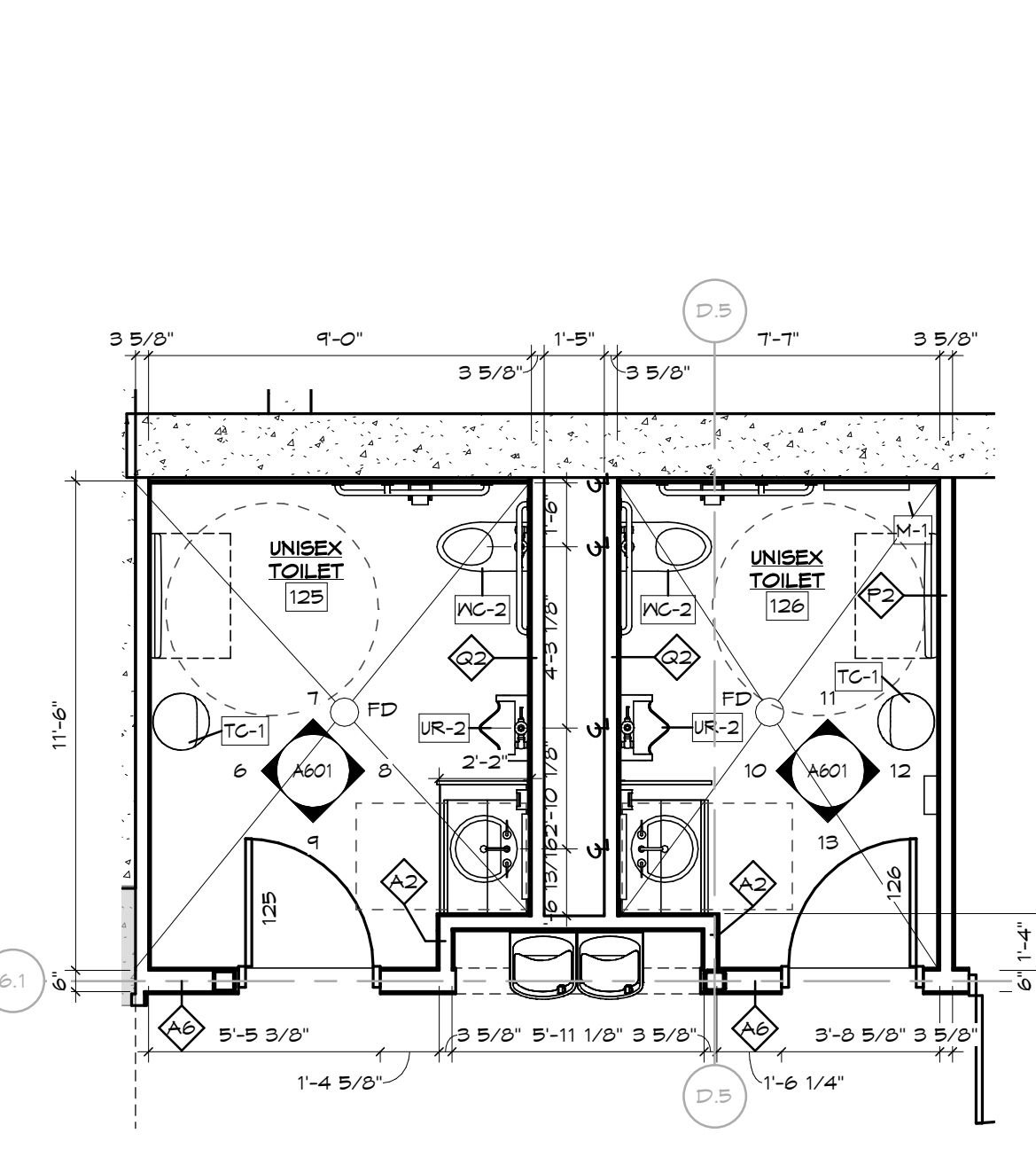
TAG	DESCRIPTION	A.F.F.	OB A.F.F.
WC-1	ADULT NON-ADA	1'-3"	-
WC-2	ADULT ADA	1'-6"	3'-0"

TAG	A.F.F.	DESCRIPTION
LV-1	3'-0"	ADULT NON-ADA
LV-2	2'-10"	ADULT ADA

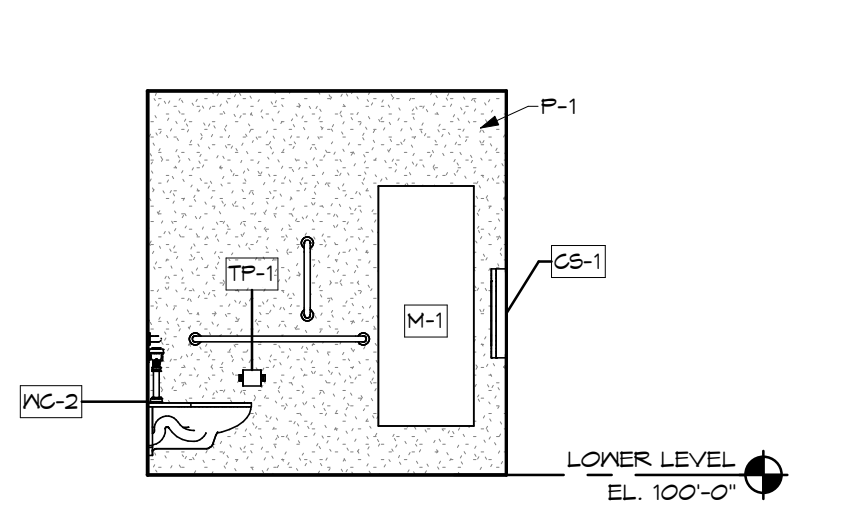
TAG	A.F.F.	DESCRIPTION
UR-1	2'-0"	ADULT NON-ADA
UR-2	1'-5"	ADULT ADA



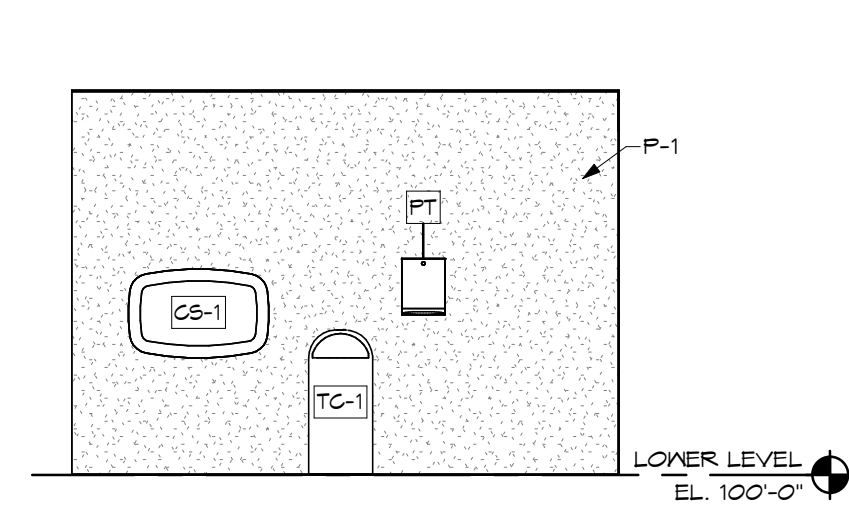
14 GENERAL - TYPICAL MOUNTING HEIGHTS
 SCALE: 3/8" = 1'-0"



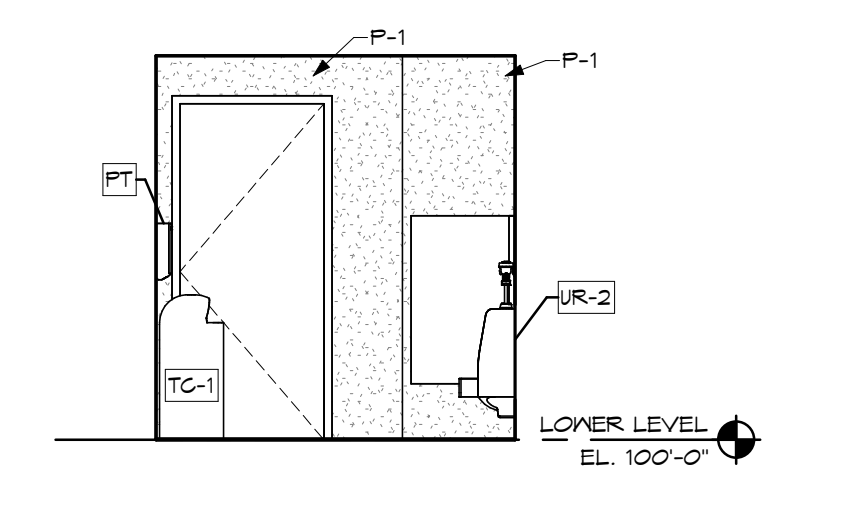
10 UNISEX TOILET 126 NORTH
 SCALE: 1/4" = 1'-0"



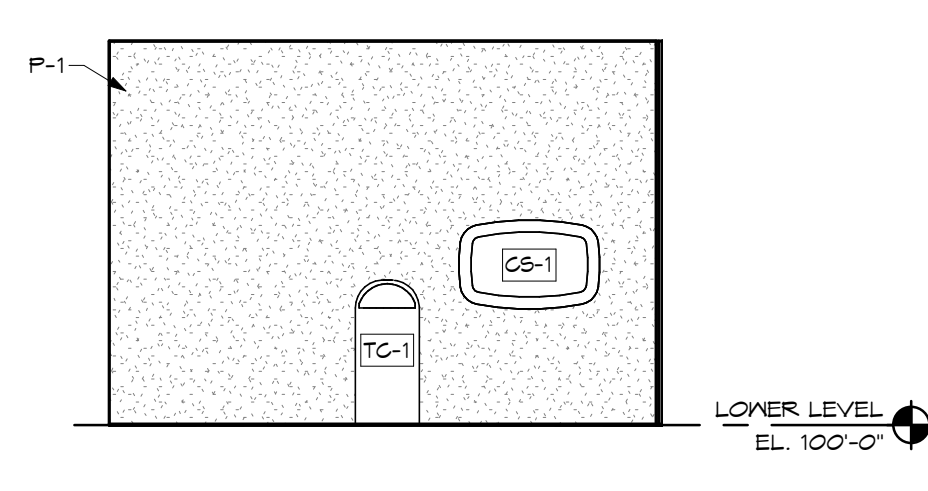
11 UNISEX TOILET 126 EAST
 SCALE: 1/4" = 1'-0"



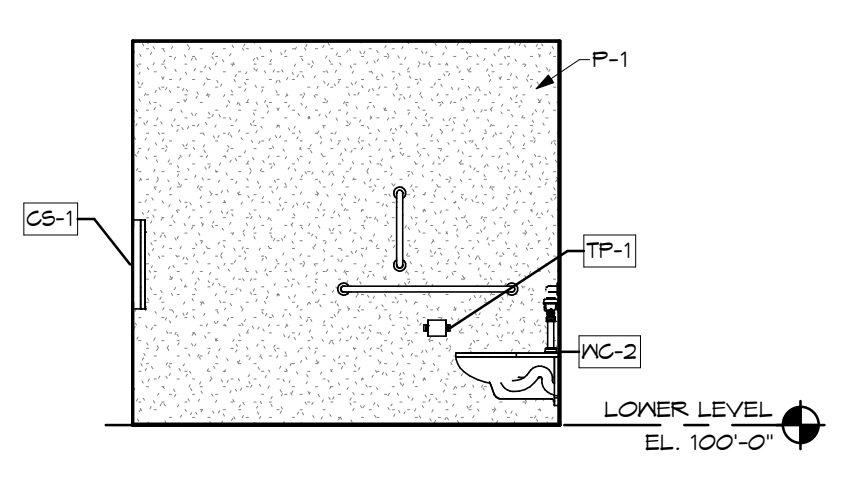
12 UNISEX TOILET 126 SOUTH
 SCALE: 1/4" = 1'-0"



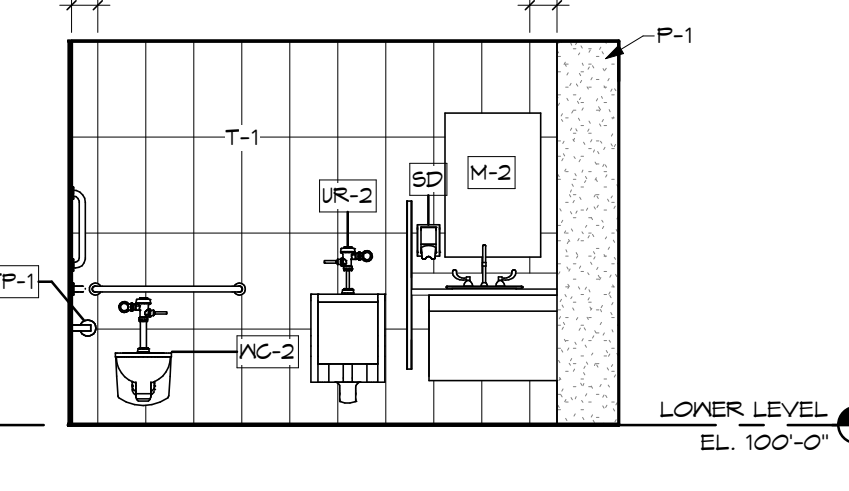
13 UNISEX TOILET 126 WEST
 SCALE: 1/4" = 1'-0"



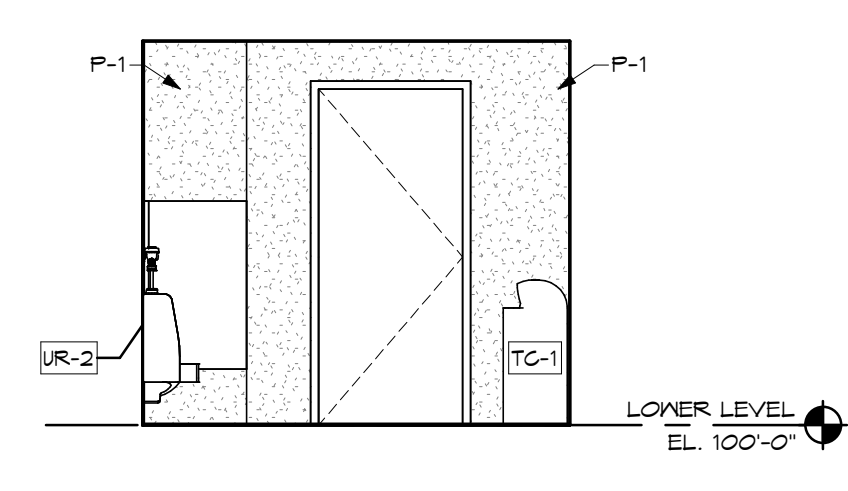
6 UNISEX TOILET 125 NORTH
 SCALE: 1/4" = 1'-0"



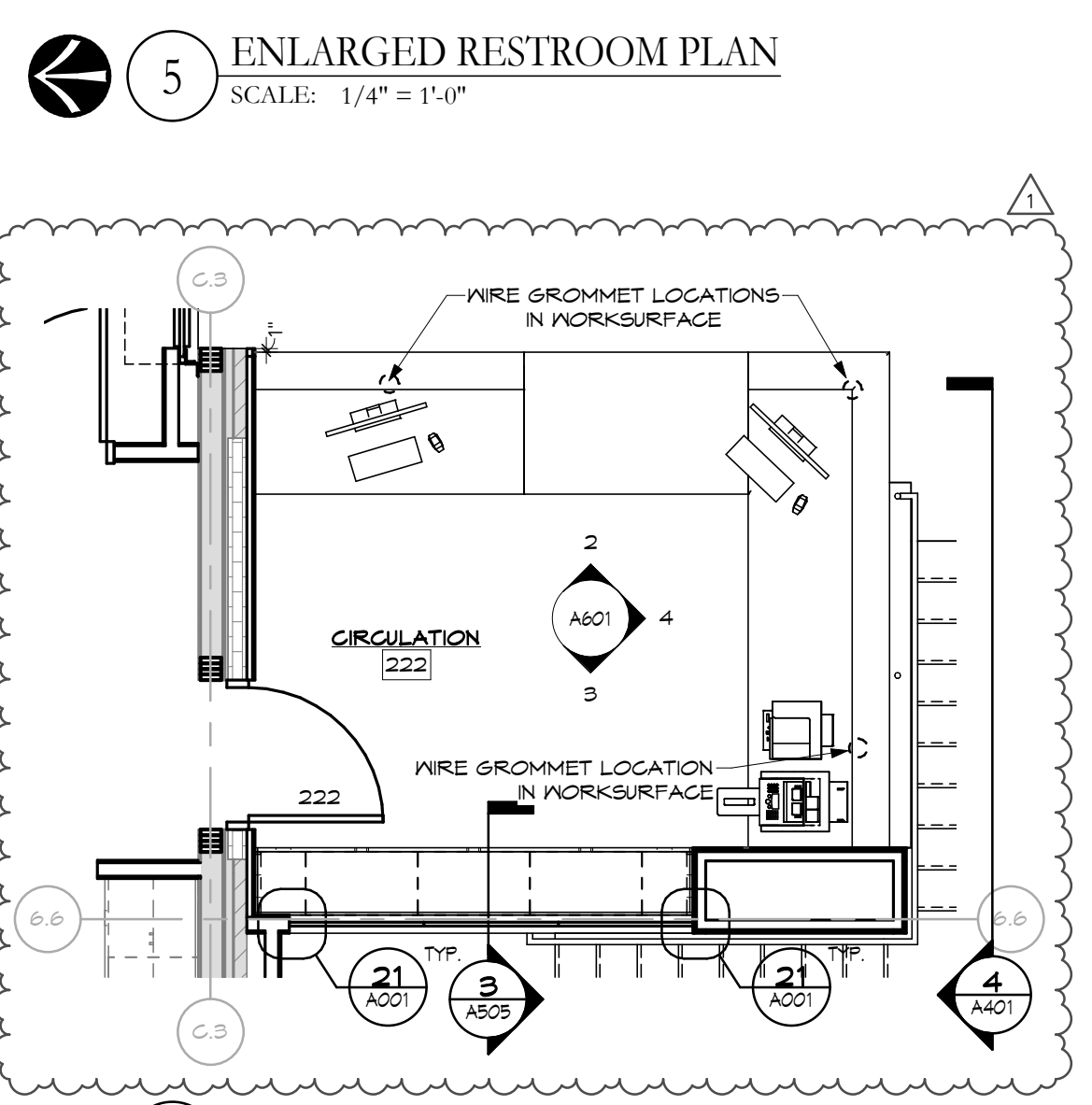
7 UNISEX TOILET 125 EAST
 SCALE: 1/4" = 1'-0"



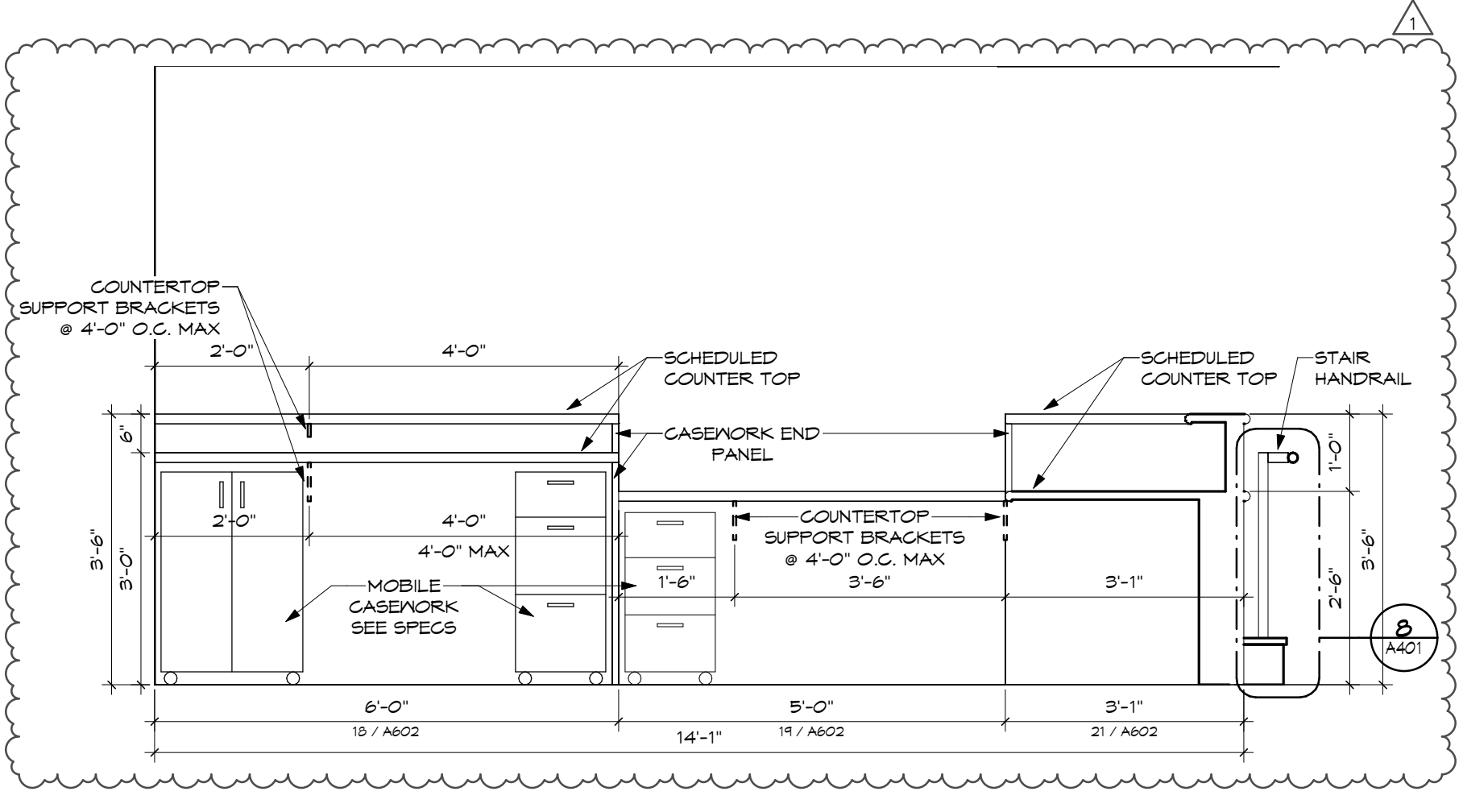
8 UNISEX TOILET 125 SOUTH
 SCALE: 1/4" = 1'-0"



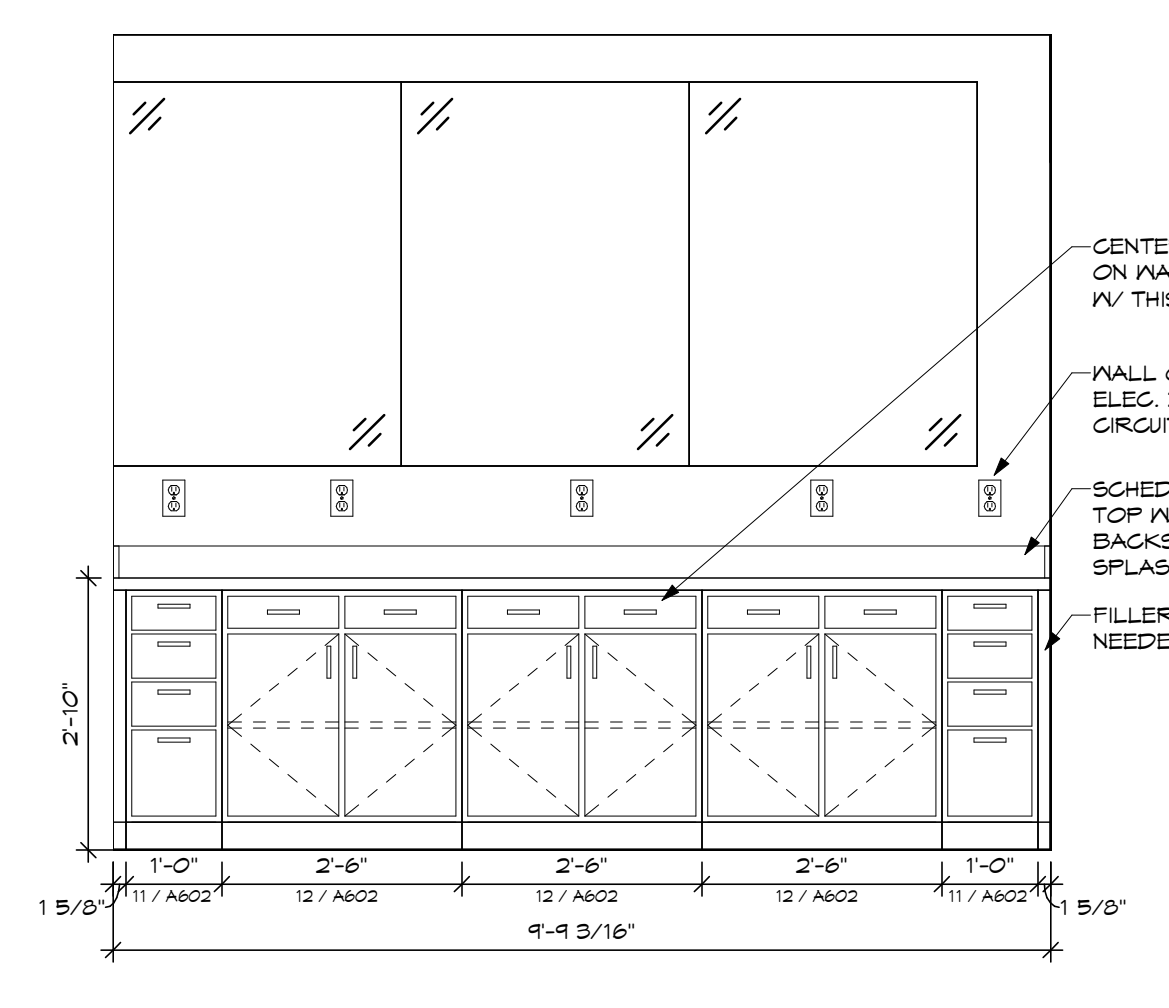
9 UNISEX TOILET 125 WEST
 SCALE: 1/4" = 1'-0"



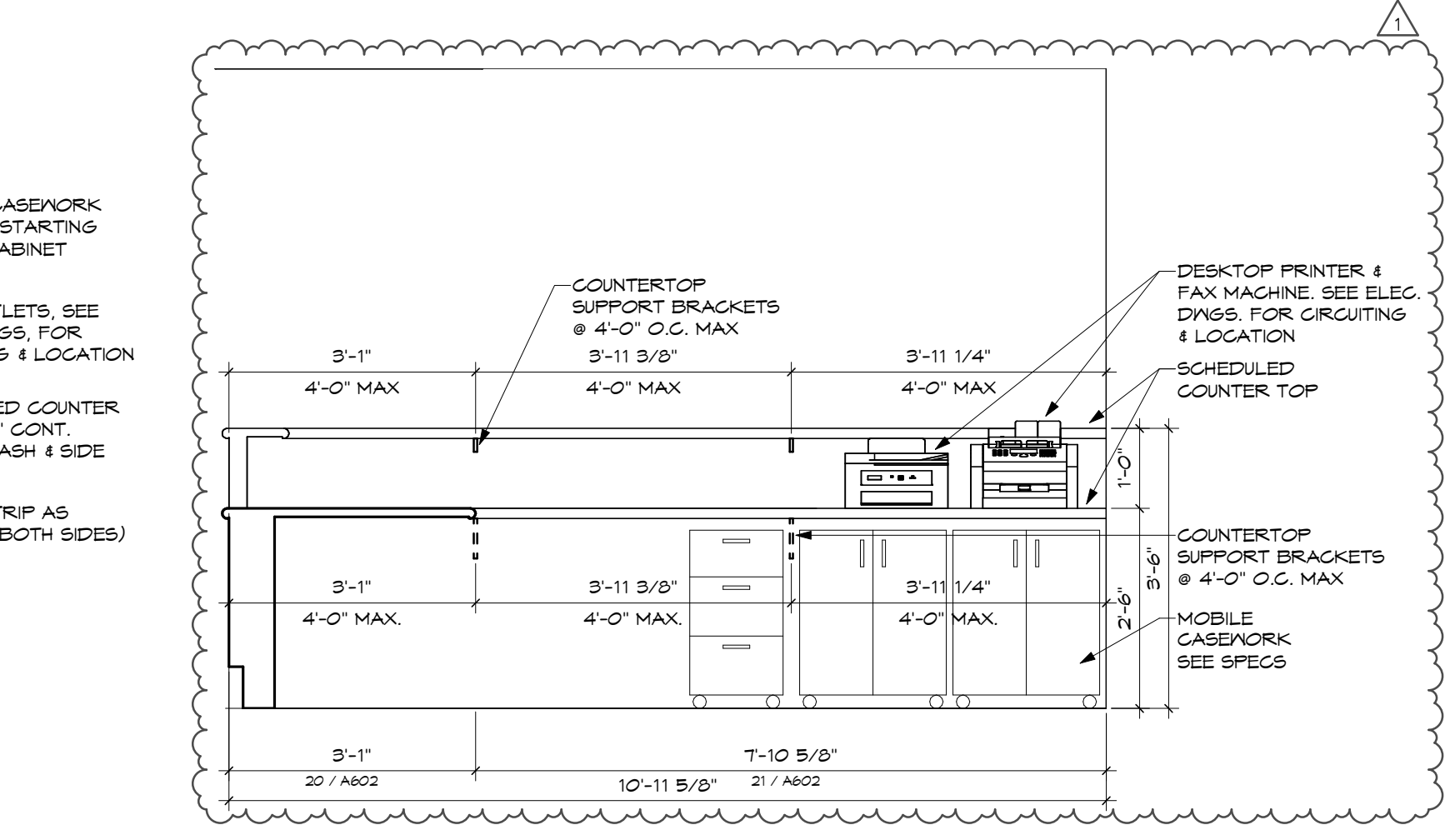
1 ENLARGED CIRCULATION 222
 SCALE: 1/4" = 1'-0"



2 CIRCULATION 222 - EAST
 SCALE: 1/2" = 1'-0"



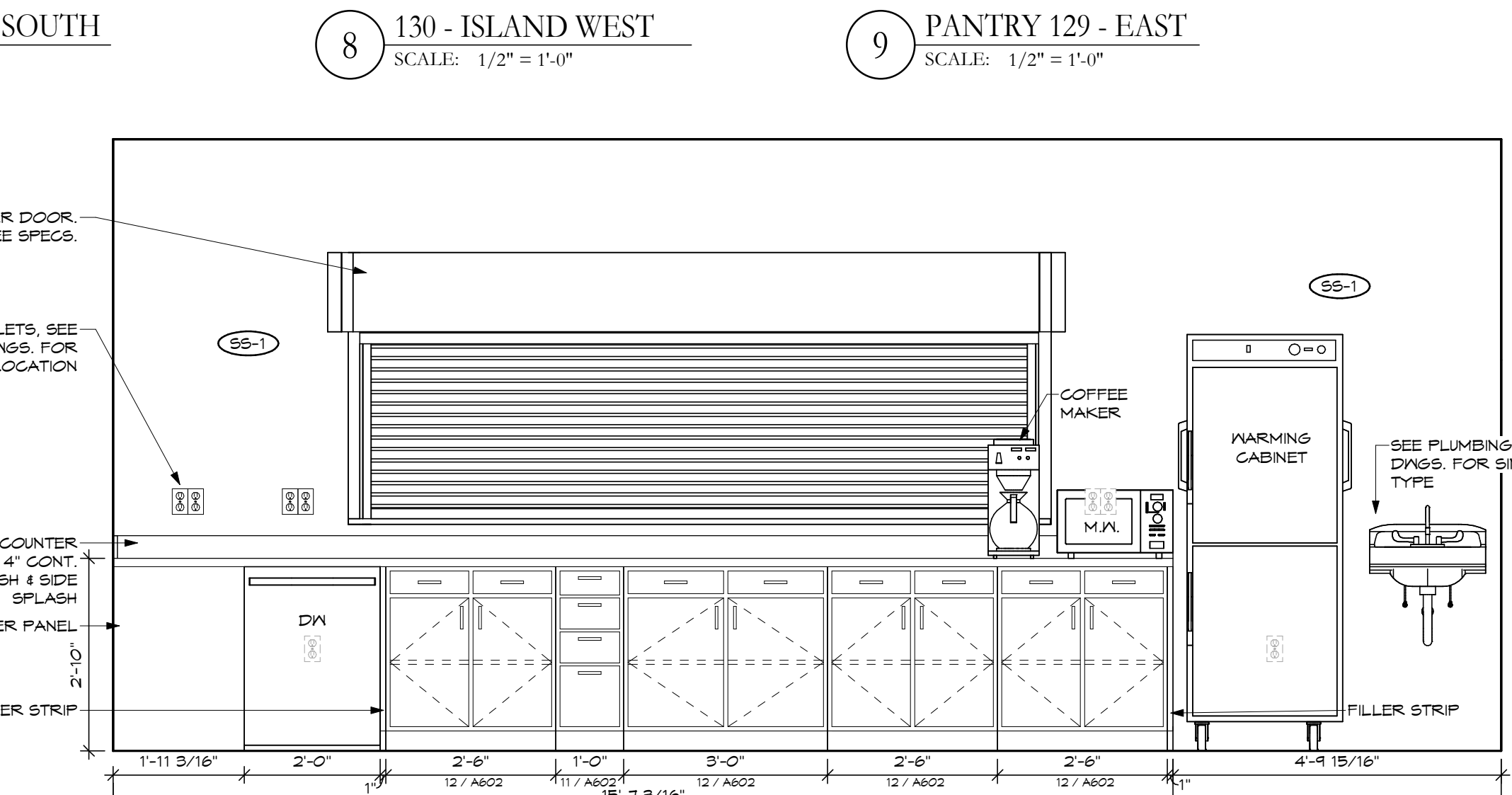
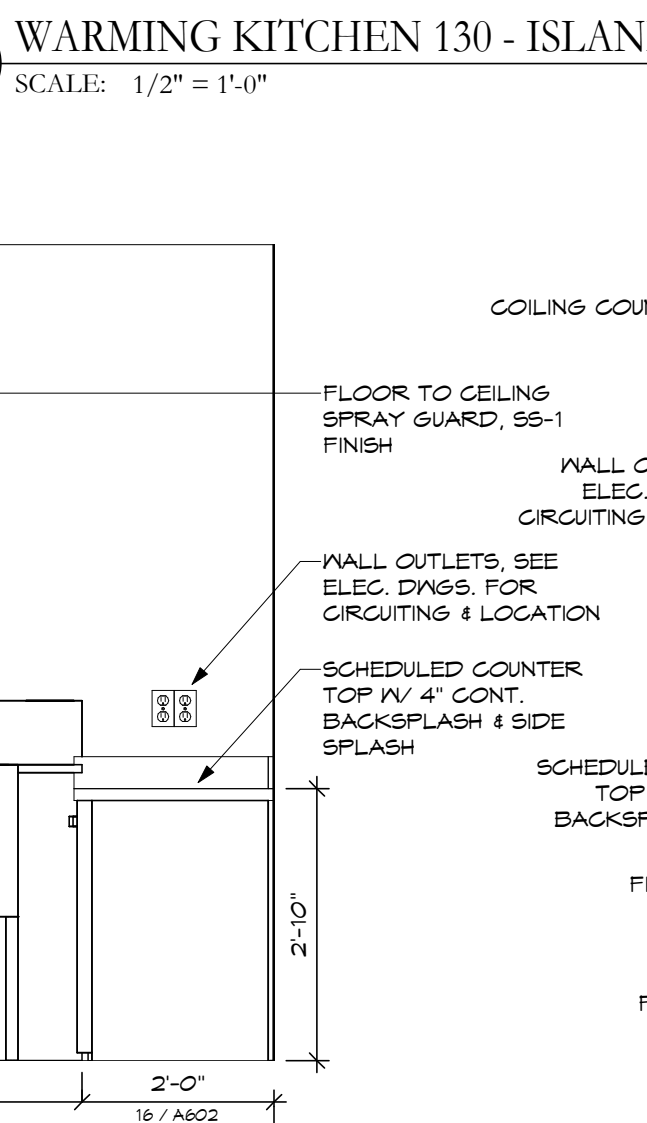
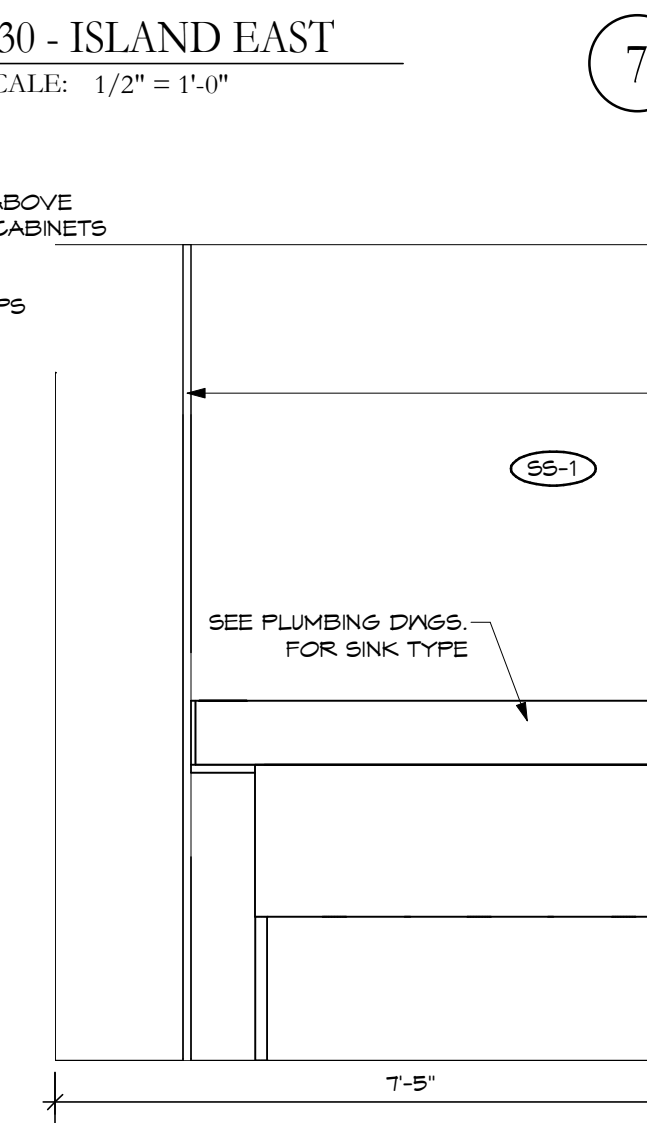
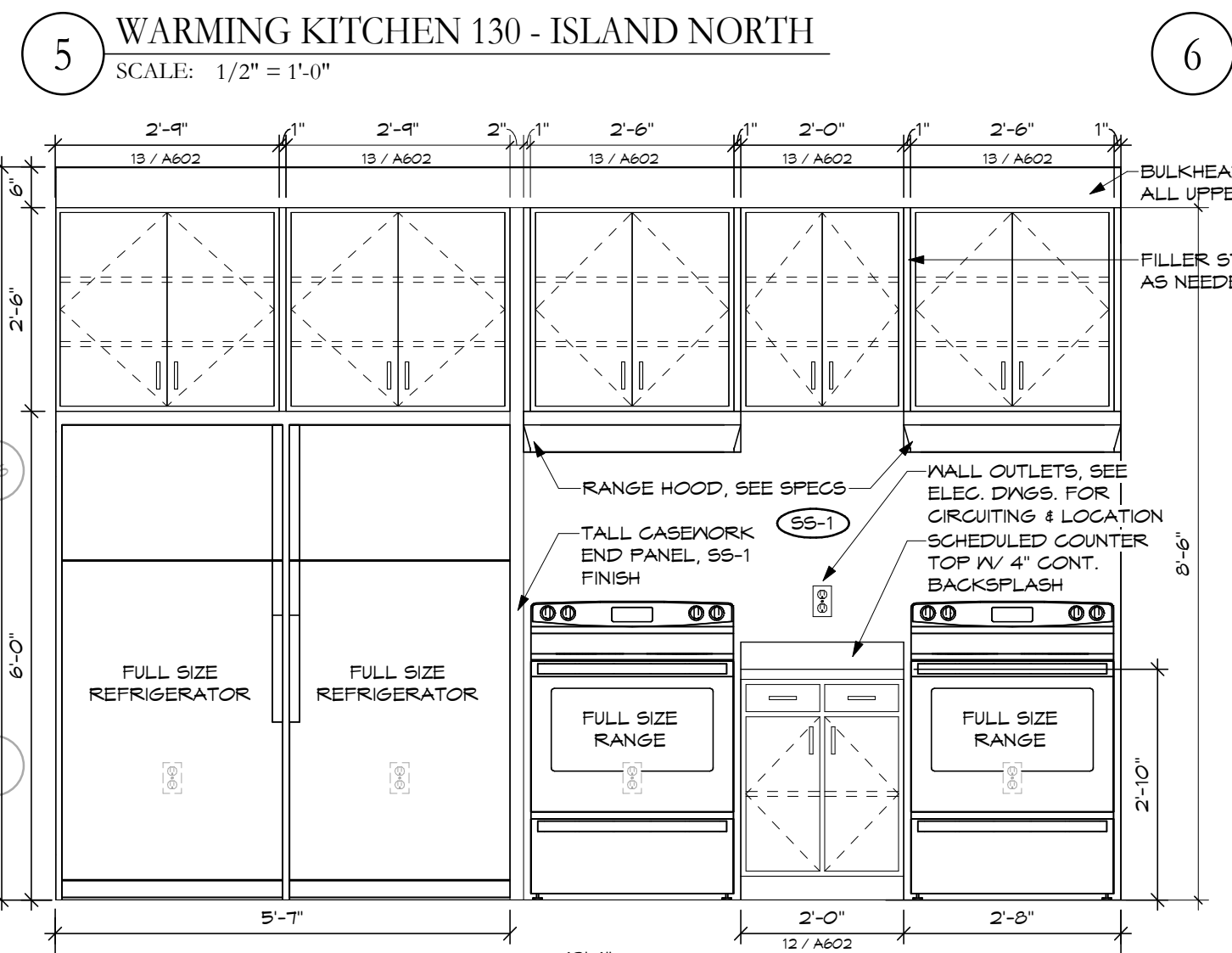
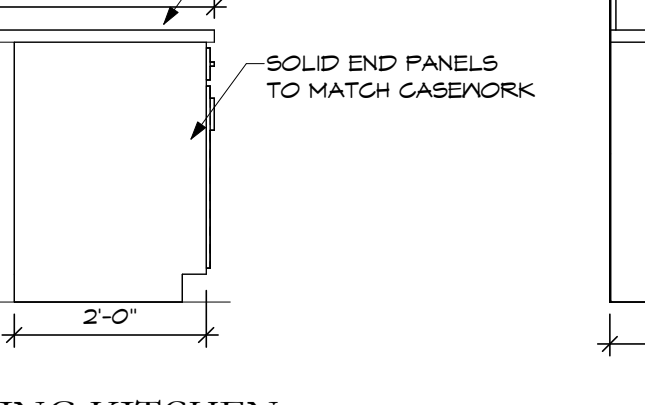
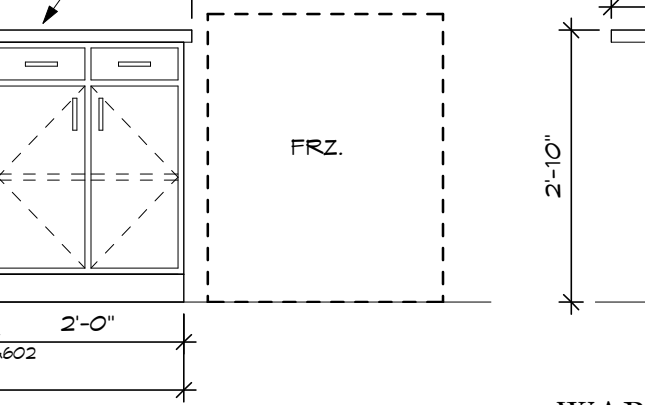
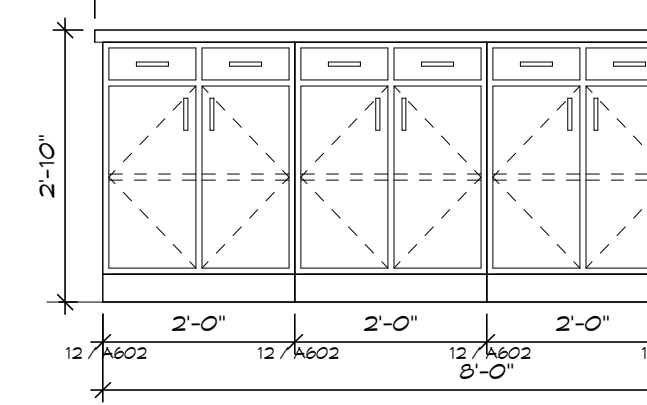
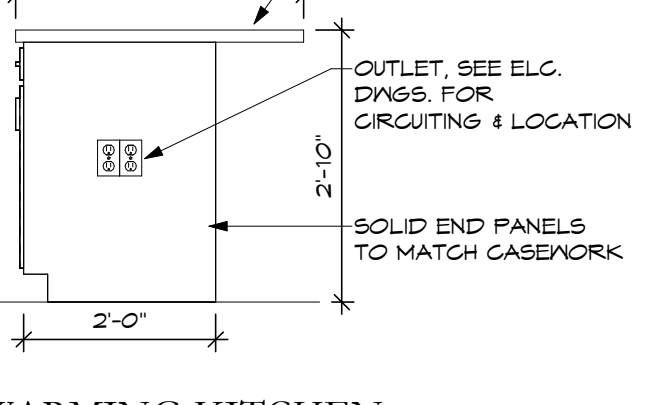
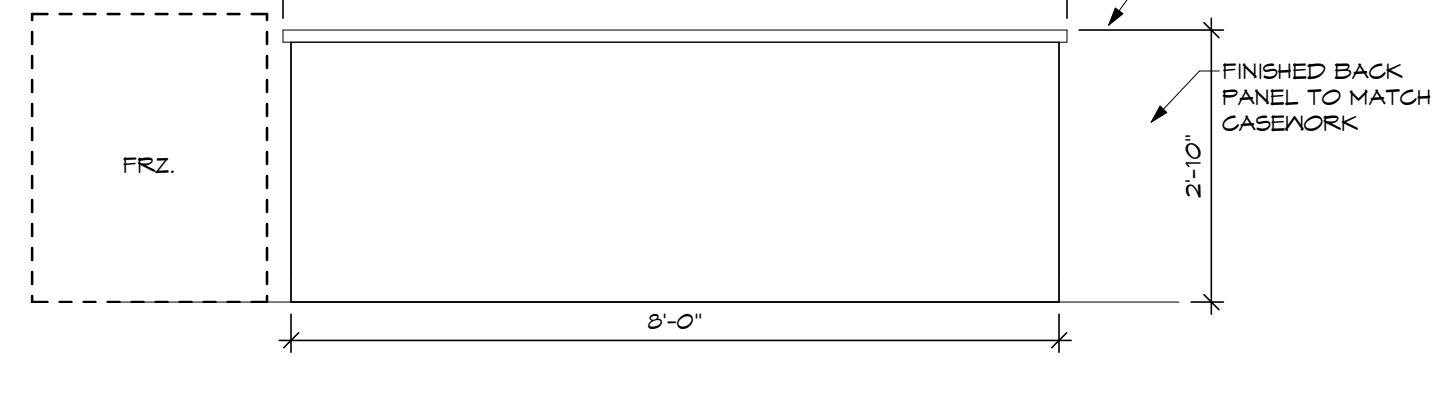
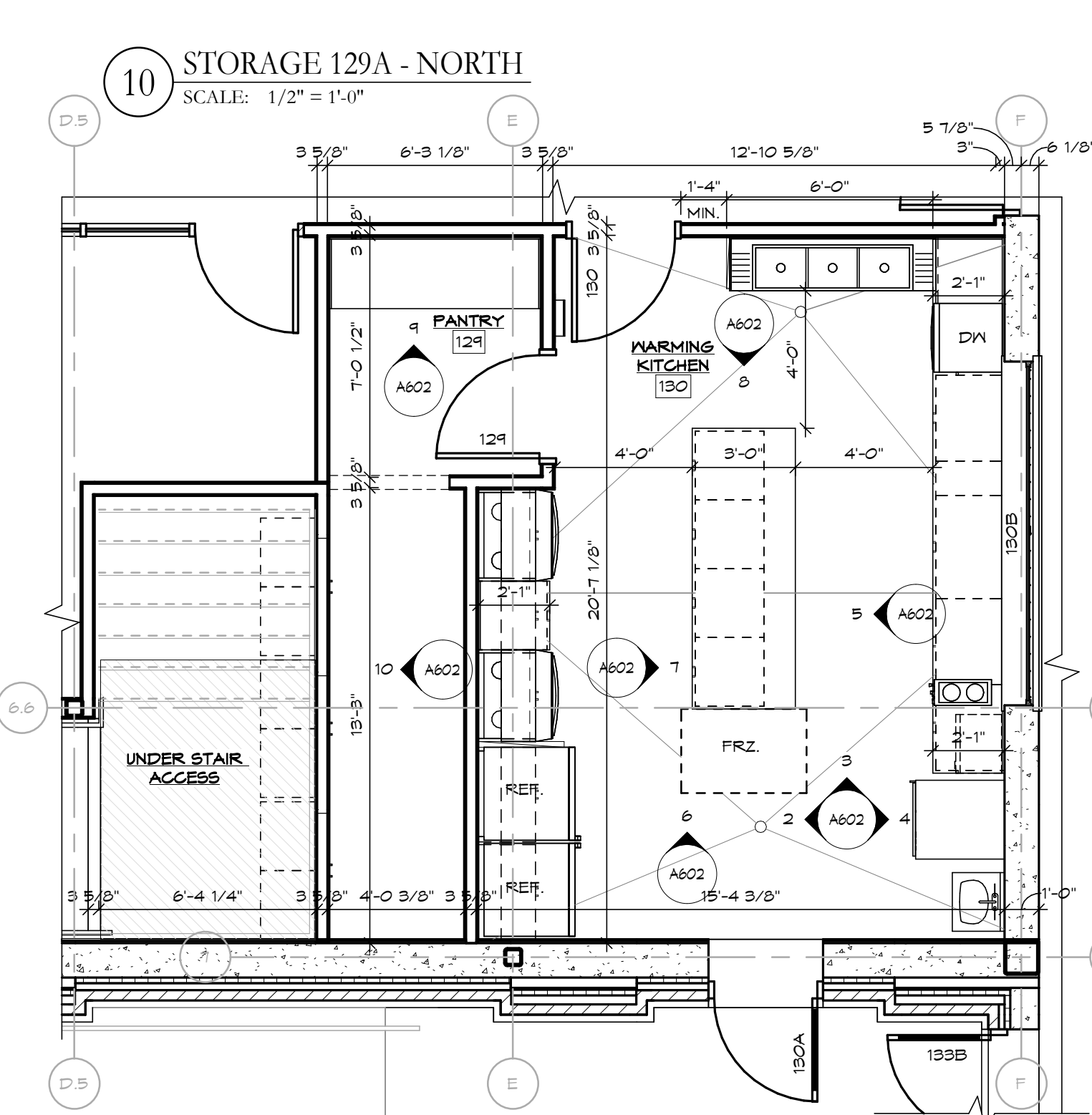
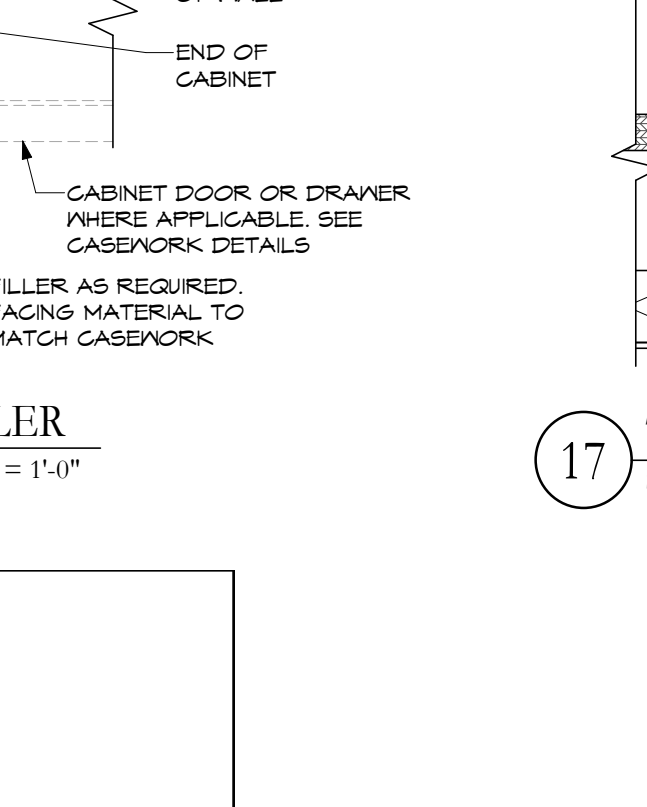
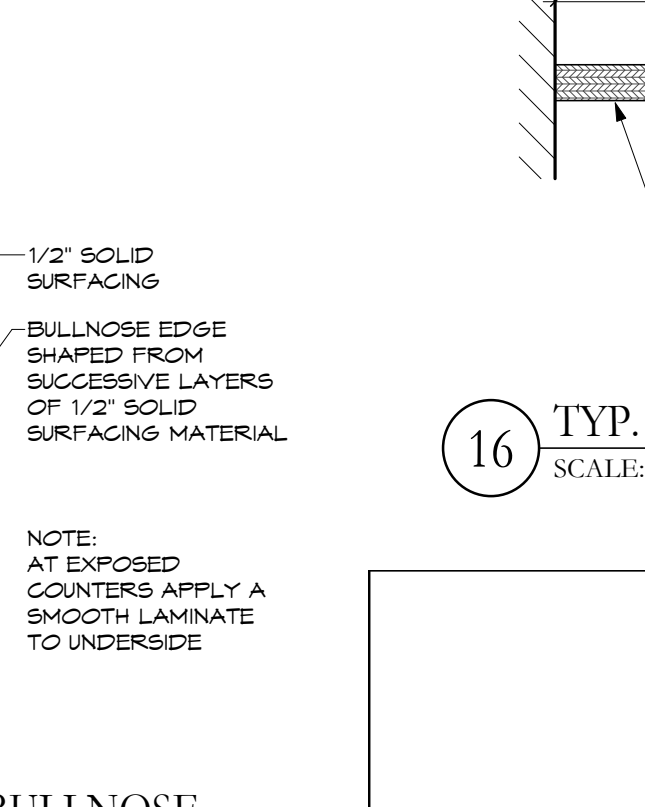
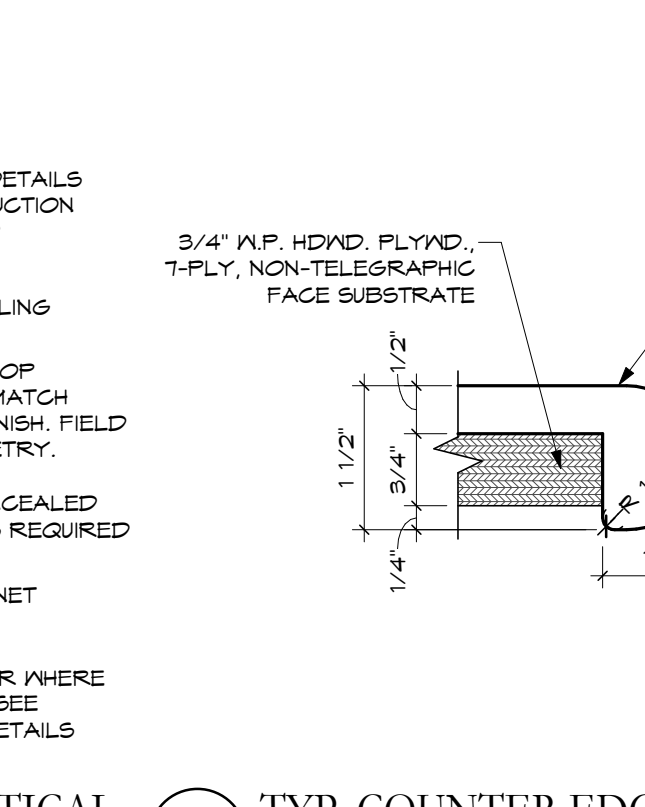
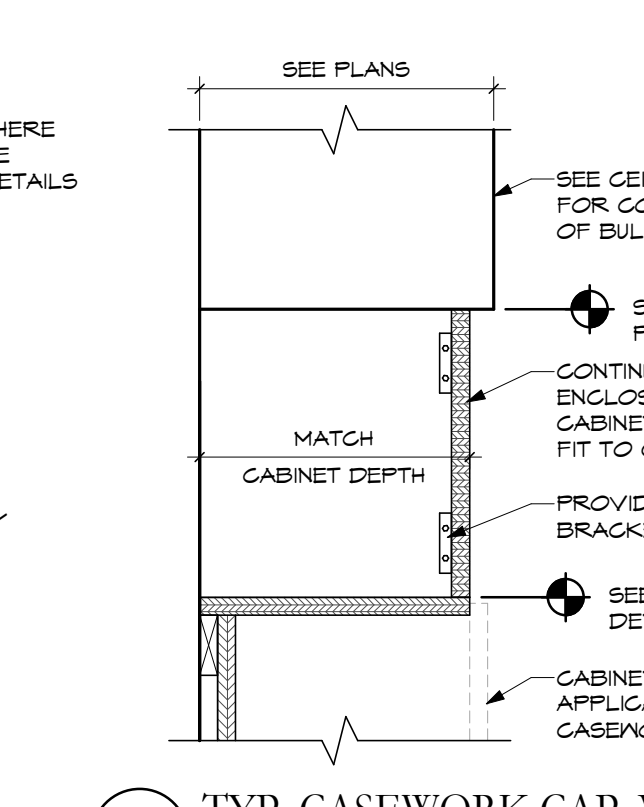
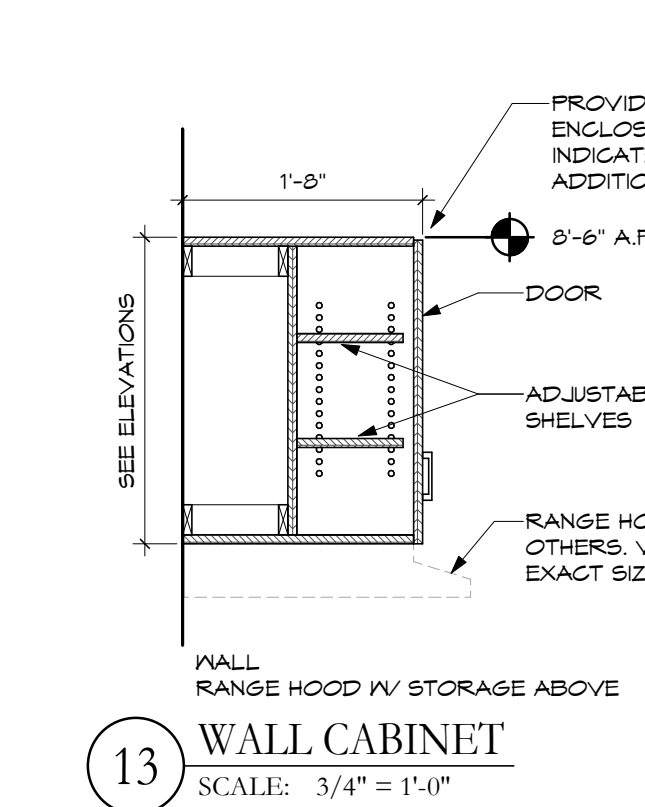
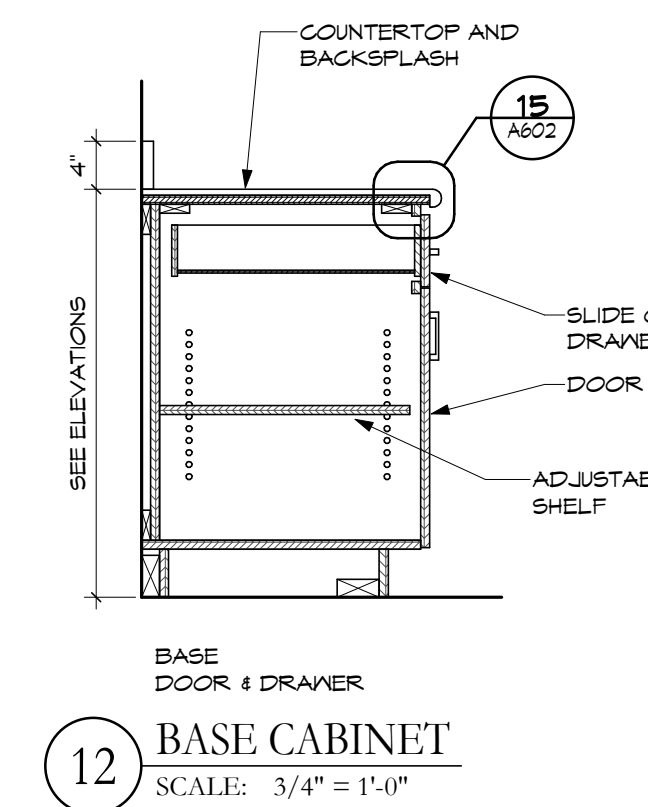
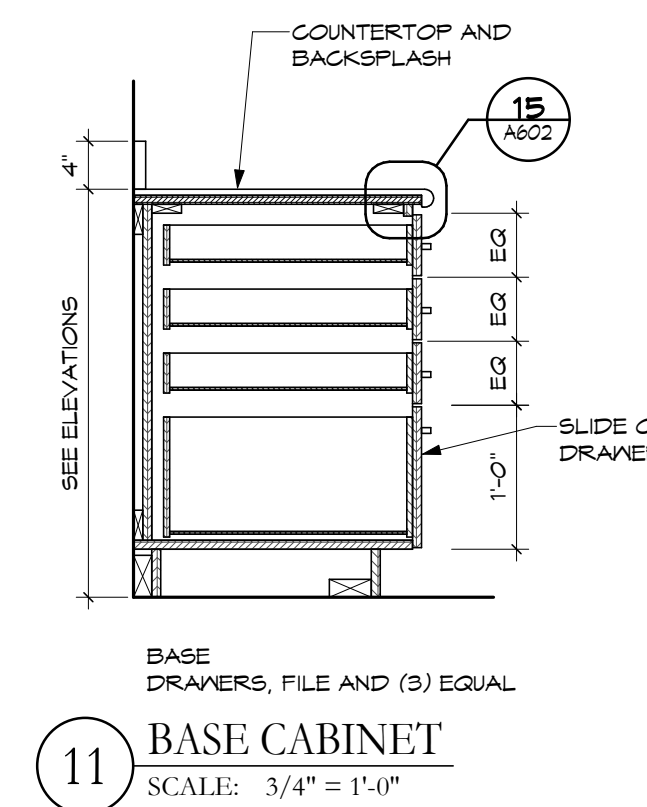
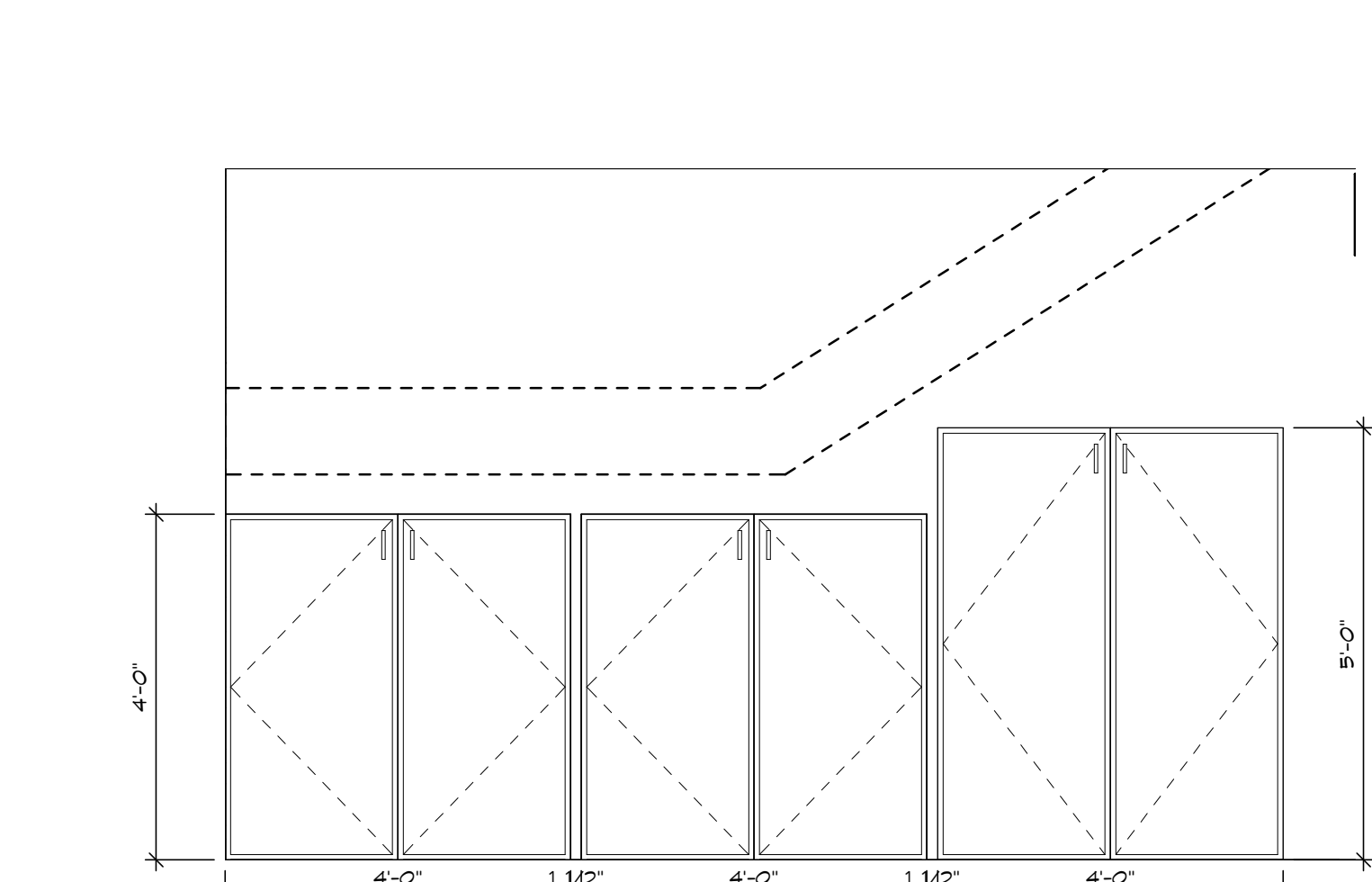
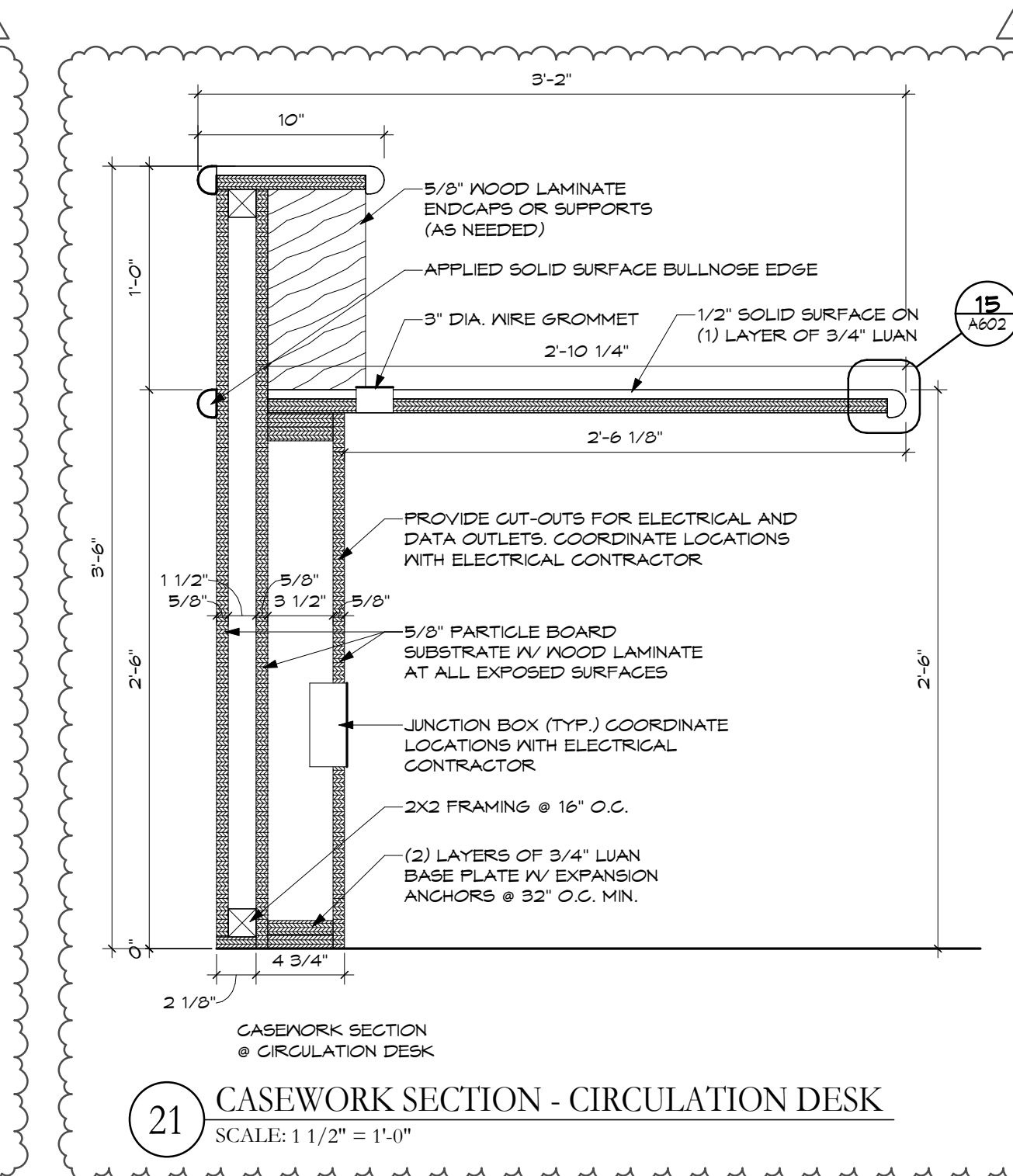
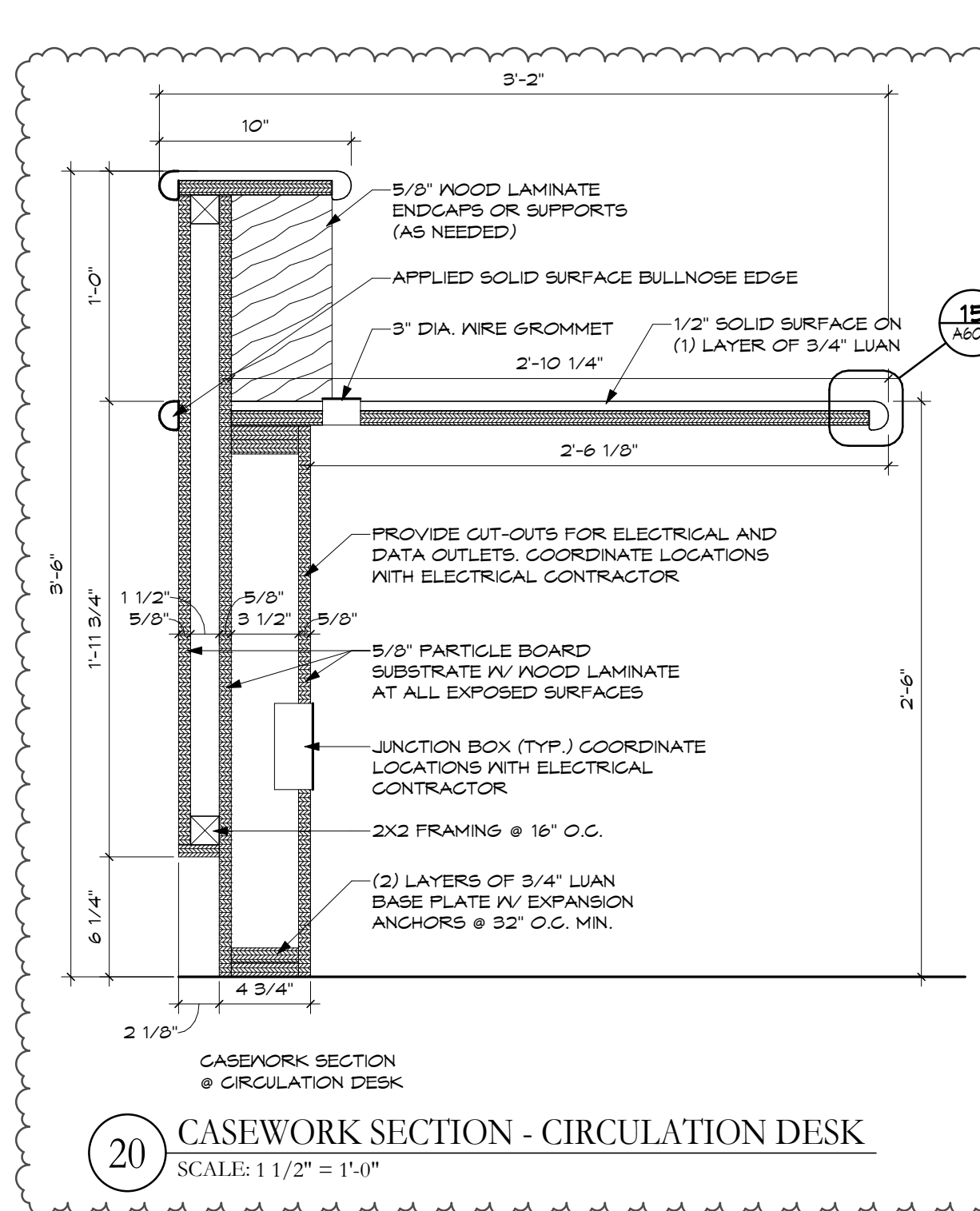
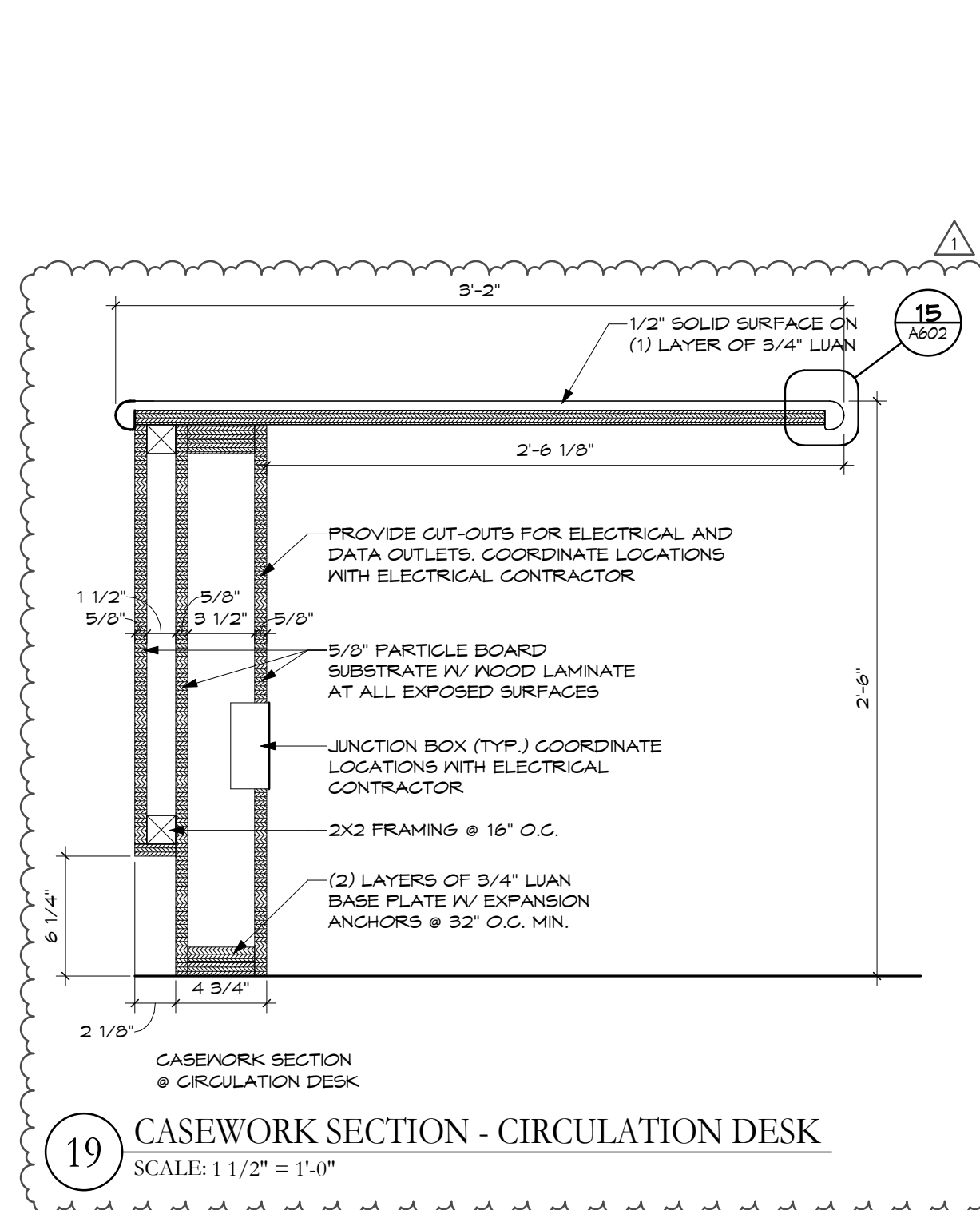
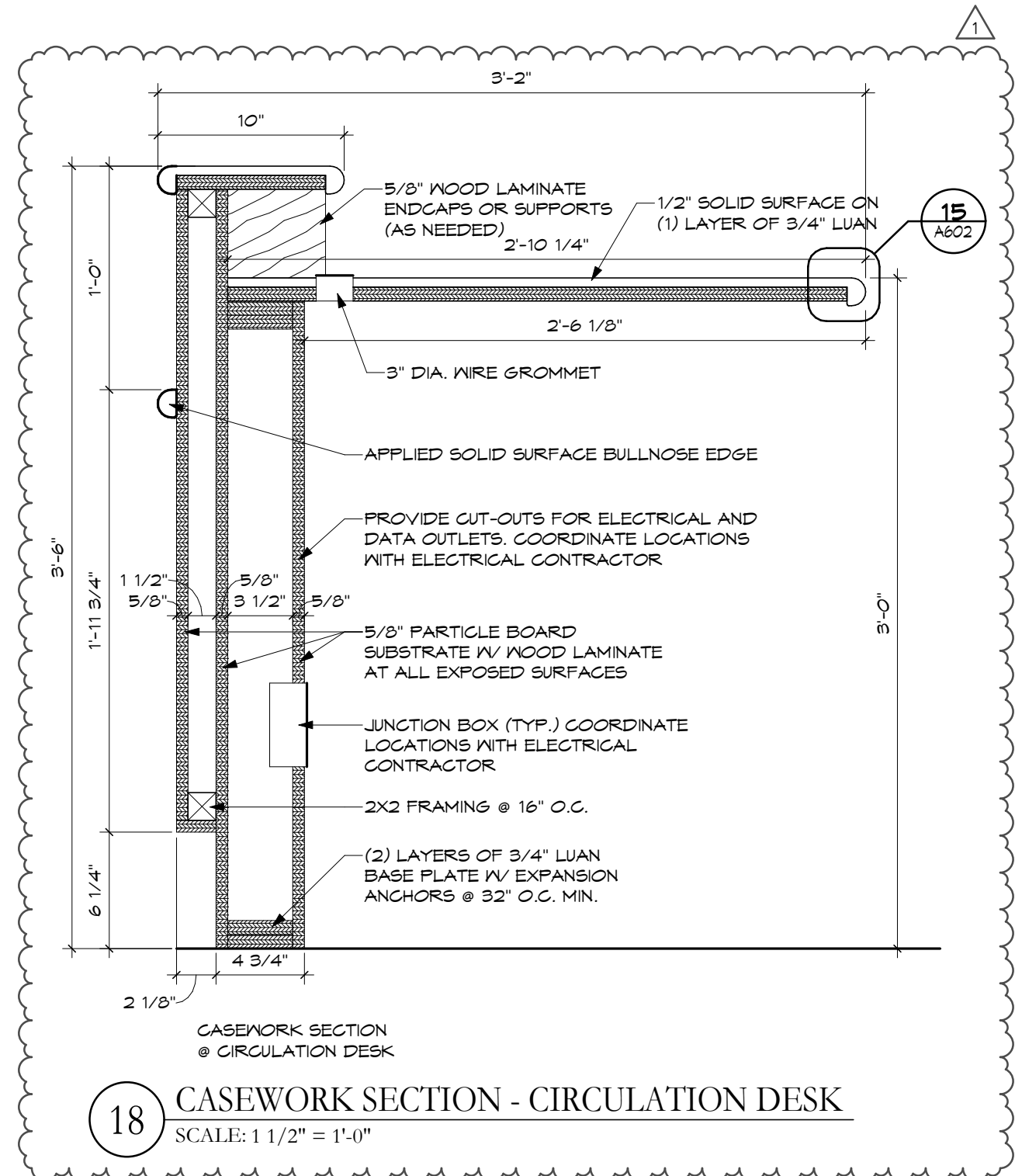
3 CIRCULATION 222 - WEST
 SCALE: 1/2" = 1'-0"



4 CIRCULATION 222 - SOUTH
 SCALE: 1/2" = 1'-0"

BID DOCUMENTS		11.10.2023
ADDENDUM #02		11.21.2023
No.	Revisions / Submissions	Date
 434 East First Street Dayton, OH 45402 937.223.6500 712 East Main Street Richmond, IN 47374 765.966.3546		
 UNION COUNTY PUBLIC LIBRARY LIBRARY ADDITION AND RENOVATION 2 EAST SEMINARY STREET LIBERTY, IN 47353		
ENLARGED PLANS AND INTERIOR ELEVATIONS		
Comm. No.	22106.00	Date 11.10.2023
Drawn	M.K.S.	Drawing No. A601
Checked	KRM	
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ADDENDUM #02		11.21.2023
No.	Revisions / Submissions	Date

LWC INCORPORATED
434 East First Street Dayton, OH 45402 937.223.6500
712 East Main Street Richmond, IN 47374 765.966.3546

Union County Public Library
UNION COUNTY PUBLIC LIBRARY
LIBRARY ADDITION AND RENOVATION
2 EAST SEMINARY STREET
LIBERTY, IN 47353

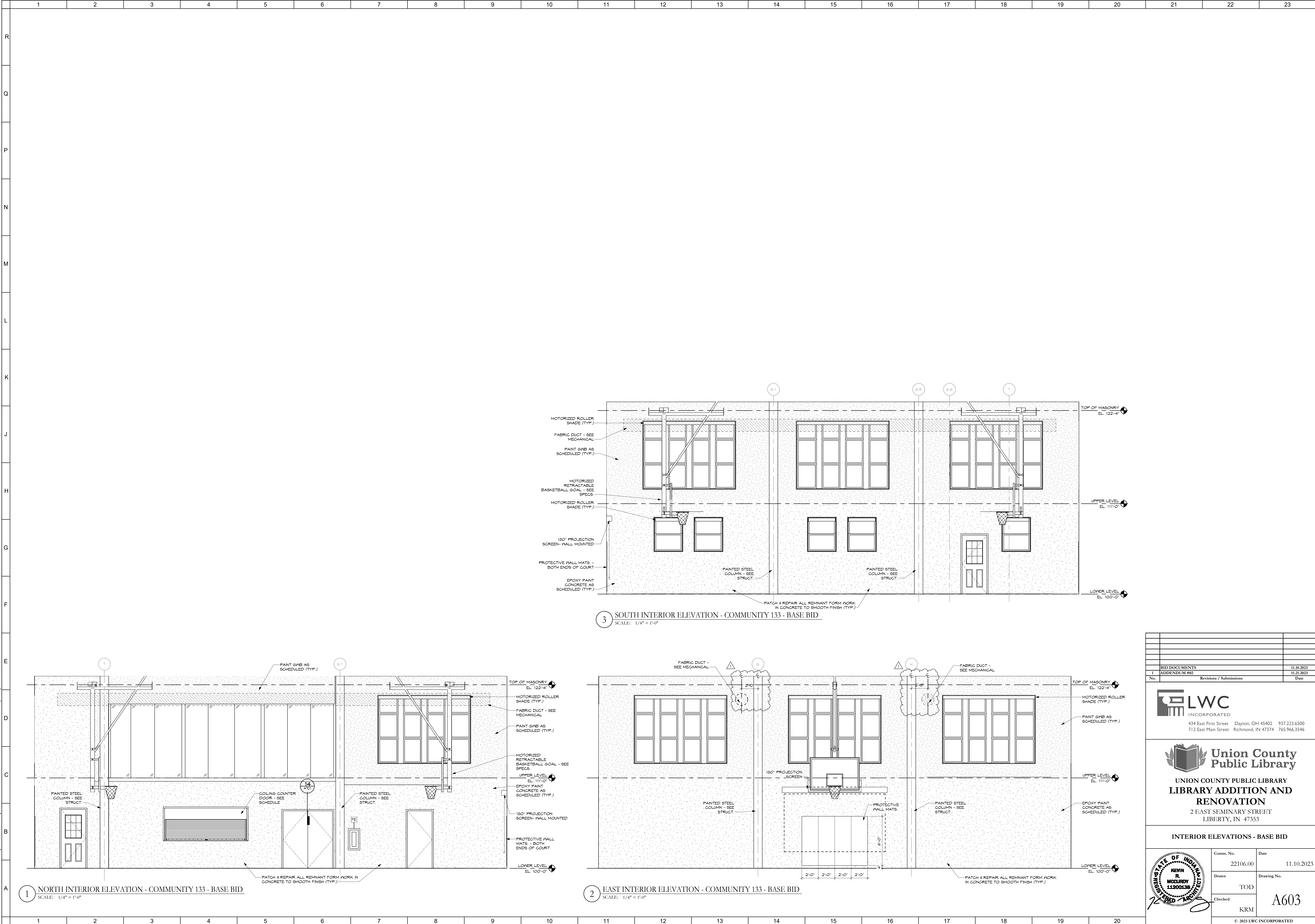
ENLARGED PLANS, INTERIOR ELEVATIONS AND CASEWORK DETAILS

Comm. No.	Date
22106.00	11.10.2023
Drawn	Drawing No.
M.K.S.	A602
Checked	KRM

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11/20/2023 3:56:47 PM

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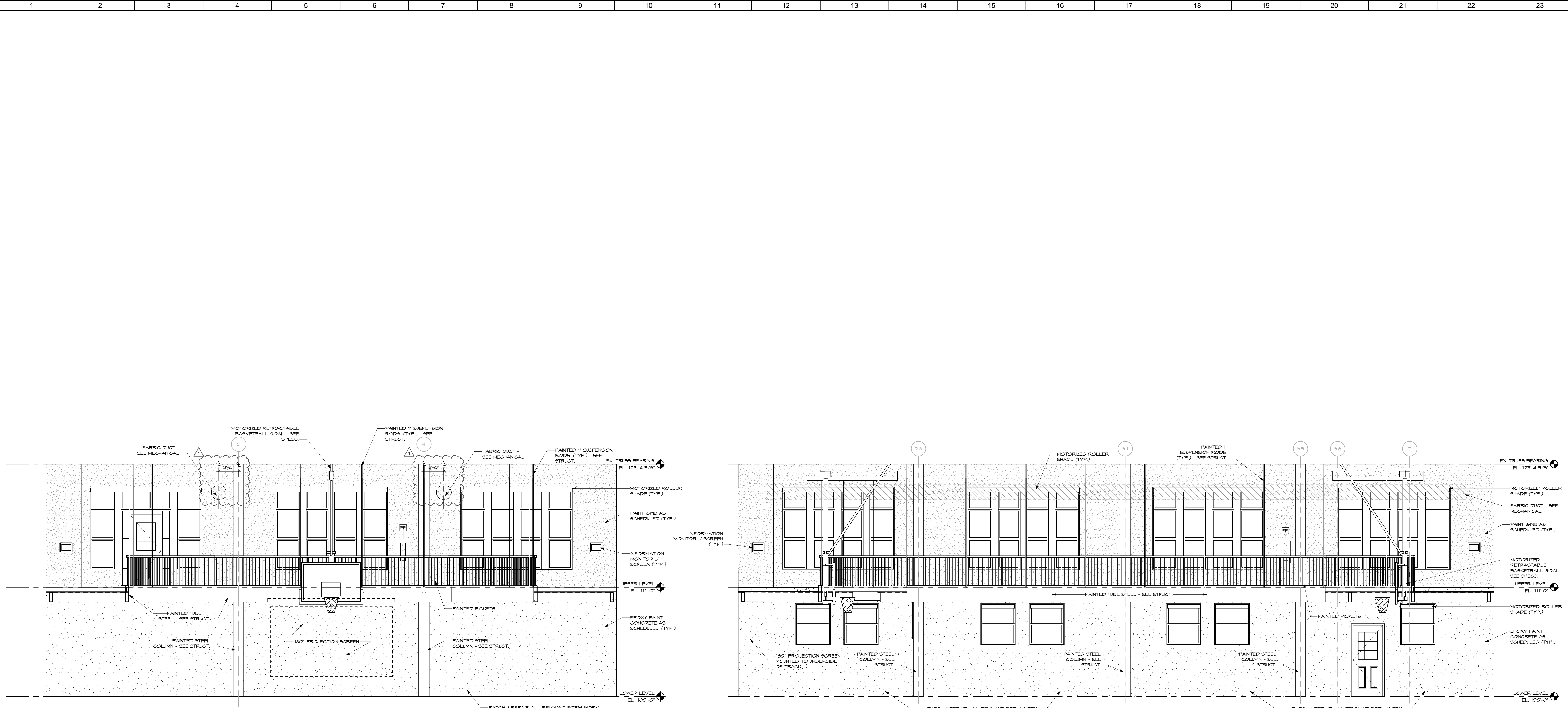
3 SOUTH INTERIOR ELEVATION - COMMUNITY 133 - BASE BID
SCALE: 1/4" = 1'-0"

2 EAST INTERIOR ELEVATION - COMMUNITY 133 - BASE BID
SCALE: 1/4" = 1'-0"

1 NORTH INTERIOR ELEVATION - COMMUNITY 133 - BASE BID
SCALE: 1/4" = 1'-0"

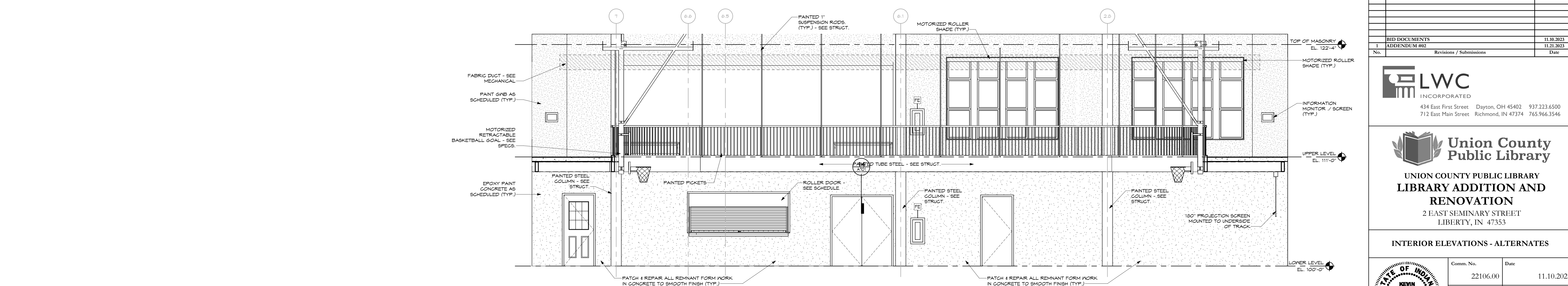
BID DOCUMENTS		11.10.2023
ADDENDUM #02		11.21.2023
No.	Revisions / Submissions	Date
<p>434 East First Street Dayton, OH 45402 937.223.6500 712 East Main Street Richmond, IN 47374 765.966.3546</p>		
<p>Union County Public Library UNION COUNTY PUBLIC LIBRARY LIBRARY ADDITION AND RENOVATION 2 EAST SEMINARY STREET LIBERTY, IN 47353</p>		
INTERIOR ELEVATIONS - BASE BID		
Comm. No.	22106.00	Date 11.10.2023
Drawn	TOD	Drawing No. A603
Checked	KRM	
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3 ALTERNATE #01 & #03 - INTERIOR EAST ELEVATION - COMMUNITY 133
SCALE: 1/4" = 1'-0"

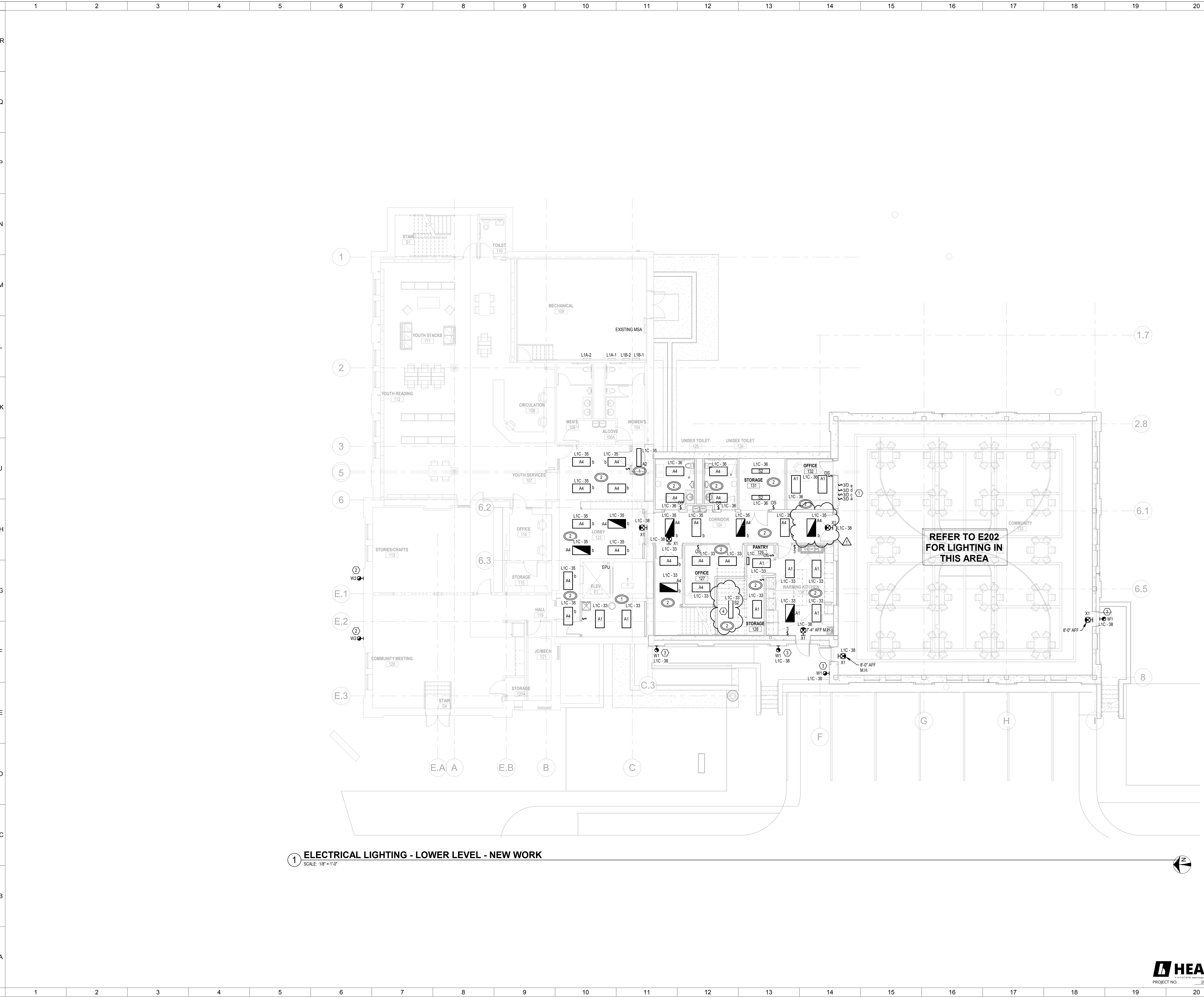
2 ALTERNATE #01 & #03 - INTERIOR SOUTH ELEVATION - COMMUNITY 133
SCALE: 1/4" = 1'-0"



1 ALTERNATE #01 & #03 - INTERIOR NORTH ELEVATION - COMMUNITY 133
SCALE: 1/4" = 1'-0"

BID DOCUMENTS		11.10.2023
ADDENDUM #02		11.21.2023
No.	Revisions / Submissions	Date
<p>LWC INCORPORATED 434 East First Street Dayton, OH 45402 937.223.6500 712 East Main Street Richmond, IN 47374 765.966.3546</p>		
<p>UNION COUNTY PUBLIC LIBRARY LIBRARY ADDITION AND RENOVATION 2 EAST SEMINARY STREET LIBERTY, IN 47353</p>		
INTERIOR ELEVATIONS - ALTERNATES		
Comm. No.	22106.00	Date 11.10.2023
Drawn	TOD	Drawing No. A604
Checked	KRM	
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1 ELECTRICAL LIGHTING - LOWER LEVEL - NEW WORK
SCALE: 1/8" = 1'-0"

SHEET NOTES:

1. PROVIDE SECONDARY SWITCHES TO CONTROL COMMUNITY AREA.
2. CONNECT TO EXISTING LIGHTING CIRCUIT THAT SERVED REMOVED FIXTURES.
3. BOTTOM OF FIXTURE TO BE 8'-2" AFF.
4. FIXTURE S2 MOUNTED TO CEILING UNDER STAIRS IN STORAGE ROOM 128.

GENERAL NOTES:

- A. REFER TO ARCHITECTURAL ELEVATIONS AND CASEWORK DRAWINGS FOR DEVICE MOUNTING HEIGHTS PRIOR TO ROUGH-IN. REFER TO ARCHITECTURAL PLANS FOR LUMINAIRE LOCATIONS.
- B. ALL "EXIT" SIGNS AND NITE LIGHTS "NL" ARE TO BE CIRCUITED TO THE LIGHTING CIRCUIT IN THE SPACE / ROOM AHEAD OF ANY LIGHTING CONTROL DEVICES, UNLESS NOTED OTHERWISE.
- C. COORDINATE OCCUPANCY SENSOR AIMING AND PLACEMENT WITH MANUFACTURER OR SUPPLIER PRIOR TO INSTALLATION.
- D. OCCUPANCY SENSOR MANUFACTURERS' COVERAGE PATTERNS VARY. THUS MANUFACTURER SHALL SUBMIT 18-INCH SCALE FLOOR PLANS SHOWING PROPOSED LAYOUT WITH DEVICES CLEARLY IDENTIFIED DURING THE SHOP DRAWING REVIEW PHASE. SHOP DRAWINGS MISSING INFORMATION WILL BE REJECTED. REQUEST AUTOCAD FLOOR PLANS IN ADVANCE OF SHOP DRAWING SUBMITTAL TO ENSURE ON TIME DELIVERY.
- E. IN ROOMS WITH EXPOSED CEILINGS CONTRACTORS SHALL COORDINATE LIGHTING LAYOUT WITH DUCTWORK AND PIPING ROUTING PRIOR TO INSTALLATION BEGINNING. PROVIDE ALL NECESSARY SUPPORTS FOR LIGHTS OR PORTIONS OF LIGHTS THAT MAY BE LOCATED BELOW DUCTWORK.

Revisions / Submissions	Date
IBID DOCUMENTS	11.10.2023
ADDENDUM #02	11.21.2023

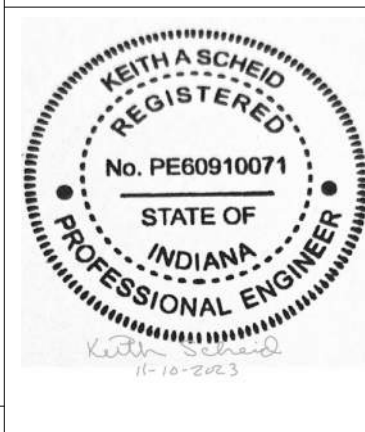
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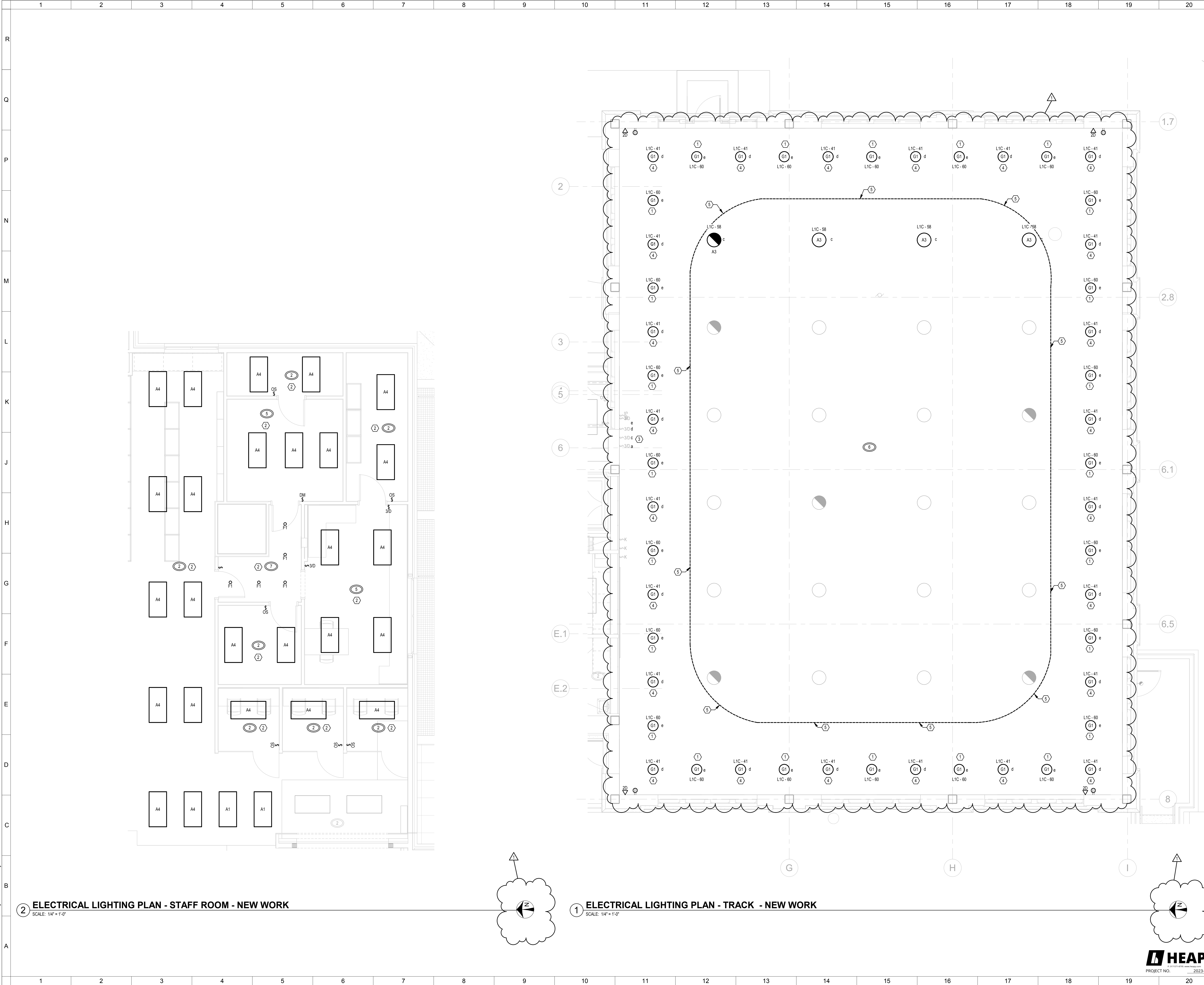
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LIBERTY, IN 47353

ELECTRICAL LIGHTING - LOWER LEVEL - NEW WORK

Comm. No.	22106.00	Date	2023/11/10
Drawn	WXT	Drawing No.	E101
Checked	KAS		





- SHEET NOTES:**
1. MOUNTED TO BOTTOM OF TRACK.
 2. CONNECT EXISTING LIGHTING CIRCUIT THAT SERVED REMOVED LIGHTS IN THIS ROOM TO NEW LIGHT FIXTURES. EXTEND CONDUIT AND CONDUCTORS AS REQUIRED.
 3. PROVIDE SECONDARY SWITCHES TO CONTROL COMMUNITY AREA.
 4. PENDANT LIGHTS MOUNTED ABOVE TRACK. MOUNTING HEIGHT 20' AFF.
 5. OUTLINE OF TRACK.

- GENERAL NOTES:**
- A. REFER TO ARCHITECTURAL ELEVATIONS AND CASEWORK DRAWINGS FOR DEVICE MOUNTING HEIGHTS PRIOR TO ROUGH-IN. REFER TO ARCHITECTURAL PLANS FOR LUMINAIRE LOCATIONS.
 - B. ALL "EXIT" SIGNS AND "EXIT LIGHTS" ARE TO BE CIRCUITED TO THE LIGHTING CIRCUIT IN THE SPACE / ROOM AHEAD OF ANY LIGHTING CONTROL DEVICES, UNLESS NOTED OTHERWISE.
 - C. COORDINATE OCCUPANCY SENSOR AMING AND PLACEMENT WITH MANUFACTURER OR SUPPLIER PRIOR TO INSTALLATION.
 - D. OCCUPANCY SENSOR MANUFACTURERS' COVERAGE PATTERNS VARY. THIS MANUFACTURER SHALL SUBMIT 18-INCH SCALE FLOOR PLANS SHOWING PROPOSED LAYOUT WITH DEVICES CLEARLY IDENTIFIED DURING THE SHOP DRAWING REVIEW PHASE. SHOP DRAWINGS MISSING INFORMATION WILL BE REJECTED. REQUEST AUTOCAD FLOOR PLANS IN ADVANCE OF SHOP DRAWING SUBMITTAL TO ENSURE ON TIME DELIVERY.
 - E. IN ROOMS WITH EXPOSED CEILINGS CONTRACTORS SHALL COORDINATE LIGHTING LAYOUT WITH DUCTWORK AND PIPING ROUTING PRIOR TO INSTALLATION BEGINNING. PROVIDE ALL NECESSARY SUPPORTS FOR LIGHTS OR PORTIONS OF LIGHTS THAT MAY BE LOCATED BELOW DUCTWORK.

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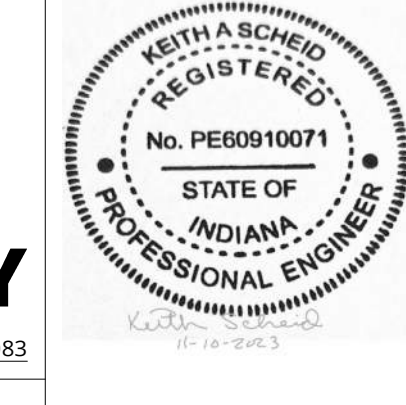
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**ELECTRICAL LIGHTING - ALTERNATE LOCATIONS
ENLARGED VIEWS - ALTERNATE STAFF AND TRACK -
NEW WORK**

Comm. No.	Date	22106.00	2023/11/10
Drawn	Drawing No.	WXT	E102.1
Checked		KAS	



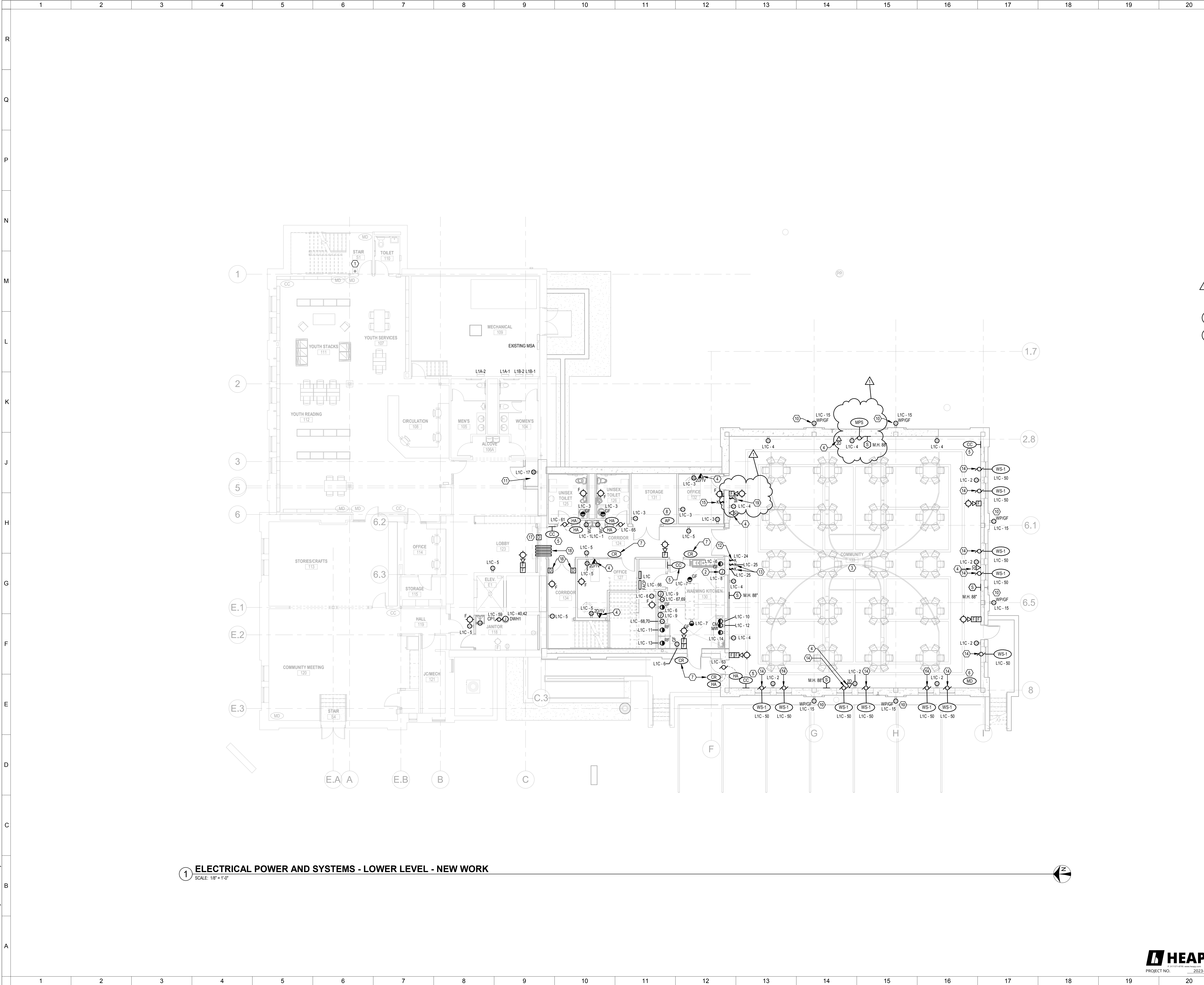
HEAPY
REGISTERED PROFESSIONAL ENGINEER
PROJECT NO. 2023-07083

2 ELECTRICAL LIGHTING PLAN - STAFF ROOM - NEW WORK
SCALE: 1/4"=1'-0"

1 ELECTRICAL LIGHTING PLAN - TRACK - NEW WORK
SCALE: 1/4"=1'-0"

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1 ELECTRICAL POWER AND SYSTEMS - LOWER LEVEL - NEW WORK
SCALE: 1/8" = 1'-0"

SHEET NOTES:

1. EXISTING AREA OF REFUGE CALL BUTTON. EXTEND WIRING TO RELOCATED CONTROL PANEL.
2. 20 AMP, 120V CIRCUIT TO DISHWASHER.
3. ALL CONDUIT IN COMMUNITY ROOM SHALL BE CONCEALED IN CONCRETE WALLS. SURFACE MOUNTED CONDUIT ON WALLS IS NOT ALLOWED IN COMMUNITY ROOM. COORDINATE ROUTING OF CONDUIT PRIOR TO POURING OF CONCRETE WALLS.
4. PROVIDE ROUGH-IN (BOX & CONDUIT) FOR OWNER PROVIDED DATA JACKS AND CABLING. STUB CONDUIT INTO ACCESSIBLE CEILING SPACE. OWNERS LOW VOLTAGE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND TERMINATING JACKS & CABLES AT EACH END.
5. PROVIDE ROUGH-IN (BOX AND CONDUIT) FOR OWNER PROVIDED SECURITY CAMERA. STUB CONDUIT INTO ACCESSIBLE CEILING SPACE. OWNERS LOW VOLTAGE CONTRACTOR SHALL PROVIDE AND INSTALL CAMERA AND CABLING AND TERMINATE CABLING AT EACH END.
6. PROVIDE ROUGH-IN (BOX AND CONDUIT) FOR OWNER PROVIDED MOTION DETECTOR. STUB CONDUIT INTO ACCESSIBLE CEILING SPACE. OWNERS LOW VOLTAGE CONTRACTOR SHALL PROVIDE SECURITY DEVICE AND CABLING AND TERMINATE CABLING AT EACH END.
7. PROVIDE CABLING TO DOOR FOR ACCESS CONTROLS. COORDINATE WITH DOOR HARDWARE MANUFACTURER.
8. PROVIDE ROUGH-IN (BOX AND CONDUIT) FOR OWNER PROVIDED WIRELESS ACCESS POINT. STUB CONDUIT INTO ACCESSIBLE CEILING SPACE. OWNERS LOW VOLTAGE CONTRACTOR SHALL PROVIDE AND INSTALL WAP AND CABLING AND TERMINATE CABLING AT EACH END.
9. PROVIDE ROUGH-IN (BOX AND CONDUIT) FOR OWNER PROVIDED SOFFIT MOUNTED WIRELESS ACCESS POINT. STUB CONDUIT INTO ACCESSIBLE CEILING SPACE. OWNERS LOW VOLTAGE CONTRACTOR SHALL PROVIDE AND INSTALL WAP AND CABLING AND TERMINATE CABLING AT EACH END.
10. INSTALL 24" ABOVE FINISH GRADE. COORDINATE EXACT MOUNTING HEIGHT WITH FINISH GRADE AND CONDUIT ROUTING PRIOR TO POURING OF EXTERIOR CONCRETE WALL.
11. LOCATION OF OWNER PROVIDED DATA RACK THAT SERVES ALL OWNER PROVIDED DATA CABLING IN NEW ADDITION.
12. KEY SWITCH FOR DIVIDER CURTAIN. SWITCH FURNISHED BY CURTAIN MANUFACTURER.
13. KEY SWITCH FOR BASKETBALL MOTOR CONTROL.
14. 120V, 20A AMP CIRCUIT TO MOTORIZED WINDOW SHADE. COORDINATE EXACT ROUGH-IN AND WIRING REQUIREMENTS WITH WINDOW SHADE MANUFACTURER.
15. CONTROL SWITCH FOR MOTORIZED WINDOW SHADES (OPEN/AV MODE). COORDINATE EXACT ROUGH-IN AND WIRING REQUIREMENTS WITH WINDOW SHADE MANUFACTURER.
16. DOOR HOLD OPEN DEVICE CONNECTED TO FIRE ALARM SYSTEM. DOORS SHALL CLOSE ON ACTIVATION OF FIRE ALARM SYSTEM.
17. CONNECT FIRE SHUTTER TO FIRE ALARM SYSTEM. FIRE SHUTTER SHALL RELEASE UPON ACTIVATION FROM FIRE ALARM SYSTEM.
18. PROVIDE FOUR 1/2" RATED SLEEVES THROUGH WALL FOR OWNER PROVIDED CABLING.
19. CONTROL SWITCH FOR MPS (MOTORIZED PROJECTION SCREEN). COORDINATE MOUNTING HEIGHT WITH PHYSICAL LOCATION OF MPS.

GENERAL NOTES:

- A. REFER TO ARCHITECTURAL ELEVATIONS AND CASEWORK DRAWINGS FOR DEVICE MOUNTING HEIGHTS PRIOR TO BOOTH.
- B. COORDINATE ELECTRICAL REQUIREMENTS WITH OTHER TRADES' SHOP DRAWINGS FOR ELECTRICAL CONNECTIONS TO EQUIPMENT FURNISHED BY OTHER TRADES AND/OR THE OWNER.
- C. ALL IT DATA ROUGH-INS ARE TO BE AT THE SAME ELEVATION AS THE ADJACENT RECEPTACLE, UNLESS OTHERWISE NOTED.
- D. BRANCH CIRCUIT WIRE SIZING CHART TO BE UTILIZED AS A GUIDELINE FOR VOLTAGE DROP COMPENSATION. INCREASE CONDUIT AND WIRING AS REQUIRED.
- E. STAGGER RECEPTABLES AND OTHER RECESSED DEVICES WHEN LOCATED ON OPPOSITE SIDES OF A PARTITION/WALL TO ELIMINATE SOUND TRANSMISSION FROM ONE SPACE TO THE OTHER.
- F. NEW WIRE AND CONDUITS SHALL NOT BE RUN EXPOSED UNLESS APPROVED BY THE OWNER, ARCHITECT OR THE ENGINEER.
- G. ALL RECEPTABLES IN PUBLIC ACCESSIBLE SPACES ARE TO BE OF THE TAMPER-RESISTANT DESIGN.
- H. RECEPTABLES FOR WATER COOLERS ARE TO BE GFCI PROTECTED.

20A - 120V CIRCUITS	20A - 277V CIRCUITS
#12 WIRE 75 MAX	#12 WIRE 175 MAX
#10 WIRE 125 MAX	#10 WIRE 300 MAX
#8 WIRE 200 MAX	#8 WIRE 450 MAX

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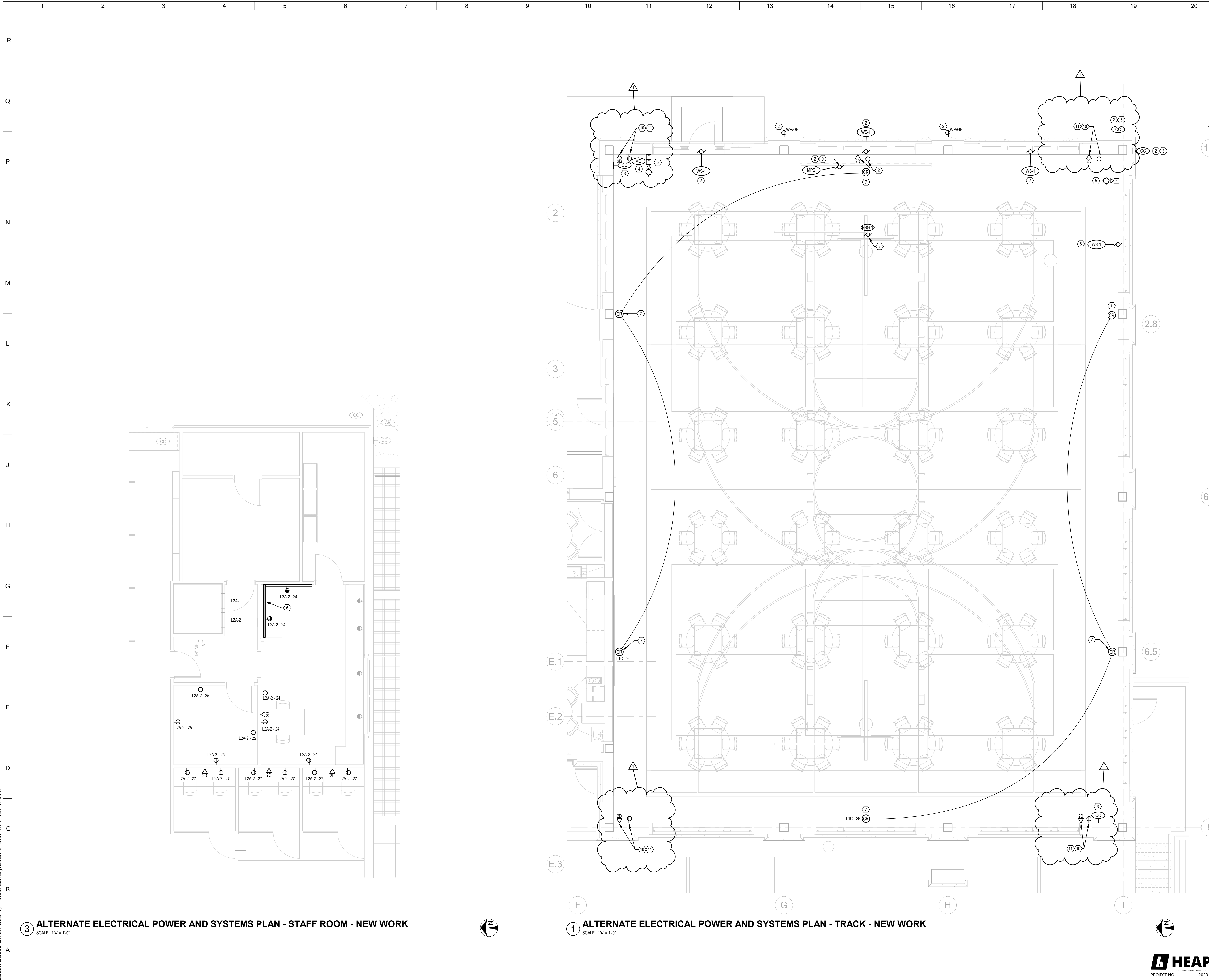
ELECTRICAL POWER AND SYSTEMS - LOWER LEVEL - NEW WORK

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- SHEET NOTES:**
1. ALL CONDUIT IN COMMUNITY ROOM SHALL BE CONCEALED IN CONCRETE WALLS. SURFACE MOUNTED CONDUIT ON WALLS IS NOT ALLOWED IN COMMUNITY ROOM. COORDINATE ROUTING OF CONDUIT PRIOR TO POURING OF CONCRETE WALLS.
 2. ADJUST LOCATION OF BASE BID DEVICE AND WIRING TO LOCATION INDICATED. CIRCUIT NUMBERING SHALL REMAIN AS INDICATED ON BASE BID PLAN.
 3. PROVIDE ROUGH-IN (BOX AND CONDUIT) FOR OWNER PROVIDED SECURITY CAMERA. STUB CONDUIT INTO ACCESSIBLE CEILING SPACE. OWNERS LOW VOLTAGE CONTRACTOR SHALL PROVIDE AND INSTALL CAMERA AND CABLING AND TERMINATE CABLING AT EACH END.
 4. PROVIDE ROUGH-IN (BOX AND CONDUIT) FOR OWNER PROVIDED MOTION DETECTOR. STUB CONDUIT INTO ACCESSIBLE CEILING SPACE. OWNERS LOW VOLTAGE CONTRACTOR SHALL PROVIDE SECURITY DEVICE AND CABLING AND TERMINATE CABLING AT EACH END.
 5. PROVIDE ADDITIONAL FIRE ALARM DEVICES AND WIRING.
 6. INSTALL SURFACE MOUNTED REWAYWAY AND RECEPTACLES 4" ABOVE COUNTER BACKSPLASH!
 7. INSTALL CORD REEL ON UNDERSIDE OF TRACK.
 8. ADDITIONAL MOTORIZED WINDOW SHADES. CONNECT TO MOTORIZED WINDOW SHADE CIRCUIT INDICATED OTHERWISE BY DRAWINGS.
 9. INSTALL MFS ON UNDERSIDE OF TRACK.
 10. PROVIDE ROUGH-IN (BOX AND CONDUIT) FOR DISPLAY MONITOR. STUB CONDUIT INTO ACCESSIBLE CEILING SPACE. OWNERS LOW VOLTAGE CONTRACTOR SHALL PROVIDE AND INSTALL CAMERA AND CABLING AND TERMINATE CABLING AT EACH END.
 11. COORDINATE MOUNTING HEIGHT OF DATA PORT AND RECEPTACLE WITH DISPLAY MOUNTING HEIGHT.

- GENERAL NOTES:**
- A REFER TO ARCHITECTURAL ELEVATIONS AND CASEWORK DRAWINGS FOR DEVICE MOUNTING HEIGHTS PRIOR TO ROUGH-IN.
 - B COORDINATE ELECTRICAL REQUIREMENTS WITH OTHER TRADES' SHOP DRAWINGS FOR ELECTRICAL CONNECTIONS TO EQUIPMENT FURNISHED BY OTHER TRADES AND/OR THE OWNER.
 - C ALL IT / DATA ROUGH-INS ARE TO BE AT THE SAME ELEVATION AS THE ADJACENT RECEPTACLE, UNLESS OTHERWISE NOTED.
 - D BRANCH CIRCUIT WIRE SIZING CHART TO BE UTILIZED AS A GUIDELINE FOR VOLTAGE DROP COMPENSATION. INCREASE CONDUIT AND WIRING AS REQUIRED.
- | 20A - 120V CIRCUITS | 20A - 277V CIRCUITS |
|---------------------|---------------------|
| #12 WIRE 75' MAX | #12 WIRE 175' MAX |
| #10 WIRE 125' MAX | #10 WIRE 300' MAX |
| #8 WIRE 200' MAX | #8 WIRE 450' MAX |
- E STAGGER RECEPTACLES AND OTHER RECESSED DEVICES WHEN LOCATED ON OPPOSITE SIDES OF A PARTITION / WALL TO ELIMINATE SOUND TRANSMISSION FROM ONE SPACE TO THE OTHER.
 - F NEW WIRE AND CONDUITS SHALL NOT BE RUN EXPOSED UNLESS APPROVED BY THE OWNER, ARCHITECT OR THE ENGINEER.
 - G ALL RECEPTACLES IN PUBLIC ACCESSIBLE SPACES ARE TO BE OF THE TAMPER-RESISTANT DESIGN.
 - H RECEPTACLES FOR WATER COOLERS ARE TO BE GFCI PROTECTED.

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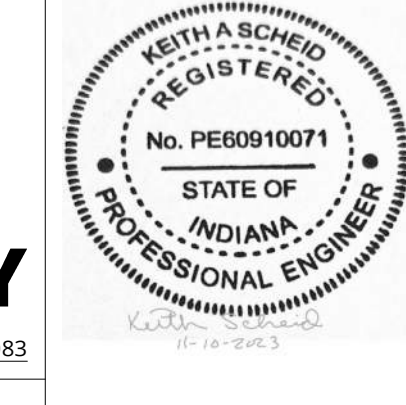
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ELECTRICAL POWER AND SYSTEMS - ALTERNATE LOCATIONS ENLARGED VIEWS - ALTERNATE STAFF AND TRACK - NEW WORK

Comm. No.	Date	22106.00	2023/11/10
Drawn	Drawing No.	WXT	E202.1
Checked		KAS	



HEAPY
PROJECT NO. 2023-07083

3 ALTERNATE ELECTRICAL POWER AND SYSTEMS PLAN - STAFF ROOM - NEW WORK
SCALE: 1/4" = 1'-0"

1 ALTERNATE ELECTRICAL POWER AND SYSTEMS PLAN - TRACK - NEW WORK
SCALE: 1/4" = 1'-0"

