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New Castle - Henry County Public Library

INTERIOR & EXTERIOR RENOVATIONS

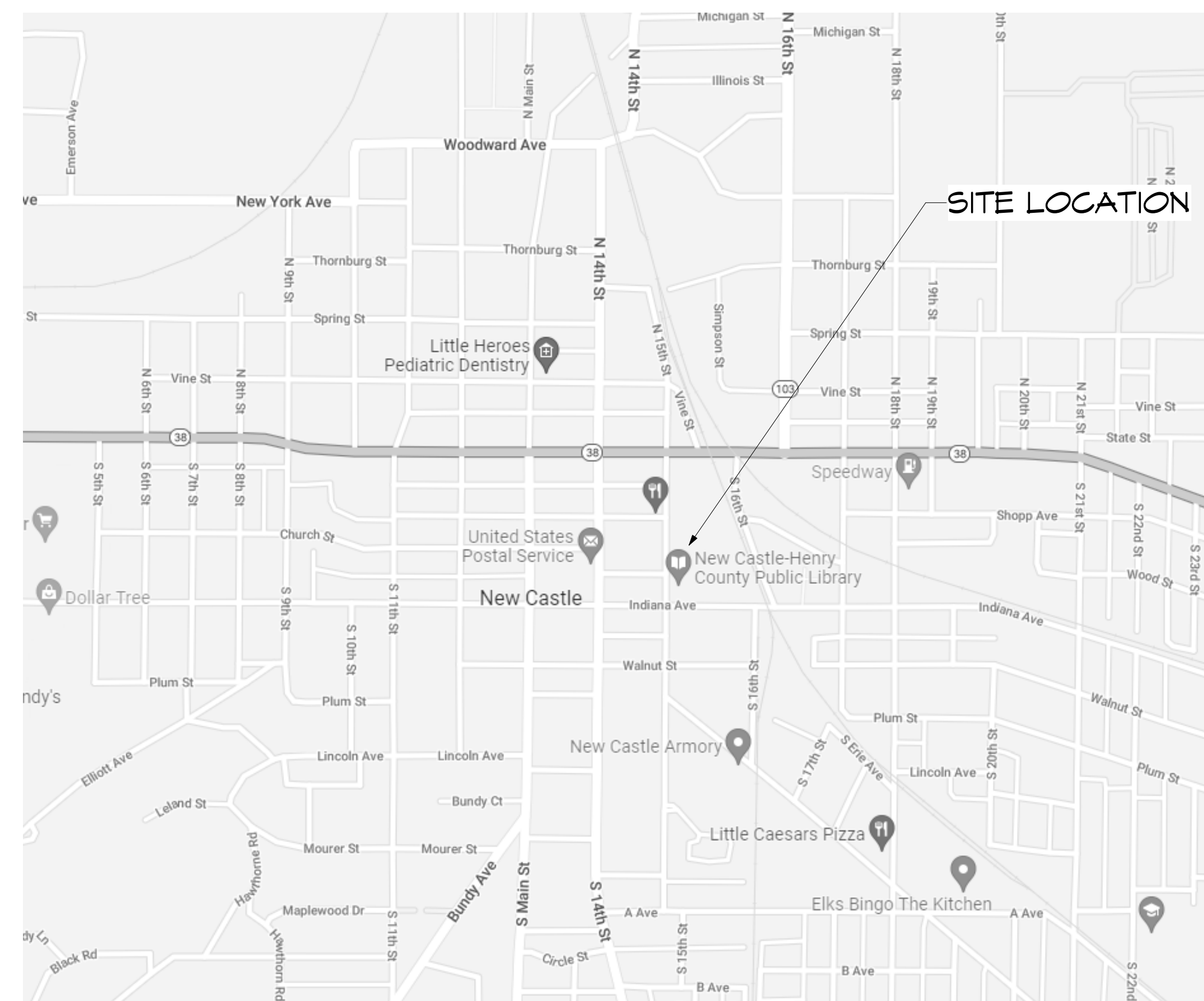
376 S 15TH ST
NEW CASTLE, IN 47362

AUGUST 8, 2023

COMMISSION # 22105.00

RE-BID DOCUMENTS

VOLUME 1



1 VICINITY MAP
SCALE: N.T.S.

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A102D	UPPER LEVEL DIMENSIONS PLAN
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A201	LOWER LEVEL REFLECTED CEILING PLAN
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ED103	ROOF LEVEL ELECTRICAL DEMOLITION PLAN
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E202	UPPER LEVEL LIGHTING PLAN
E301	LOWER LEVEL POWER & SYSTEMS PLAN
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DRAWING INDEX	
SHEET NO.	SHEET NAME
E101	PANELBOARD SCHEDULES
E102	PANELBOARD SCHEDULES

STRUCTURAL:

SITE • CIVIL • STRUCTURAL
MBE

PME:

P: 317-571-8795 www.heapy.com

No.	Revisions / Submissions	Date
		08.08.2023

434 East First Street Dayton, OH 45402 937.223.6500
712 East Main Street Richmond, IN 47374 765.966.3546

New Castle - Henry County Public Library

376 S 15TH ST
NEW CASTLE, IN 47362

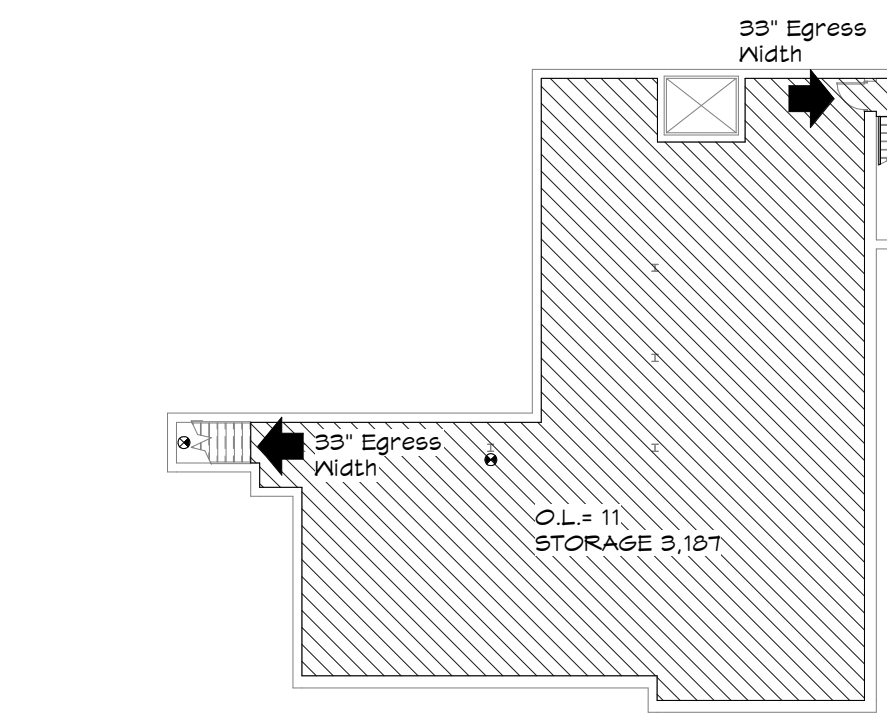
INTERIOR & EXTERIOR RENOVATIONS

376 S 15TH ST
NEW CASTLE, IN 47362

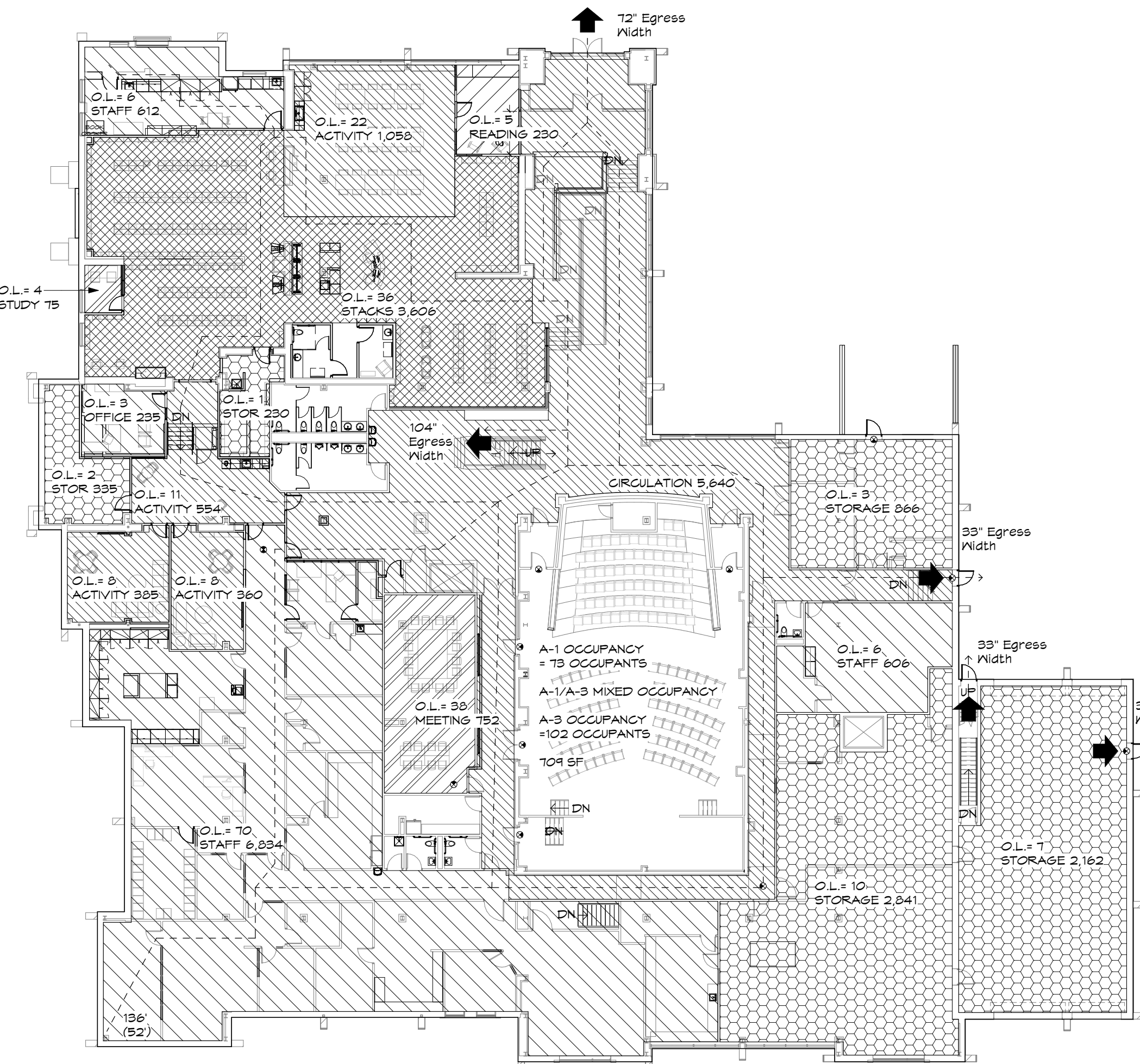
TITLE SHEET - VOLUME 1

Comm. No.	22105.00	Date	08.08.2023
Drawn	M.K.S.	Drawing No.	T001
Checked	G.A.D.		

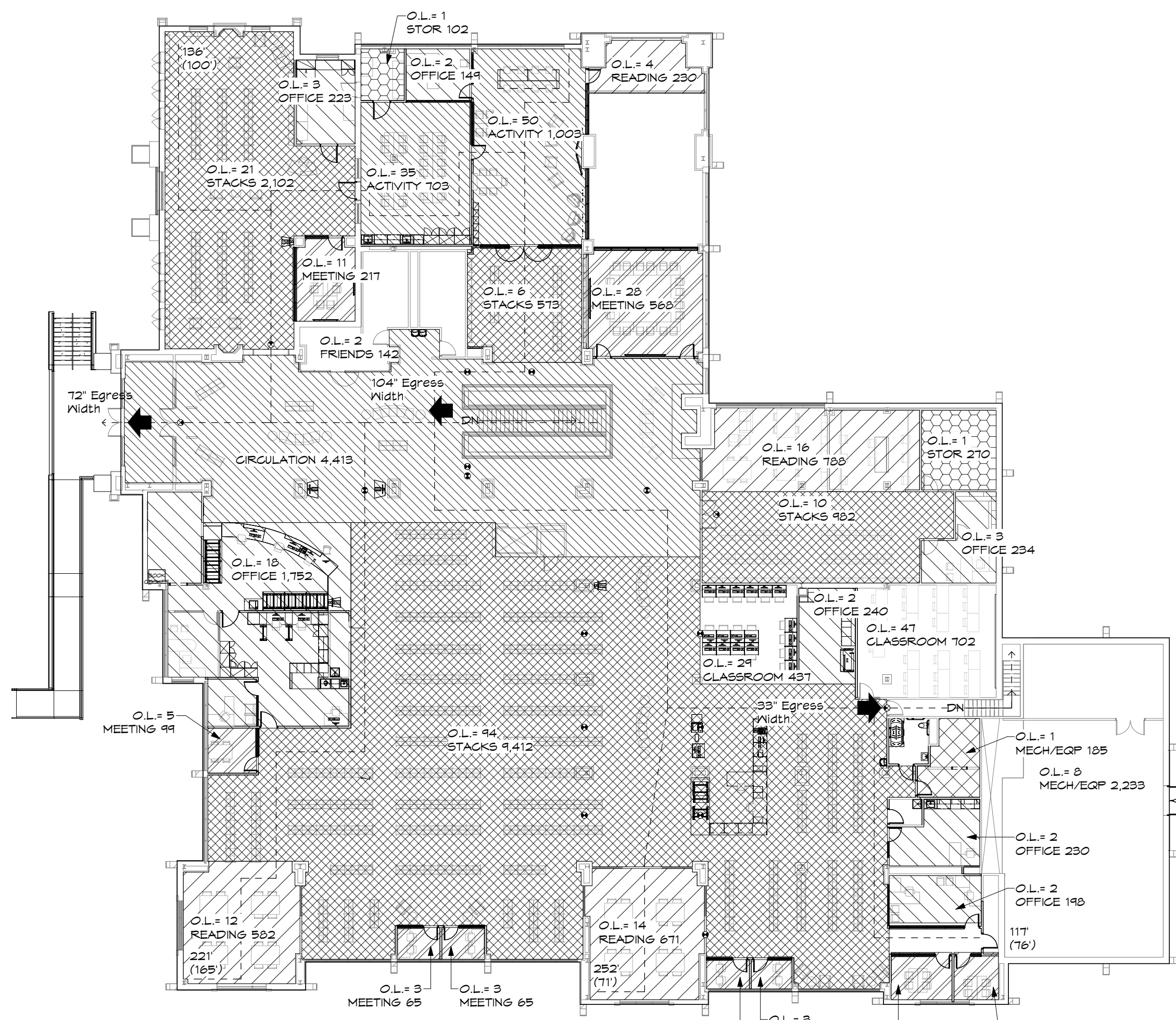
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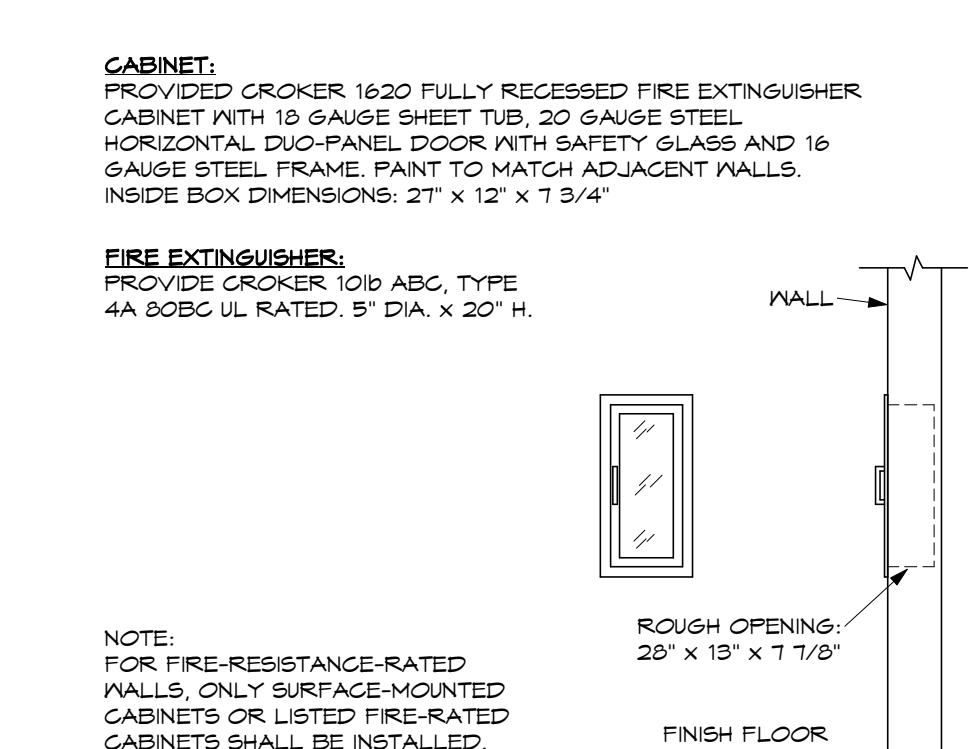
3 BASEMENT LIFE SAFETY PLAN SCALE: 3/64" = 1'-0"



2 LOWER LEVEL LIFE SAFETY PLAN SCALE: 3/64" = 1'-0"



1 UPPER LEVEL LIFE SAFETY PLAN SCALE: 3/64" = 1'-0"



4 FIRE EXTINGUISHER CABINET SCALE: 3/8\"/>

CHAPTER 3 - CLASSIFICATION OF FACILITIES
 Section 302 - Classification
 Single Use Occupancy
 A-3 Assembly, one-story above grade
 Type IIB Construction

CHAPTER 5 - HEIGHT AND AREA
 Table 503
 A3 Assembly Use
 Allowable Building Area, per floor = 4,500 SF
 Allowable Height 3 stories, 110 feet
 A(a) = A(1) x (A(2) x (F(1) + (A(2) x (F(2)))
 A(a) = 4,500 x (4,500 x 0.75) + (4,500 x 3)
 A(a) = 4,500 x 1.125 + 20,500
 A(a) = 49,125 SF
 For 504.3, is = 3 for buildings with no more than 1 story above grade plane.
 (F) = (F/P - 0.25) W/30
 P = 1,944'-5"
 W = 1,944'-5"
 N = 50'
 (F) = ((1,944'-5)/(1,944'-5) - 0.25) x 30/30'
 (F) = (1 - 0.25) x (1)
 (F) = 0.75

CHAPTER 6 - CONSTRUCTION TYPES
 Table 601 - Fire Resistance Rating Requirements for Building Elements
 Construction Type IIB
 Primary Structural Frame 0 hours
 Bearing Walls, Exterior 0 hours
 Bearing Walls, Interior 0 hours
 Non-bearing walls, Exterior 1 hour (based on 30' fire separation distance)
 Non-bearing walls, Interior 0 hours
 Floor construction 0 hours
 Roof construction 0 hour for any portion 120' above the floor

CHAPTER 7 - FIRE RESISTANCE
 Section 702.2 - Projections
 Projections shall not extend beyond a point one-half the distance from the exterior face of the wall to the line where openings in the exterior wall are permitted to be unprotected.

CHAPTER 8 - INTERIOR FINISHES
 Table 803.8 - Interior wall and ceiling finish requirements by occupancy
 Use Group A-3:
 - Corridors Class B
 - Room and enclosed spaces Class C

CHAPTER 9 - SPRINKLER SYSTEMS
 Section 902.1 - Fire Alarm and Detection Systems
 The building will feature a manual fire alarm/voice system

CHAPTER 10 - MEANS OF EGRESS
 Section 1003.2 - Ceiling height
 All ceilings in the Means of Egress shall have a minimum ceiling height of 7'-6"

CHAPTER 10 - MEANS OF EGRESS
 Section 1004.1 - Occupant Load
 Refer to Code Floor Plans in the documents for Occupancy Limits for each space. Total occupant load for the various floors is noted below:
 The occupant load for each floor shall be as follows:
 Basement = 11 occupants
 Lower Floor = 235 occupants (A-3)
 Upper Floor = 378 occupants (A-3)

CHAPTER 10 - MEANS OF EGRESS
 Section 1009.1 - Minimum required egress width
 1009.1.2 - Other egress components
 Basement, 11 x 0.2' = 2 = 66' total egress width required across 2 exits
 Lower Floor, 235 x 0.2' = 130' total egress width required across 3 exits
 Upper Floor, 378 x 0.2' = 242' total egress width required across 4 exits

CHAPTER 10 - MEANS OF EGRESS
 Section 1007.1 - Accessible means of egress required
 All Accessible means of egress shall have a minimum accessible means of egress. Two Accessible Means of Egress shall be provided as stipulated by 1015.1 or 1021.1

CHAPTER 10 - MEANS OF EGRESS
 Section 1014.3 - Common path of egress travel
 A-3 Occupancy requires compliance with 1020.9 Common Path of Egress Travel. Distance shall not exceed 30' unless noted otherwise.

CHAPTER 10 - MEANS OF EGRESS
 Table 1015.1 - Spaces with one exit or exit access doorway
 Refer to floor plan for areas with occupant loads of 48 or less.

CHAPTER 10 - MEANS OF EGRESS
 Section 1015.1.1 - Three or more exits or exit access doorways
 100+ occupants = 4 Exits required
 50 to 100 occupants = 3 Exits required
 50 to 50 occupants = 2 Exits required
 1 - 48 occupants = 1 Exit required

CHAPTER 10 - MEANS OF EGRESS
 Section 1015.2.1 - Two exits or exit access doorways
 For Exception 10, the distance between two exit access doorways shall not be less than 1/3 the diagonal distance of the area served. Refer to plans for actual distances.

CHAPTER 10 - MEANS OF EGRESS
 Table 1016.1 - Exit Access Travel Distance
 A Occupancy allows 250 feet with fire suppression

CHAPTER 10 - MEANS OF EGRESS
 Table 1016.1 - Corridor Fire-Resistance Rating
 Use Groups A do not require a corridor to be rated when the building is equipped with an automatic fire suppression system.

CHAPTER 10 - MEANS OF EGRESS
 Section 1016.4 - Dead ends
 In A-3 Occupancies, the maximum length of a dead end corridor is 20 feet.

CHAPTER 10 - MEANS OF EGRESS
 Section 1022.1 - Enclosures required
 Exit enclosures shall be constructed to the following ratings:
 - 1-hour when connecting less than 4 stories
 - Equal to the floor assembly penetrated, not to exceed 2 hours.

CHAPTER 10 - MEANS OF EGRESS
 Floor Area per Occupant (Indiana Building Code, Table 1004.1.2)
 Library Reading Function = 80sf/person
 Library Stack Function = 100sf/person
 Business Function = 100sf/person
 Education Classroom Function = 20sf/person
 Education Vocational Function = 80sf/person
 Assembly Function = Actual occupancy or 15 SF/person (see notes)

Basement Level
 Basement Level Areas
 Basement Storage Room 3,107 300sf/person 3,107/300 = 11 Occupants
 Total Count: 11 Occupants

Lower Level
 Entry does not add to Occupancy Count
 5,640 SF overall 0

Children's Area
 Stack Area 3,606 SF overall 36 3,606/100sf/person 3,606/100 = 36 Occupants
 Activity Room 1,050 SF overall 22 1,050/50sf/person 1,050/50 = 22 Occupants
 Toddler Reading Area 230 SF overall 5 230/50sf/person 230/50 = 5 Occupants
 Staff Area 847 SF overall 4 847/100sf/person 847/100 = 8 Occupants
 Storage Based upon Accessory Storage Area 565 SF overall 3 565/300sf/person 565/300 = 3 Occupants
 Validation Activity Rooms 1,300 SF overall 26 1,300/50sf/person 1,300/50 = 26 Occupants
 Book Mobile Storage Areas Based upon Accessory Storage Area 2,841 SF overall 30 2,841/300 SF/person 2,841/300 = 10 Occupants
 Garage Storage Area Based upon Accessory Storage Area 2,162 SF overall 7 2,162/300 SF/person 2,162/300 = 7 Occupants
 Mail Storage Area Based upon Accessory Storage Area 866 SF overall 3 866/300 SF/person 866/300 = 3 Occupants
 Staff Area Based upon Business use 6,834 SF overall 70 6,834/100sf/person 6,834/100 = 70 Occupants
 Friends Staff Area Based upon Business use 606 SF overall 6 606/100sf/person 606/100 = 6 Occupants
 Meeting Rooms 752 SF overall 30 752/25sf/person 752/25 = 30 Occupants
 Restroom Based upon Education Vocational use 684 SF overall 14 684/50sf/person 684/50 = 14 Occupants
 Total Count: 249 Occupants

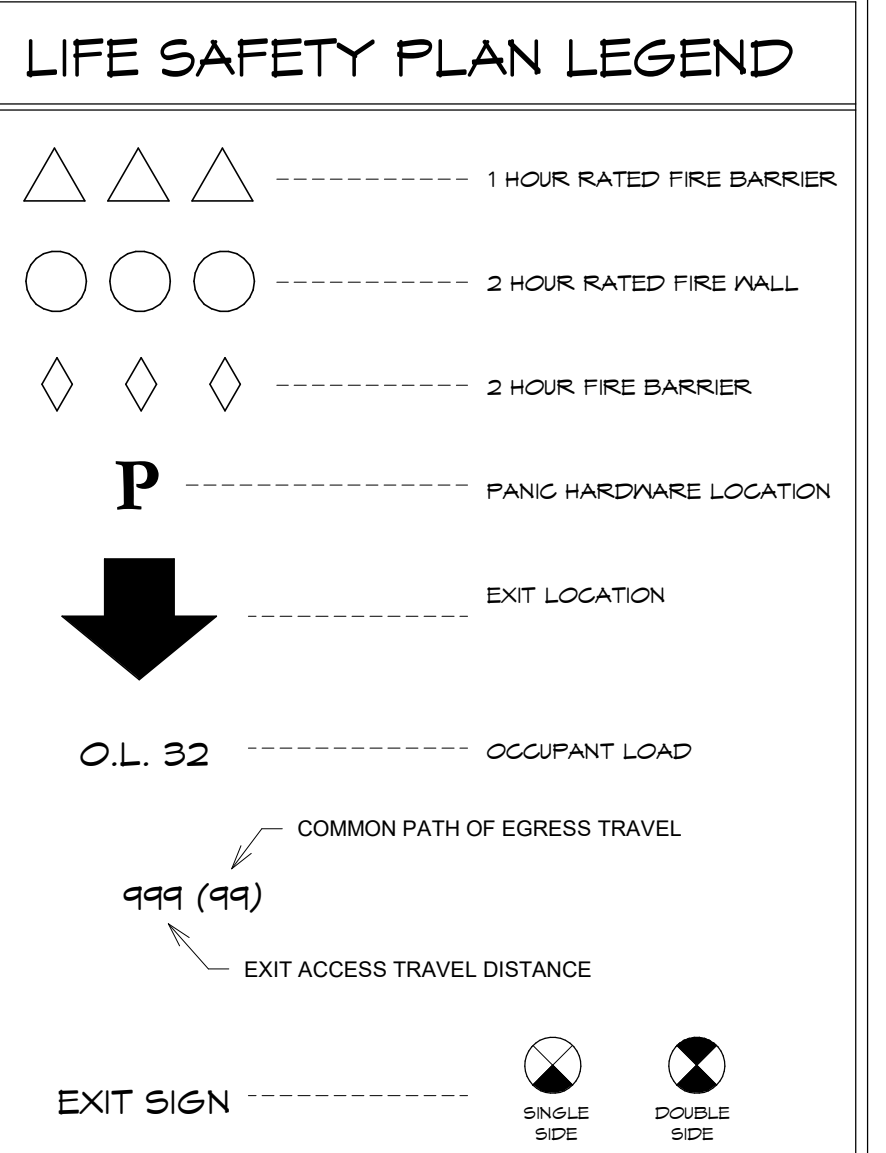
Upper Floor
 Entry does not add to Occupancy Count
 4,413 overall 0

Teens Area
 Stack Area 875 SF overall 6 875/100sf/person 875/100 = 6 Occupants
 Activity Room 1,003 SF overall 50 1,003/50sf/person 1,003/50 = 50 Occupants
 Activity Room 703 SF overall 35 703/50sf/person 703/50 = 35 Occupants
 Storage Area 102 SF overall 1 102/300sf/person 102/300 = 1 Occupant
 Staff Area Based upon Business use 148 SF overall 1 148/100sf/person 148/100 = 2 Occupants
 Reading Area 230 SF overall 4 230/50sf/person 230/50 = 4 Occupants
 A/V Area 2,102 SF overall 21 2,102/100sf/person 2,102/100 = 21 Occupants
 Meeting Room 217 SF overall 11 217/20sf/person 217/20 = 11 Occupants
 Staff Area Based upon Business use 223 SF overall 3 223/100sf/person 223/100 = 3 Occupants
 Friends Bookstore 142 SF overall 2 142/100sf/person 142/100 = 2 Occupants
 Large Meeting Room 560 SF overall 20 560/20sf/person 560/20 = 28 Occupants
 Main Circulation Staff Area Based upon Business use 1,752 SF overall 10 1,752/100sf/person 1,752/100 = 18 Occupants
 Indiana Room Area 482 SF overall 10 482/100sf/person 482/100 = 10 Occupants
 Reading Area 700 SF overall 16 700/50sf/person 700/50 = 16 Occupants
 Storage Area 270 SF overall 1 270/300sf/person 270/300 = 1 Occupant
 Staff Area Based upon Business use 234 SF overall 2 234/100sf/person 234/100 = 3 Occupants
 Adult Area 4,412 SF overall 44 4,412/100sf/person 4,412/100 = 44 Occupants
 Meeting Rooms (7 Total) 584 SF overall 30 584/20sf/person 584/20 = 30 Occupants
 Reading Areas (2 Total) 1,293 SF overall 25 1,293/50sf/person 1,293/50 = 25 Occupants
 Staff Area 420 SF overall 4 420/100sf/person 420/100 = 4 Occupants
 Classroom 702 SF overall 47 702/15sf/person 702/15 = 47 Occupants
 Computer Area (Classroom) 431 SF overall 21 431/15sf/person 431/15 = 28 Occupants
 Mechanical/Equipment Areas (2 Total) 2,331 SF overall 4 2,331/300sf/person 2,331/300 = 4 Occupants
 Restroom Based upon Library Reading Room use 2,041 SF overall 40 2,041/50sf/person 2,041/50 = 40 Occupants
 Total Count: 343 Occupants

CHAPTER 11 - ACCESSIBILITY FOR PHYSICALLY DISABLED PERSONS
 Section 1101 - Accessibility
 ICC A117.1 Clearances and requirements are indicated on the drawings.

CHAPTER 12 - INTERIOR ENVIRONMENT
 Section 1210.2.1 - Floors and wall base finish materials
 Toilets, bathing and shower rooms shall have a non-slip surface, including a 4" high base at the wall/floor transition.
 Section 1210.2.2 - Walls and partitions within 2' of a water closet or urinal shall have a non-slip surface to a height of 4' and made of a material that is not adversely impacted by moisture.

CHAPTER 24 - PLUMBING FIXTURES
 Table 2302.1 - Minimum Number of Required Plumbing Fixtures
 LOWER FLOOR (Total Occupants = 471)
 NOTE: No changes to floor area are being made on this level. Information provided for convenience.
 Assembly Uses - LOWER FLOOR (Total Occupants = 249)
 Fixture Men Women Men Women
 Toilets 1 per 65 = 2 Req'd 1 per 125 = 1 Req'd
 Lavatories 1 per 200 = 2 Req'd 1 per 200 = 2 Req'd
 Drinking Fount. 1 per 500 = 1 Req'd
 Service Sink 1 Req'd
 Total Provided Fixtures - LOWER FLOOR
 Fixture Men Women Men Women
 Toilets 2 4 4 4
 Lavatories 2 2 2 2
 Drinking Fount. 1 1 1 1
 Service Sink 1 1 1 1
 MAN FLOOR (Total Occupancy = 249)
 NOTE: No changes to floor area are being made on this level. Information provided for convenience.
 Assembly Uses - UPPER FLOOR (Total Occupants = 343)
 Fixture Men Women Men Women
 Toilets 1 per 65 = 5 Req'd 1 per 125 = 1 Req'd
 Lavatories 1 per 200 = 2 Req'd 1 per 200 = 2 Req'd
 Drinking Fount. 1 per 500 = 1 Req'd
 Service Sink 1 Req'd
 Total Provided Fixtures - UPPER FLOOR
 Fixture Men Women Men Women
 Toilets 3 1 3 1
 Lavatories 2 1 2 1
 Drinking Fount. 3 3 3 3
 Service Sink 1 1 1 1



No.	RE-BID DOCUMENTS	Revisions / Submissions	Date
			08.08.2023

LWC INCORPORATED
 434 East First Street Dayton, OH 45402 937.223.6500
 712 East Main Street Richmond, IN 47374 765.966.3546

New Castle - Henry County Public Library
 376 S 15TH ST
 NEW CASTLE, IN 47362

INTERIOR & EXTERIOR RENOVATIONS
 376 S 15TH ST
 NEW CASTLE, IN 47362

CODE COMPLIANCE

Comm. No.	Date
22105.00	08.08.2023
Drawn	Drawing No.
M.K.S.	G001
Checked	
G.A.D.	



SHEET NOTES:

1. PROVIDE TEMPORARY PARTITIONS (NOT USED)
2. PROVIDE SEALS AT PERIMETER OF ALL DOOR EDGES TO CONTAIN CONSTRUCTION ON OTHER SIDE
3. PROVIDE REMOVABLE FILM ON WINDOWS TO BLOCK OUT CONSTRUCTION ON OTHER SIDE
4. PROVIDE A DUSTPROOF ENCLOSURE INCLUDING A CEILING BARRIER, CAMERA WITH DOORBELL TO BE INSTALLED & DOOR 166B. COORDINATE WITH OWNER'S IT CONTRACTOR.

GENERAL NOTES:

- A. SEE MECHANICAL, ELECTRICAL, & PLUMBING DRAWINGS FOR RELATED ITEMS.
- B. CONTRACTOR SHALL COORDINATE TEMPORARY BARRIERS, DEMOLITION, & NEW CONSTRUCTION TO COINCIDE WITH THE PHASING SHOWN.
- C. CONTRACTOR SHALL SUBMIT A SCHEDULE FOR OWNER REVIEW PRIOR TO STARTING ANY WORK.
- D. FURNITURE IS SHOWN FOR COORDINATION PURPOSES ONLY. FURNITURE SHALL BE PURCHASED & INSTALLED UNDER SEPARATE CONTRACT.
- E. MAINTAIN EGRESS THROUGHOUT PROJECT. COORDINATE WITH LOCAL OFFICIALS PRIOR TO ANY TEMPORARY CLOSURES THAT WILL IMPACT ACCESS TO EGRESS.
- F. FINAL CONSTRUCTION IS SHOWN FOR ALL SPACES. CONSULT DEMOLITION & NEW WORK PLANS FOR WORK TO BE PERFORMED AS IDENTIFIED ON PHASING PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFICATION & COORDINATING ALL WORK IDENTIFIED IN THE BID DOCUMENTS.
- G. MAINTAIN EXTERIOR EXIT PATHWAYS TO PUBLIC RIGHT-OF-WAY THROUGHOUT PROJECT. AT EXITS WHERE THAT IS NOT POSSIBLE, PROVIDE A SAFE DISPERSAL AREA PER IBC 10215 ACCESS TO A PUBLIC WAY. - SEE EDITIONS 1-4.
- H. COORDINATE ALL SHELVING MOVES WITH OWNER PRIOR TO ANY REQUIRED MOVES. COST OF SHELVING MOVES SHALL BE INCLUDED IN PROJECT.

RE-BID DOCUMENTS		08.08.2023
No.	Revisions / Submissions	Date

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712 East Main Street Richmond, IN 47374 765.966.3546

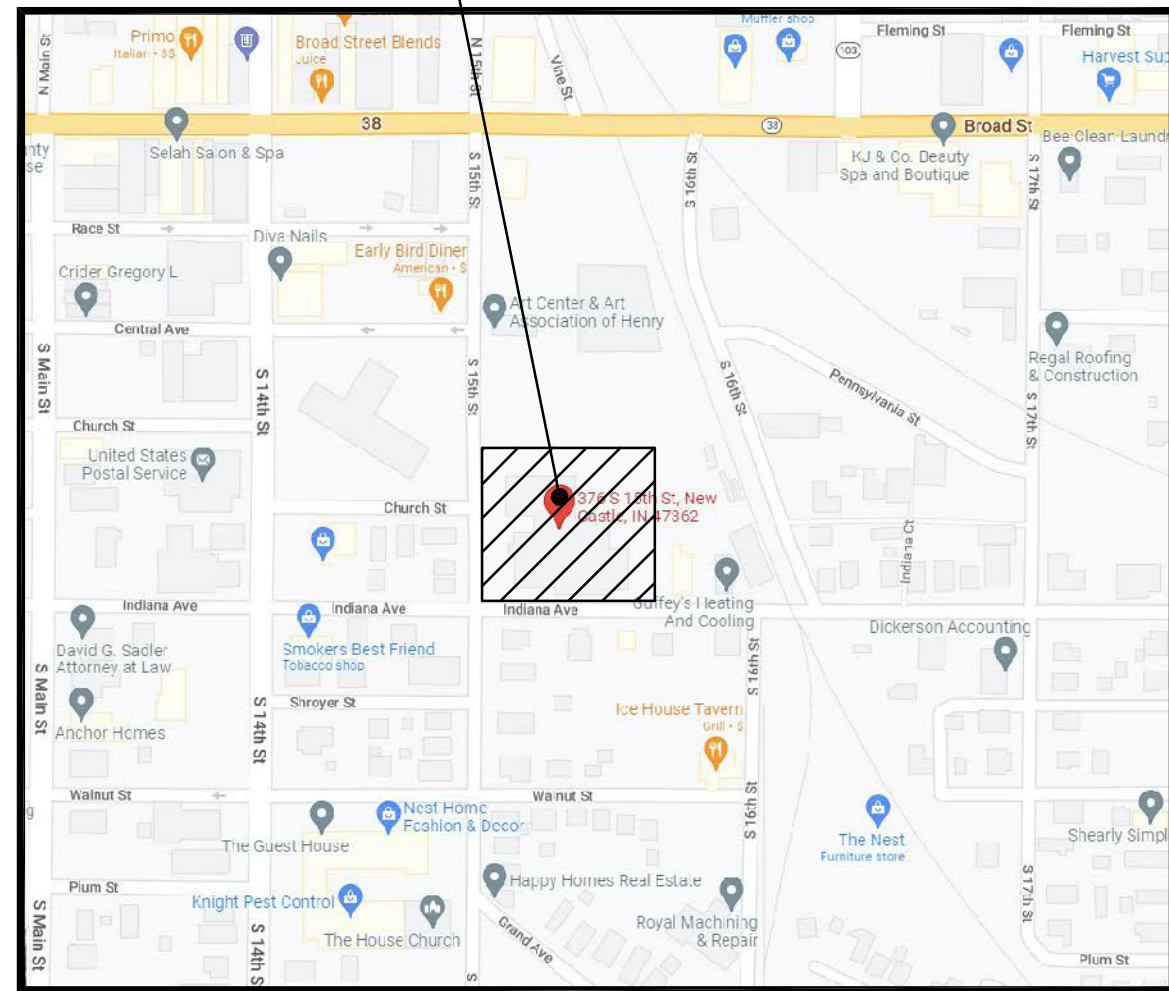
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INTERIOR & EXTERIOR RENOVATIONS
PHASING PLANS

Comm. No.	Date	22105.00	08.08.2023
Drawn	Drawing No.	M.K.S.	G003
Checked		G.A.D.	

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PROJECT SITE

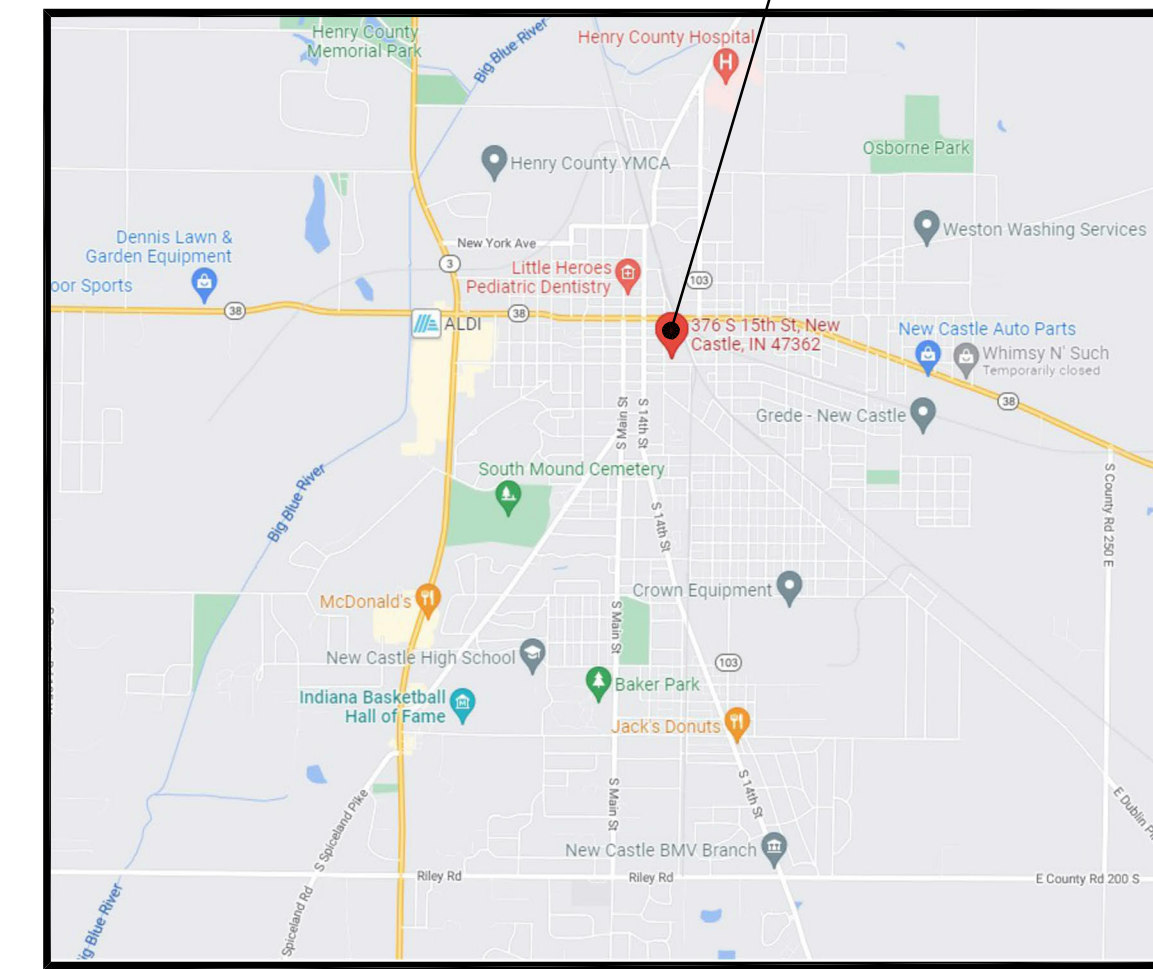


VICINITY MAP

NEW CASTLE-HENRY COUNTY PUBLIC LIBRARY

376 S 15TH STREET
NEW CASTLE, IN 47362

PROJECT SITE



LOCATION MAP

CONSTRUCTION DOCUMENTS

COVER SHEET

- 1 OF 2 SURVEY PLAN
- 2 OF 2 SURVEY PLAN

C001 PROJECT INFORMATION PLAN

C100 STORMWATER POLLUTION PREVENTION PLAN
 C110 STORMWATER POLLUTION PREVENTION NOTES AND DETAILS

C200 SITE DEMOLITION PLAN

C300 SITE DRAINAGE & GRADING PLAN

- C301 NOT USED
- C302 ENLARGED RAMP & STAIR PLAN & DETAIL
- C310 SITE GRADING & DRAINAGE DETAILS

C400 SITE IMPROVEMENT PLAN
 C410 SITE IMPROVEMENT DETAILS
 C411 SITE IMPROVEMENT DETAILS

C500 SITE LANDSCAPE PLAN
 C510 SITE LANDSCAPE DETAIL



Andrew D. Swanson

ANDREW D. SWANSON ENGINEER, P.E.

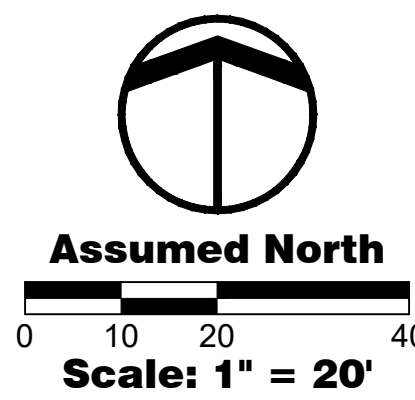


Rebecca L. Grubbs

ANDREW D. SWANSON ENGINEER, P.E.

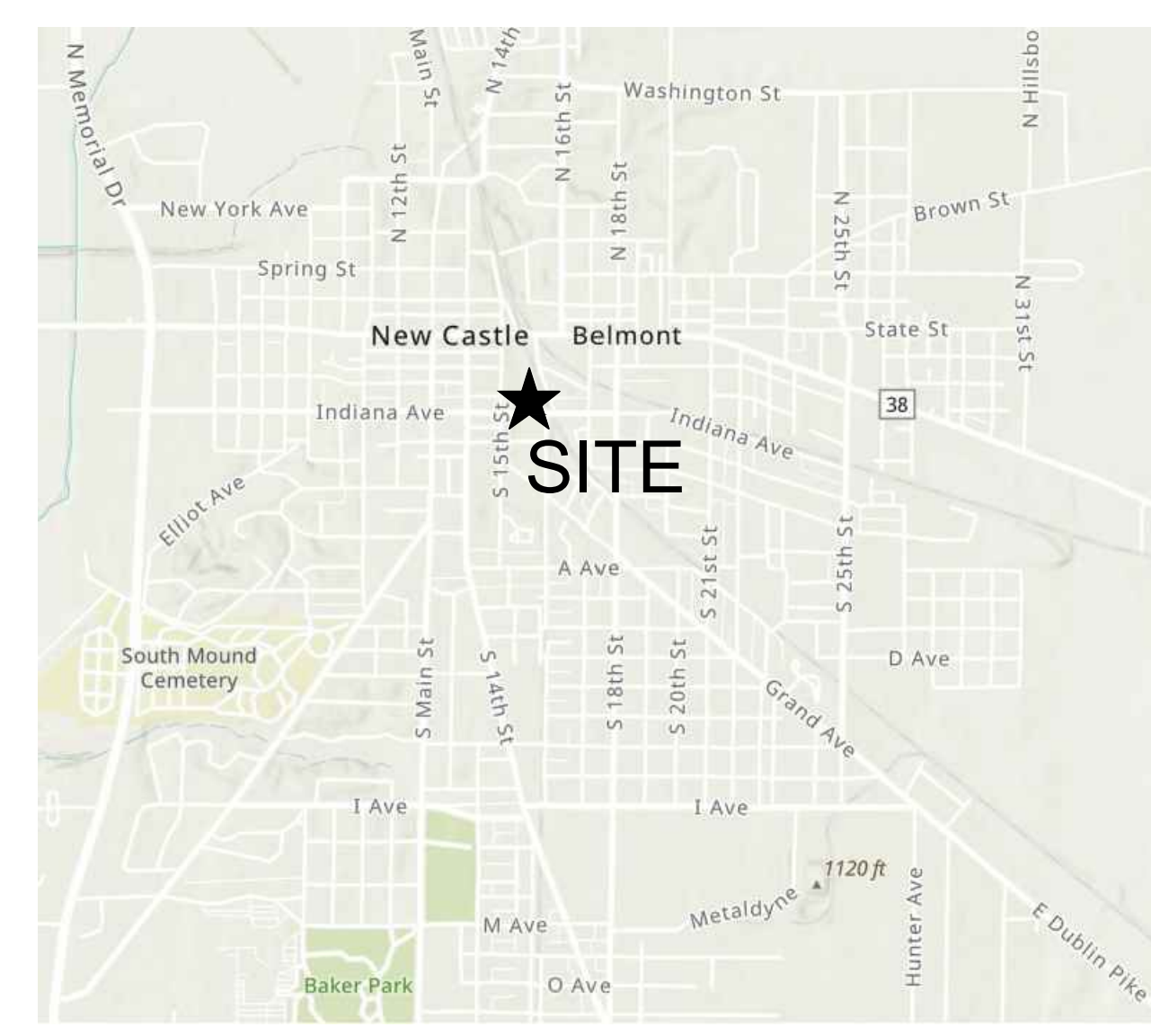
JPS CONSULTING ENGINEERS, LLC
 9365 Counselors Row, Suite 116
 Indianapolis, IN 46240
 ph 317.617.4270
 www.jpsconsultingengineers.com

CONSTRUCTION DOCUMENTS
 AUGUST 8, 2023
 22JPSC51



PRO FORMA

"RETRACEMENT" ALTA/NSPS LAND TITLE SURVEY



VICINITY MAP:
SCALE: NONE

UTILITY INFORMATION:

This survey reflects above ground indications of utilities and information available from utility companies. Utility locates were requested from Indiana 811 on June 10, 2022 (reference ticket number 2206103966). The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated, although he does certify that they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities.

Member Utilities contacted during this project include:

- | | |
|---|----------------|
| COMCAST CABLE (INDIANAPOLIS) | CABLE TV |
| DUKE ENERGY | ELECTRIC |
| CENTERPOINT ENERGY (NORTH) (FORMERLY VECTREN) | GAS |
| METRO FIBERNET, LLC | FIBER OPTIC |
| NEW LISBON BROADBAND & COMMUNICATIONS | COMMUNICATIONS |
| NINESTAR CONNECT (FORMERLY HANCOCK TELECOM) | TELEPHONE |
| WINDSTREAM | COMMUNICATIONS |
| NEW CASTLE WATER DEPARTMENT | SEWER, WATER |
| AT&T - DISTRIBUTION | COMMUNICATIONS |

Private Utility Locates - Private utility locates were provided by Mason Private Locating on June 16, 2022, work order 00012030. Locations of the utilities marked have been added to this survey per markings located in the field and supplemental documentation provided by Mason Private Locating.

VERTICAL CONTROL INFORMATION

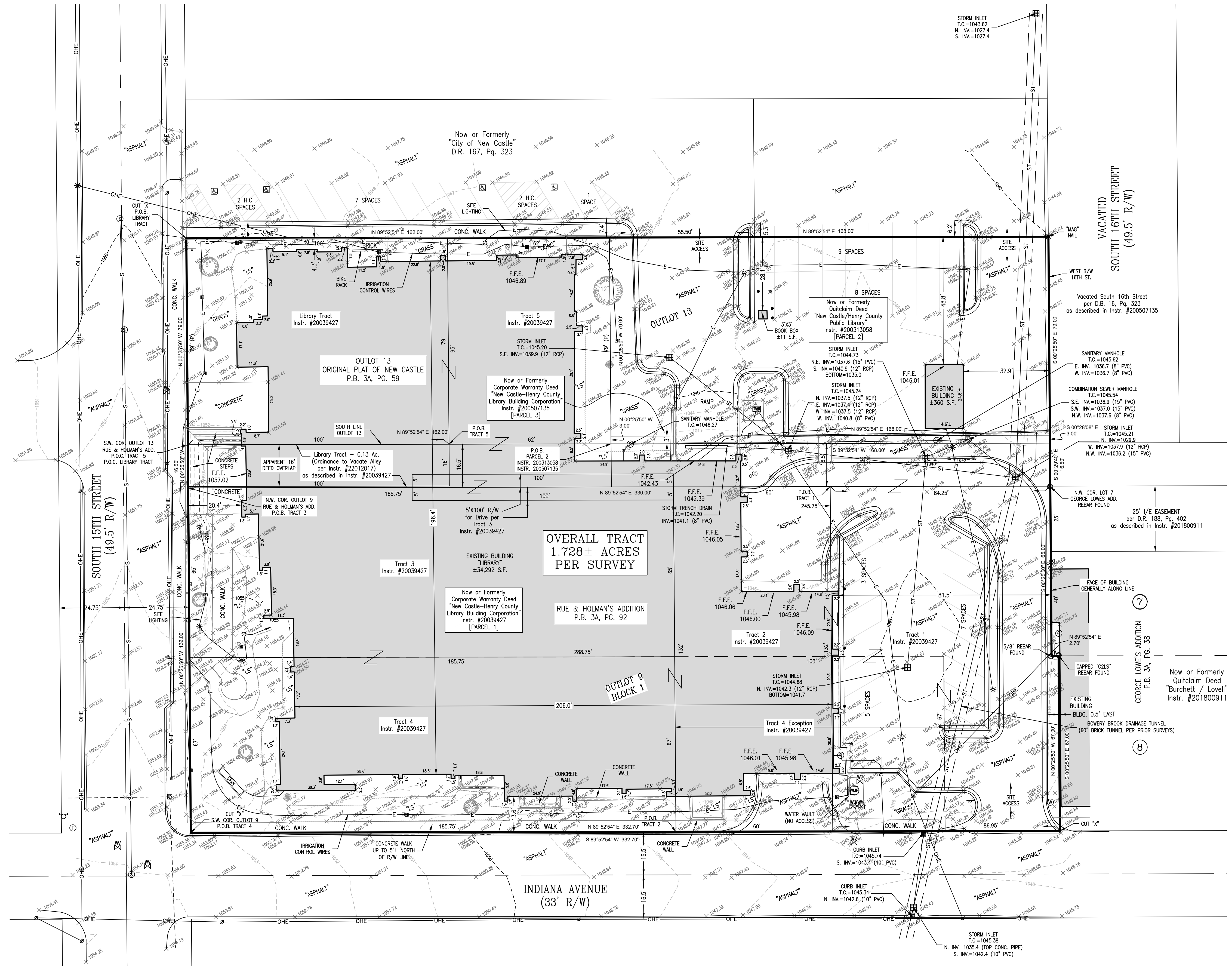
ORIGINATING BENCHMARK:
Benchmark Disk "NEW CASTLE 1934 RESET" in top of concrete base of the flag pole located at the City of New Castle Post Office.
Elevation = 1057.88 (NAVD 88)



Call 811 or 800-382-5544 Before you Dig!

LEGEND:

- | | | |
|---------|----------------------------|--|
| — OHE — | OVERHEAD UTILITY LINE | ● "MAG" NAIL |
| — S — | SANITARY SEWER LINE | ● 5/8" CAPPED REBAR SET |
| — ST — | STORM SEWER LINE | ● MARKED "CZLS FIRM# 0033" |
| — W — | UNDERGROUND WATER MAIN | ○ REBAR/PIPE FOUND |
| — E — | UNDERGROUND ELECTRIC LINE | — SIGN |
| — T — | UNDERGROUND TELEPHONE LINE | — ACCESS COVER |
| — G — | UNDERGROUND GAS LINE | ⊙ STORM SEWER MANHOLE |
| — 999 — | EXISTING CONTOUR | ⊙ SANITARY SEWER MANHOLE |
| — — — | EDGE OF GRASS / FIELD | ⊙ TELEPHONE MANHOLE |
| ● | BOLLARD | ⊙ WATER MANHOLE |
| ⊙ | UTILITY POLE | ⊙ FIRE HYDRANT |
| ⊙ | TRAFFIC POLE | ⊙ STORM SEWER INLET |
| ⊙ | AREA LIGHT | ⊙ CURB INLET |
| ⊙ | WATER VALVE | ⊙ CLEANOUT |
| ⊙ | GAS METER | ⊙ SPOT ELEVATION |
| ⊙ | WATER METER | ⊙ SHRUB |
| ⊙ | ELECTRIC TRANSFORMER | ⊙ TREE |
| ⊙ | ELECTRIC BOX | ⊙ PINE TREE |
| ⊙ | FLAG POLE | ⊙ ITEM PER SCHEDULE B, SEC. II OF SUBJECT TITLE COMMITMENT |



NO.	REVISION	DATE	AUTH.

Prepared For:	LWC, INCORPORATED
Project Location:	NEW CASTLE / HENRY COUNTY PUBLIC LIBRARY 376 SOUTH 15TH STREET, NEW CASTLE, IN 47362
Job #:	2022-052
File #:	2022-052.DWG
Original Date:	7/26/22
Approved By:	CMC
Drawn By:	WTL

ALTANSPS LAND TITLE SURVEY
303 West Main Street, Knightstown, Indiana 46168
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"RETRACEMENT" ALTA/NSPS LAND TITLE SURVEY

LAND DESCRIPTIONS PER TITLE COMMITMENT

PARCEL 1: (INSTRUMENT NUMBER 20039427)

Tract 1:

A part of Out Lot 9, Block One, in Rue and Holman's Addition to the Town, now City of New Castle, Henry County, Indiana, and more particularly described as follows: Beginning at a point on the North line of said lot 245.75 feet East of the Northwest corner thereof; running thence East 84.25 feet; thence South 65 feet; thence East 2.70 feet; thence South 67 feet to the North line of Indiana Avenue; thence West along the North line of Indiana Avenue 86.95 feet; thence North 132 feet to the place of beginning.

Tract 2:

Part of Out Lot Nine in Block One (1) in Rue and Holman's Addition to the City of New Castle: Beginning 185.75 feet East of the Southwest corner of said Out Lot Nine (9) and running thence North 132 feet; thence East 60 feet; thence South 132 feet; thence West 60 feet to the place of beginning.

Tract 3:

Part of Out Lot 9 in Block 1 in Rue and Holman's Addition to the Town, now City of New Castle, Indiana: Commencing at the Northwest corner of said Lot; thence running East 185.75 feet; thence South 65 feet; thence West 185.75 feet to the West line of said Lot; thence North 65 feet to the place of beginning.

Subject to the right of way of a drive 5 feet in width and 100 feet long in the Northeast corner of said tract.

Also the right to use a drive 5 feet in width immediately North of the above described 5 feet.

Tract 4:

Commencing at the Southwest corner of Out Lot Number 9, in Block Number 1 in Rue and Holman's Addition to the Town, now City of New Castle, Indiana; and running thence North four (4) rods one (1) foot, more or less, to the South line of the lot belonging to Howard S. and Mary L. Baldwin (formerly the Rev. A.H. Moore lot); thence East seventeen and one-half (17 1/2) rods; thence South four (4) rods one (1) foot to Indiana Avenue; thence West seventeen and one-half (17 1/2) rods to the place of beginning.

EXCEPT THEREFROM: One Hundred Three (103) feet off the East end thereof.

Tract 5:

Commencing at a point 100 feet East of the Southwest corner of Out Lot Thirteen (13) in the Original Plat of the Town, now City of New Castle, Indiana; and running thence East 62 feet; thence North 79 feet; thence West 62 feet; thence South 79 feet to the place of beginning.

Library Tract:

Commencing 79 feet North of the Southwest corner of Out Lot Number Thirteen (13) in the Original Plat of the Town, now City of New Castle, Indiana; and running thence East One Hundred (100) feet; thence South Ninety-five (95) feet; thence West One Hundred (100) feet; thence North Ninety-five (95) feet to the place of beginning.

ALSO:

A part of Out Lot 13 in the Original Plat of New Castle, Plat Book 3A, Page 59 and a part of Out Lot 9 in Rue and Holman's Addition for New Castle, Plat Book 3A, Page 92 in New Castle, Henry County, Indiana and described as follows: Beginning at a rebar with cap marked "C2LS Firm #0035" marking the Southwest corner of said Out Lot 13; thence North 89 degrees 52 minutes 54 seconds East (assumed bearing) along the South line thereof a distance of 330.00 feet; thence South 00 degrees 29 minutes 40 seconds East to a rebar with cap marked "C2LS Firm #0035" a distance of 16.50 feet on the North line of said Out Lot 9; thence South 89 degrees 52 minutes 54 seconds West along the North line of said Out Lot 9 to a Mag nail a distance of 330.00 feet at the Northwest corner thereof; thence North 00 degrees 07 minutes 06 seconds West a distance of 16.50 feet to the Point of Beginning. Containing 0.13 acres, more or less. As set forth in Ordinance No. 3341, an Ordinance to Vacate a Certain Alley in New Castle, Indiana, recorded December 27, 2002 as Instrument No. 22012017.

PARCEL 2: (INSTRUMENT NUMBER 200313058)

COMMENCING at a 5/8 inch capped rebar marked "C2LS Firm #0035" marking the Southwest corner of Out Lot 13 in the Original Plat of New Castle as recorded in Plat Book 3A, Page 59, in the Office of the Recorder of Henry County, Indiana; thence on an assumed bearing of North 89 degrees 52 minutes 54 seconds East along the South line thereof a distance of 162.00 feet to a railroad spike marking the Southeast corner of a tract of land described in Deed Record 152, Page 143, in said Recorder's Office, said point also being the POINT OF BEGINNING of this description; thence North 00 degrees 25 minutes 50 seconds West along the East line of said tract a distance of 79.00 feet to a 5/8 inch capped rebar marked "C2LS Firm #0035" marking the Northeast corner of said tract; thence North 89 degrees 52 minutes 54 seconds East parallel with the South line of said Out Lot 13 a distance of 168.00 feet to a "Mag" nail on the West right of way line of 16th Street; thence South 00 degrees 25 minutes 50 seconds East along said West right of way line a distance of 79.00 feet to the Southeast corner of said Out Lot 13; thence South 89 degrees 52 minutes 54 seconds West along the South line thereof a distance of 168.00 feet to the POINT OF BEGINNING. Containing 0.305 acres, more or less.

PARCEL 3: (INSTRUMENT NUMBER 200507135)

A part of Out Lot 13 in the Original Plat of New Castle, Plat Book 3A, Page 59, in New Castle, Henry County, Indiana, described as follows: BEGINNING at the Southeast corner of a tract of land described in Deed Record 152, Page 143 in the Office of the Recorder of Henry County, Indiana; thence North 00 degrees 25 minutes 50 seconds West along the East line thereof a distance of 3.00 feet; thence North 89 degrees 52 minutes 54 seconds East a distance of 168.00 feet to the West line of Vacated South 16th Street described in Deed Book 16, Page 323 in the Office of the Recorder of Henry County, Indiana; thence South 00 degrees 28 minutes 08 seconds East a distance of 3.00 feet; thence South 89 degrees 52 minutes 54 seconds West along the South line of said Out Lot 13 a distance of 168.00 feet to the POINT OF BEGINNING. Containing 0.01 acres, more or less.

SURVEYOR'S REPORT

The within survey has been prepared, to the best of my knowledge and belief, under my supervision and in accordance with Title 865, Article 1, Chapter 12 of the Indiana Administrative Code ("Rule 12"). The following opinions and interpretations are submitted regarding the various uncertainties in the locations of the lines and corners as established per this survey. The uncertainties are based upon, and as a result of uncertainties in reference monumentation, in record descriptions and plats, in lines of occupation, and as introduced by random errors in measurement "Relative Positional Accuracy". *There may also be unwritten rights associated with these uncertainties.* The client should assume there is an amount of uncertainty along any line equal in significance to the discrepancy in the location of the lines of possession from the surveyed lines.

There may be differences of deed verses measured dimensions along the boundary lines shown hereon and there may be survey markers found near but not precisely at some boundary corners. In cases where the magnitude of these differences are less than the Relative Positional Accuracy stated below (Relative Positional Precision in the case of an ALTA/NSPS Land Title Survey) and less than the uncertainty identified for the reference monumentation discussed below, the differences may be considered insignificant and are shown only for purposes of mathematical closure. Such differences that are greater than the Relative Positional Accuracy and the uncertainty in reference monumentation should be considered worthy of notice and are therefore discussed further below.

Unless otherwise noted or depicted hereon, there is no evidence of occupation along the perimeter lines of the subject tract.

All survey monuments set or found this survey are flush with existing grade unless otherwise noted.

Relative Positional Accuracy: The Relative Positional Accuracy of the corners of the subject tract established per this survey is within the requirements for an **Urban Survey** (0.07 feet (21 millimeters) plus 50 parts per million) as defined in IAC 865.

Purpose of Survey: The purpose of the within survey is the preparation of a Retracement Survey of various tracts of land described in Instrument Numbers 20039427, 200313058 and 200507135 as described in the Office of the Recorder of Henry County, Indiana.

The within survey is based in part upon the following: The Original Plat of the City of New Castle as recorded in Plat Book 3A, Page 59; the plat of Rue and Holman's Addition to the City of New Castle as recorded in Plat Book 3A, Page 92; a Survey for the City of New Castle, prepared by K.E. Buckley, dated September 17, 1998; a Survey for the New Castle Public Library, prepared by Coor Consulting, dated October 10, 2000; an ALTA/ACSM Land Title Survey for New Castle Public Library, prepared by Coor Consulting, Job Number 00-379B, dated October 18, 2002; a Survey for New Castle Public Library, prepared by Coor Consulting, Job Number 00-379C, dated August 25, 2003; and current deeds of record for the subject tracts and adjoining tracts as referenced hereon.

Basis of Bearings: Bearings for this survey are based on an assumed bearing system as referenced in the current deeds of record for the overall subject tract and as referenced on the aforementioned prior surveys.

Theory of Location: The lines and corners as established this survey are based upon monuments found at or near the various corners of said prior surveys and deeds of record as more particularly described below.

Lines and corners of the subject tract were established by using existing curbs along Indiana Avenue and 15th Street. Distances shown within the plat for the City of New Castle and Rue Holman's Addition were used with the lines established by the curb splits.

Variations in Reference Monumentation:

Various monuments were found at or near the perimeter corners of the subject tracts as referenced hereon.

Discrepancies on the Record Plat or Record Descriptions:

The alley located on the overall subject tract was vacated per an "Ordinance to Vacate Alley" as described in Instrument Number 22012017 as shown hereon.

A driveway "right of way" per the title commitment and subject deed (Tract 3 per Instrument Number 20039427) is described as being a 5 foot by 100 foot area in the Northeast corner of said tract and also an additional right to use the North adjoining 5 foot. Due to insufficient geometry, this description has been depicted as 5' in a North/South direction and 100' in an East/West direction.

An apparent overlap of up to 16' exists between the "Library" tract and the 0.13 acre vacated alley tract both described in the title commitment and subject deed (Instrument Number 20039427).

An apparent overlap of up to 3' exists between PARCEL 2 per commitment (Instrument Number 200313058) and PARCEL 3 per commitment (Instrument Number 200507135). All of that part of PARCEL 3 is included in the Southerly portion of PARCEL 2.

Inconsistencies in Lines of Possession or Occupation:

Concrete curb and sidewalk extend up to 7.4' North of the North line of the overall subject tract as shown hereon.

The West face of an existing building was found to be generally along the East line of the overall subject tract as shown hereon.

Access to the overall subject tract exists along the North and South lines as indicated hereon.

A drainage tunnel exists along the eastern portion of the overall subject tract. No record documents describing an easement for said tunnel were found.

The sidewalk along the North side of Indiana Avenue is up to 5' North of the established right of way as shown hereon.

Flood Hazard Statement: The accuracy of the flood hazard information shown or identified hereon is subject to map scale uncertainty and to any other uncertainty in location or elevation on the referenced Flood Insurance Rate Map. The within described tract of land lies within Flood Hazard Zone X as said tract plots by scale on Community Panel Number 18065C0165D of the Flood Insurance Rate Maps for Henry County, Indiana (maps dated March 2, 2015).

Ownership: Ownership information indicated hereon is based upon information obtained in County or Township records or on title work provided by others.

CERTIFICATE OF SURVEY

To the best of my knowledge and belief, the within survey represents a survey made under my supervision in accordance with Title 865, Article 1, Chapter 12 of the Indiana Administrative Code. The fieldwork was completed on June 28, 2022 using standard surveying techniques.

ALTA/NSPS LAND TITLE SURVEY

To **New Castle-Henry County Library Building Corporation, an Indiana Corporation, New Castle/Henry County Public Library, Citizens State Bank of New Castle, Indiana, its successors and/or assigns as their interests may appear, IN Title Company/New Castle and Fidelity National Title Insurance Company:**

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6a, 6b, 7a1, 8, 9, 11b, 13 and 18 of Table A thereof. The fieldwork was completed on June 28, 2022.

Date of Plat or Map: 7/26/22

PRO FORMA

Christopher M. Cooper, P.S. # 21800010

Title Commitment: Evidence of source of title for the subject tract was provided in the form of IN Title Company / Fidelity National Title Insurance Company Commitment Number 20221660, dated July 19, 2022 at 9:00 A.M. Some of the items disclosed in Schedule BII thereof may have been depicted on the survey and are identified by their recording data. Should any additional items need to be depicted on the survey please advise and provide the appropriate documents.

SUMMARY OF ITEMS PER SCHEDULE B, PART II TITLE COMMITMENT EXCEPTIONS

Items 1-9 and 12-15 may affect the overall subject tract, however, are not plottable hereon.

10. Restrictions recorded with the plat of said Rue and Holman's Addition. [Outlot 9 of said addition shown hereon.](#)

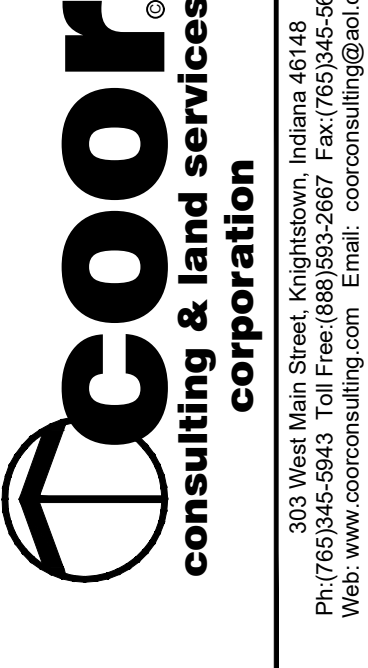
11. Restrictions recorded with the plat of said the Original Plat of the Town, Now City, of New Castle. [Outlot 13 of said plat shown hereon.](#)

SUMMARY OF TABLE "A" ITEMS

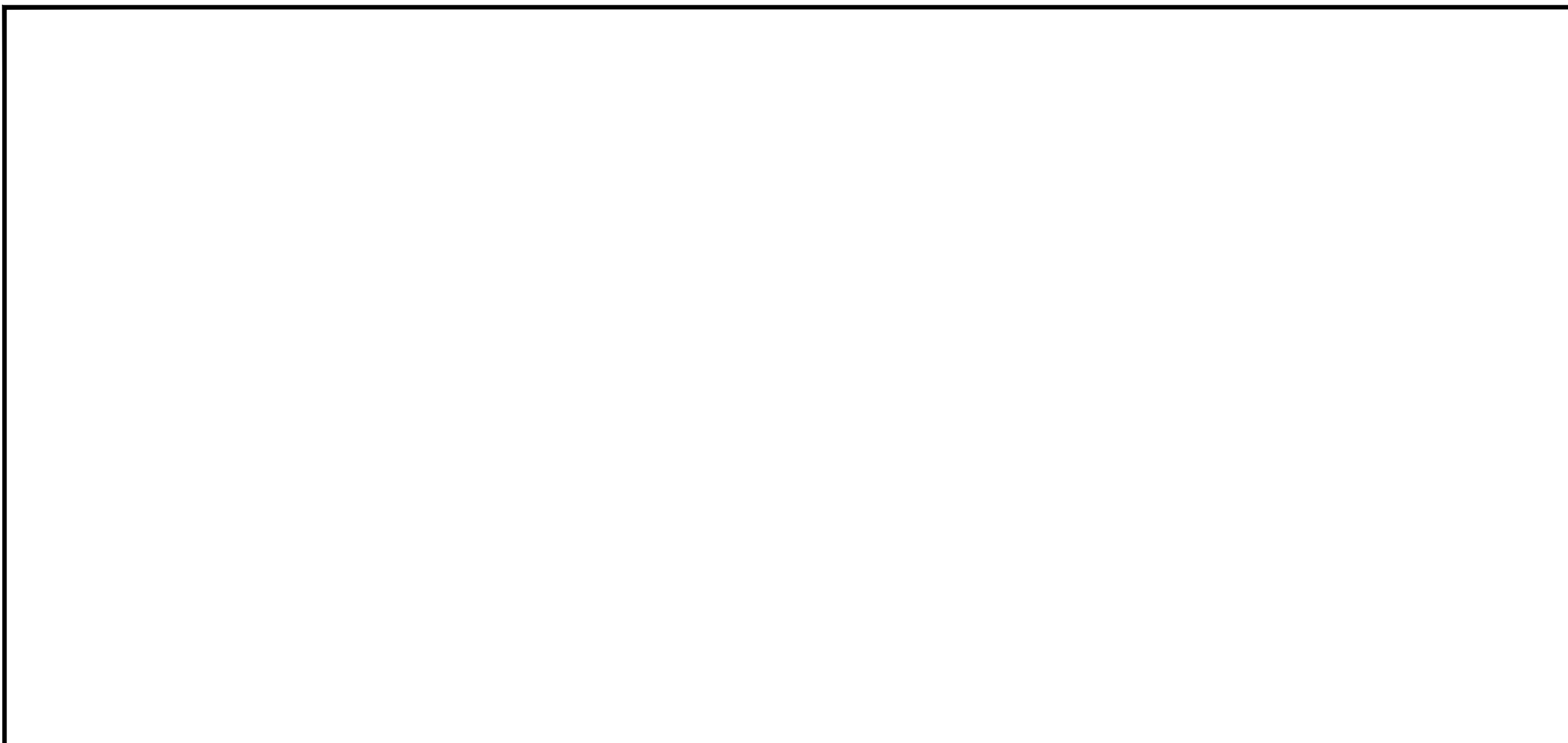
- 2.) Site Address: 376 South 15th Street, New Castle, IN 47362.
- 6.) No zoning information provided at the date of this survey.
- 7.) Buildings exist on the subject tracts as shown hereon.
- 11.) Reference utility note hereon.
- 18.) No plottable offsite easements provided.

NO.	REVISION:	DATE:	AUTH:

ALTANSPS LAND TITLE SURVEY	JOB #: 2022-052	NO.	REVISION:	DATE:	AUTH:
Prepared For: LWC, INCORPORATED	FILE #: 2022-052.DWG				
Project Location: [NEW CASTLE / HENRY COUNTY PUBLIC LIBRARY] 376 SOUTH 15TH STREET, NEW CASTLE, IN 47362	ORIGINAL DATE: 7/26/22				
HENRY TOWNSHIP HENRY COUNTY, INDIANA	APPROVED BY: CMC				
	DRAWN BY: WTL				

 <p style="font-size: 0.8em; margin-top: 5px;">303 West Main Street, Knightstown, Indiana 46148 Ph: (765)345-5943 Toll Free: (888)593-2667 Fax: (765)345-5692 Web: www.coorconsulting.com Email: coorconsulting@aol.com</p>	Sheet Number <div style="font-size: 4em; font-weight: bold; margin: 10px 0;">2</div> of 2
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GENERAL NOTES

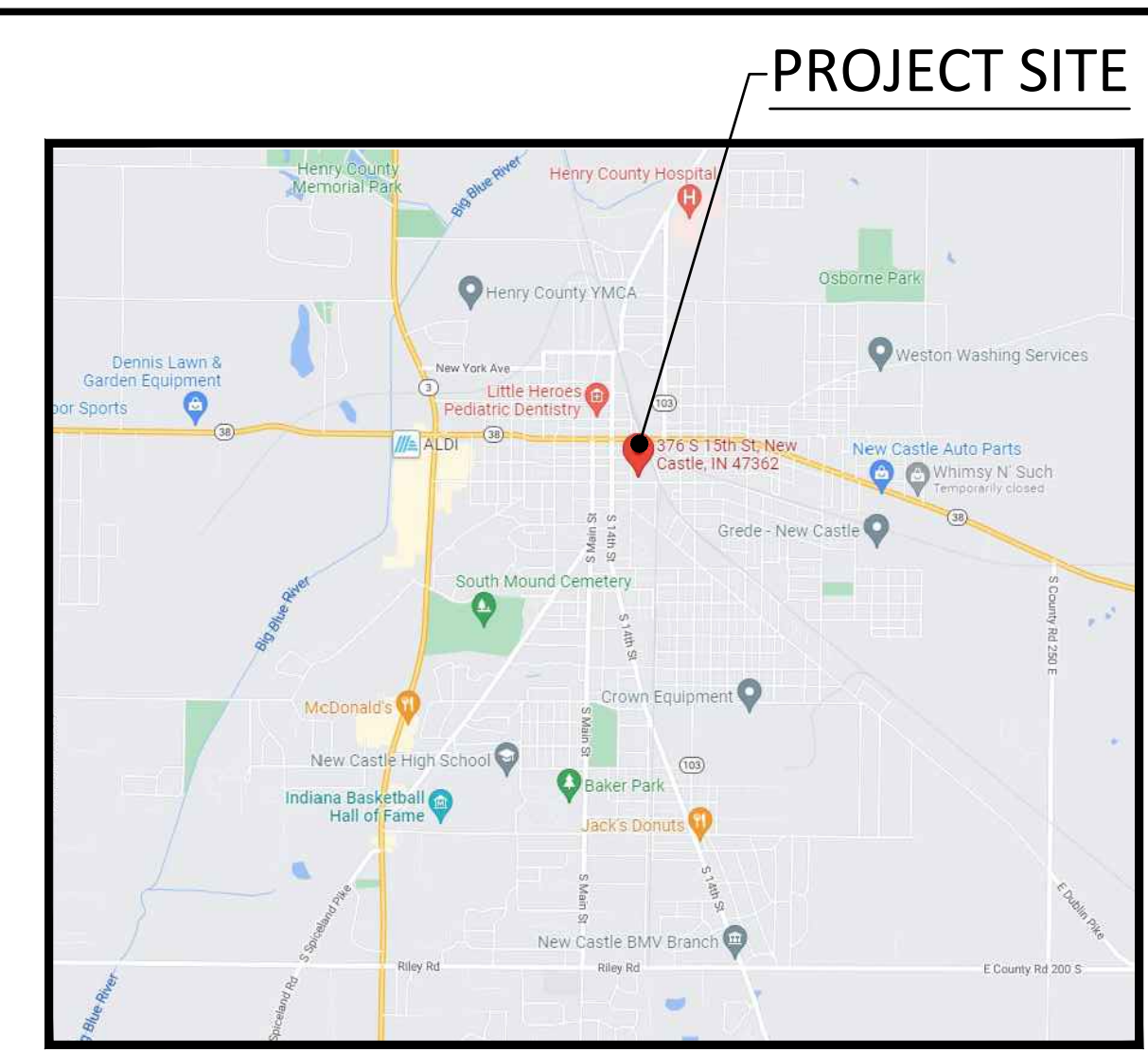
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, AND VERIFYING, THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, STATE AND FEDERAL AGENCIES PRIOR TO STARTING CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY LOCATION AND INVERT ELEVATIONS OF EXISTING SEWERS PRIOR TO START OF CONSTRUCTION.
3. CONTRACTOR SHALL MAINTAIN A COMPLETE AND OPERABLE UTILITY SYSTEM AT ALL TIMES.
4. CONTRACTOR SHALL INCLUDE COSTS FOR CUTTING AND PATCHING AS REQUIRED IN THEIR BID PROPOSAL TO COMPLETELY INSTALL THE WORK INDICATED.
5. CONTRACTOR SHALL INCLUDE ALL TAP FEES, PERMIT FEES AND APPLICATION FEES IN THEIR BID PROPOSAL AS NECESSARY TO COMPLETELY INSTALL THE WORK INDICATED.
6. INFORMATION SHOWN WAS OBTAINED FROM AN OWNER FURNISHED SITE SURVEY OF EXISTING CONDITIONS AND IS UNCONFIRMED. CONTRACTOR IS REQUIRED TO FIELD VERIFY THIS INFORMATION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES SO MODIFICATION CAN BE MADE.
7. CONTRACTOR SHALL COORDINATE EXACT UTILITY LOCATIONS WITH THE OWNER AND LOCAL UTILITY COMPANIES PRIOR TO COMMENCING ANY WORK. UTILIZE THE INDIANA UNDERGROUND UTILITY LOCATION SERVICE AT 811 OR 800-382-5544 PRIOR TO ANY EXCAVATION ON THE SITE.

SITE SYMBOLS AND ABBREVIATIONS

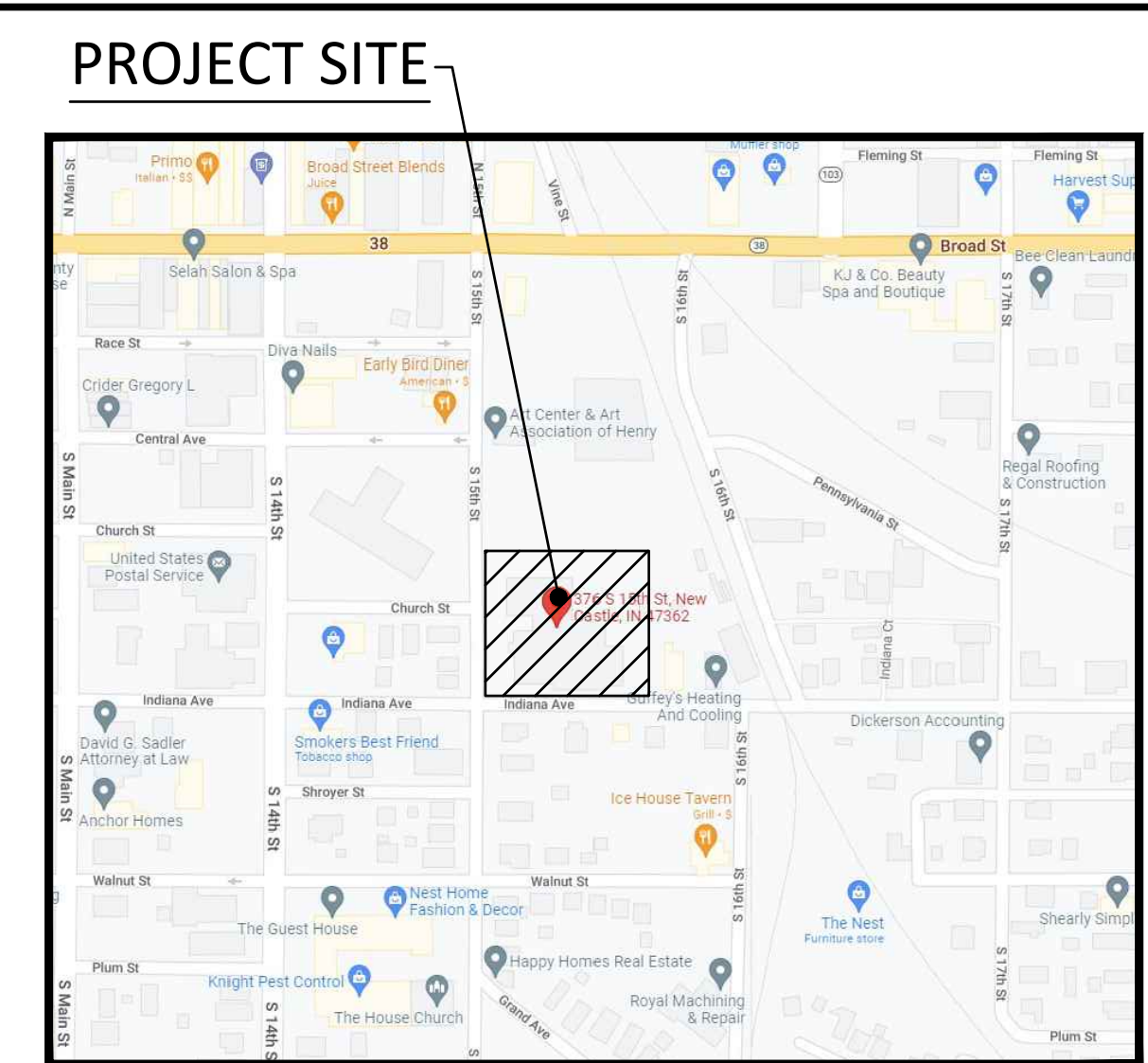
REFER TO SURVEY SHEETS 1-2 FOR EXISTING SURVEY SYMBOLS AND ABBREVIATIONS

678	NEW CONTOUR LINE	INV. 123.45	INVERT ELEVATION	☒	LIGHTED BOLLARD
123.45	NEW SPOT ELEVATION	STR.	NEW STRUCTURE	☈	HELIPAD LIGHT
123.45	TOP OF NEW CURB	---	CONSTRUCTION LIMIT LINE	☈	LIGHT POLE BASE
123.45	CURB GUTTER	---	SWALE	☈	POWER POLE
☉	BOLLARD	→	DIRECTION OF FLOW	☈	SEWER STRUCTURE
☉	CLEANOUT	☈	NEW UTILITY TO EXISTING UTILITY	☈	STORM INLET
☉	DOWNSPOUT	☈	VALVE	☈	WATER METER
☉	AREA DRAIN	☈	FENCE	☈	END SECTION
SAN	NEW UTILITY	☈	FIRE HYDRANT	☈	WIND SOCK
(RCP)	PIPE MATERIAL	☈	FLAG POLE	☈	SIGN
☉	FIRE DEPARTMENT CONNECTION	☈	TEE	☈	HANDHOLE/PULL BOX
☉	GAS METER	☈	TRANSFORMER	☈	PARKING BUMPER
☉	ELECTRIC MANHOLE	☈	POST INDICATOR VALVE	☈	ADA RAMP
		☈	ACCESSIBLE PARKING SYMBOL		

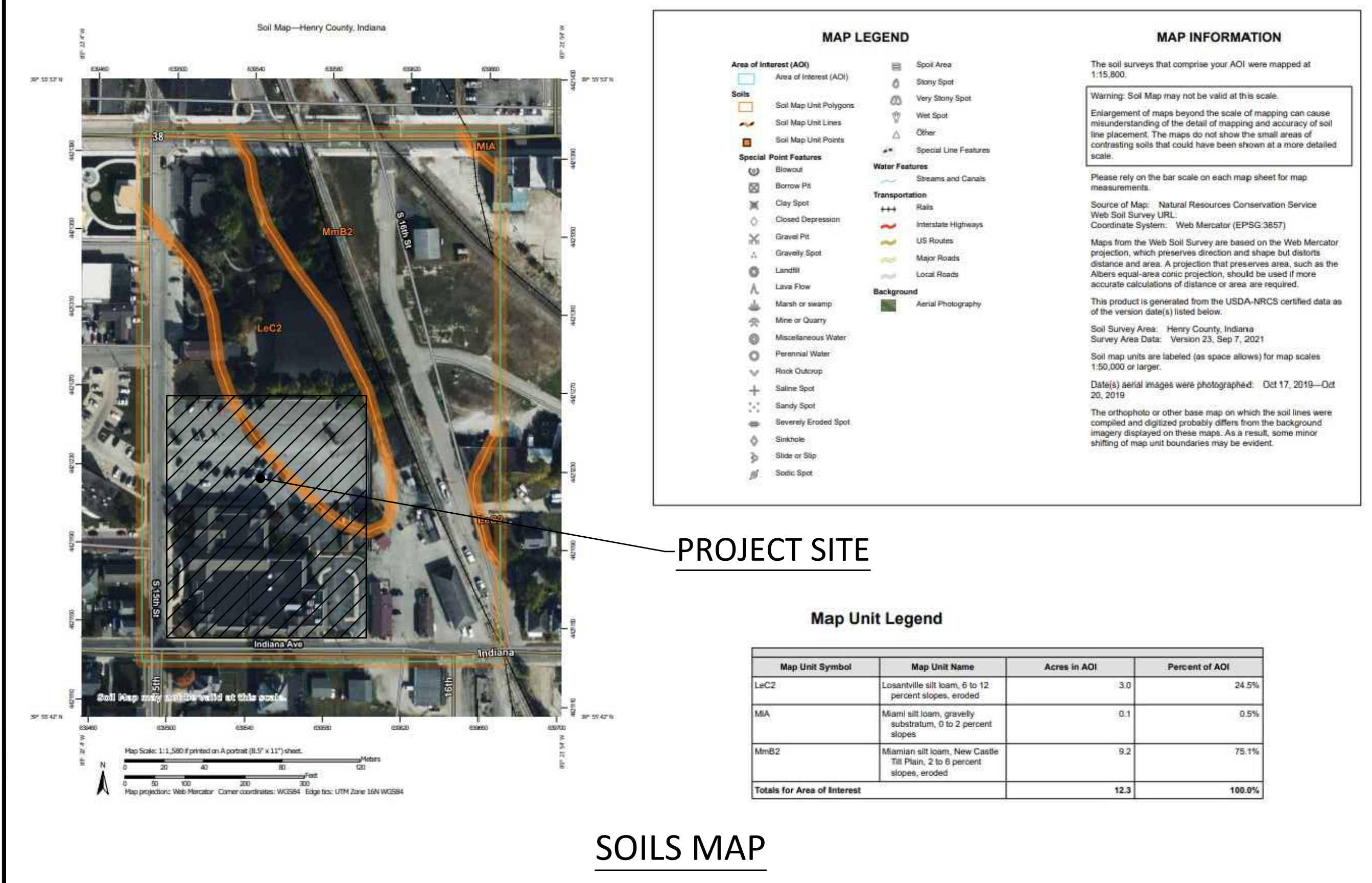
AD	AREA DRAIN	HDPE	HIGH DENSITY POLYETHYLENE PIPE	TW	TOP OF WALL
BW	BOTTOM OF WALL	ME	MATCH EXISTING	U/G	UNDERGROUND
CB	CATCH BASIN	INV	INVERT ELEVATION	W	WATER
CO	CLEANOUT	MH	MANHOLE	WV	WATER VALVE
DIP	DUCTILE IRON PIPE	O/H	OVERHEAD	COMM	COMMUNICATION/FIBER OPTICS
DS	DOWNSPOUT	PIV	POST INDICATOR VALVE	GV	GAS VALVE
E	ELECTRIC	PVC	POLYVINYL CHLORIDE PIPE	HP	HIGH POINT
EG	EXISTING GRADE	RCP	REINFORCED CONCRETE PIPE	LP	LOW POINT
EX	EXISTING	SAN	SANITARY SEWER		
FDC	FIRE DEPARTMENT CONNECTION	STM	STORM SEWER		
FH	FIRE HYDRANT	T	TELEPHONE		
G	GAS	ST	TOP OF CASTING ELEVATION		
CWS	CHILLED WATER SUPPLY	TOC	TOP OF CURB		
		CWR	CHILLED WATER RETURN		



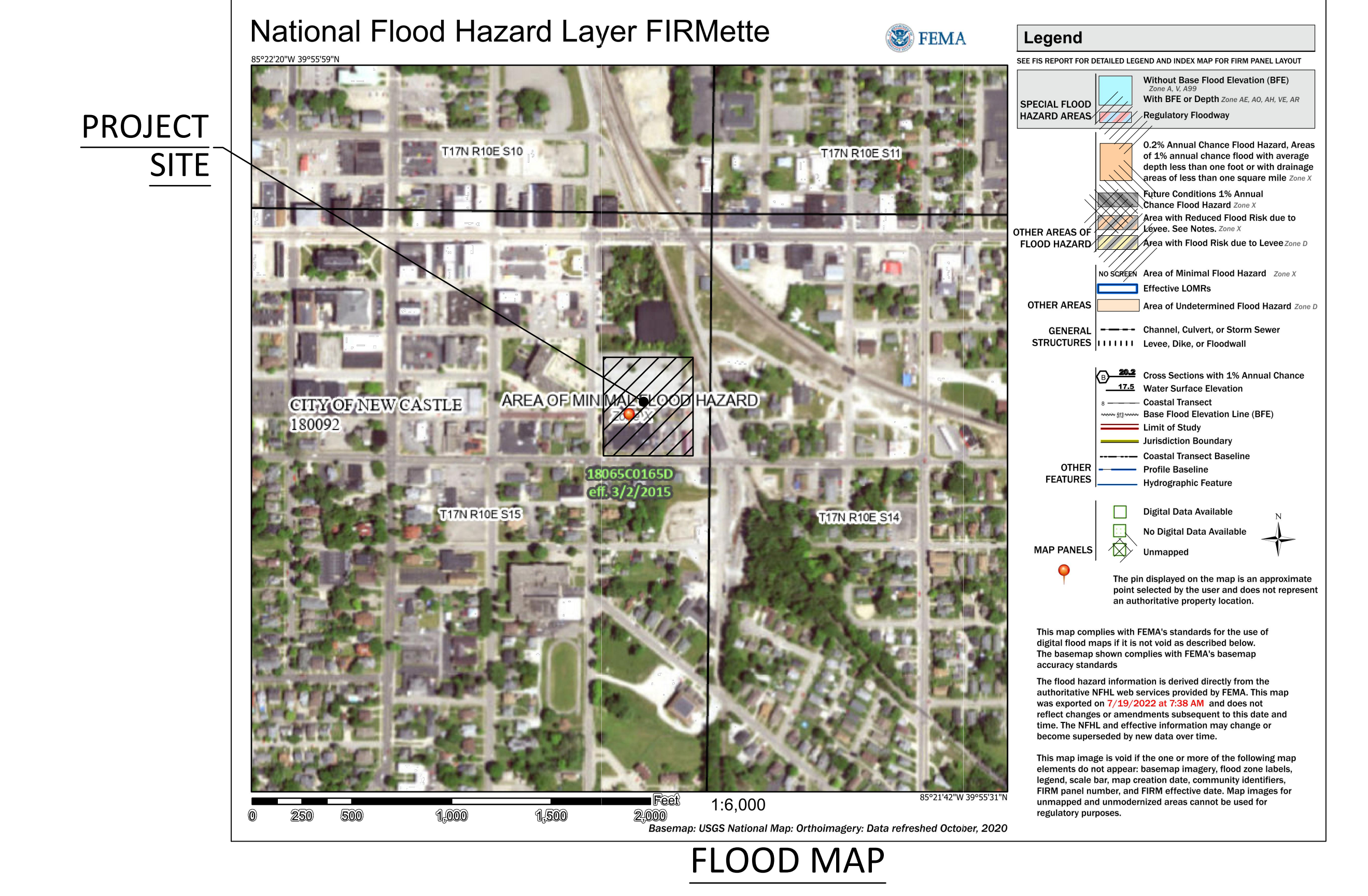
LOCATION MAP



VICINITY MAP



SOILS MAP



FLOOD MAP

SHEET NOTES:

GENERAL NOTES:

JPS CONSULTING ENGINEERS, LLC
 9365 Counselors Row, Suite 116
 Indianapolis, IN 46240
 ph 317.617.4270
 www.jpsconsultingengineers.com

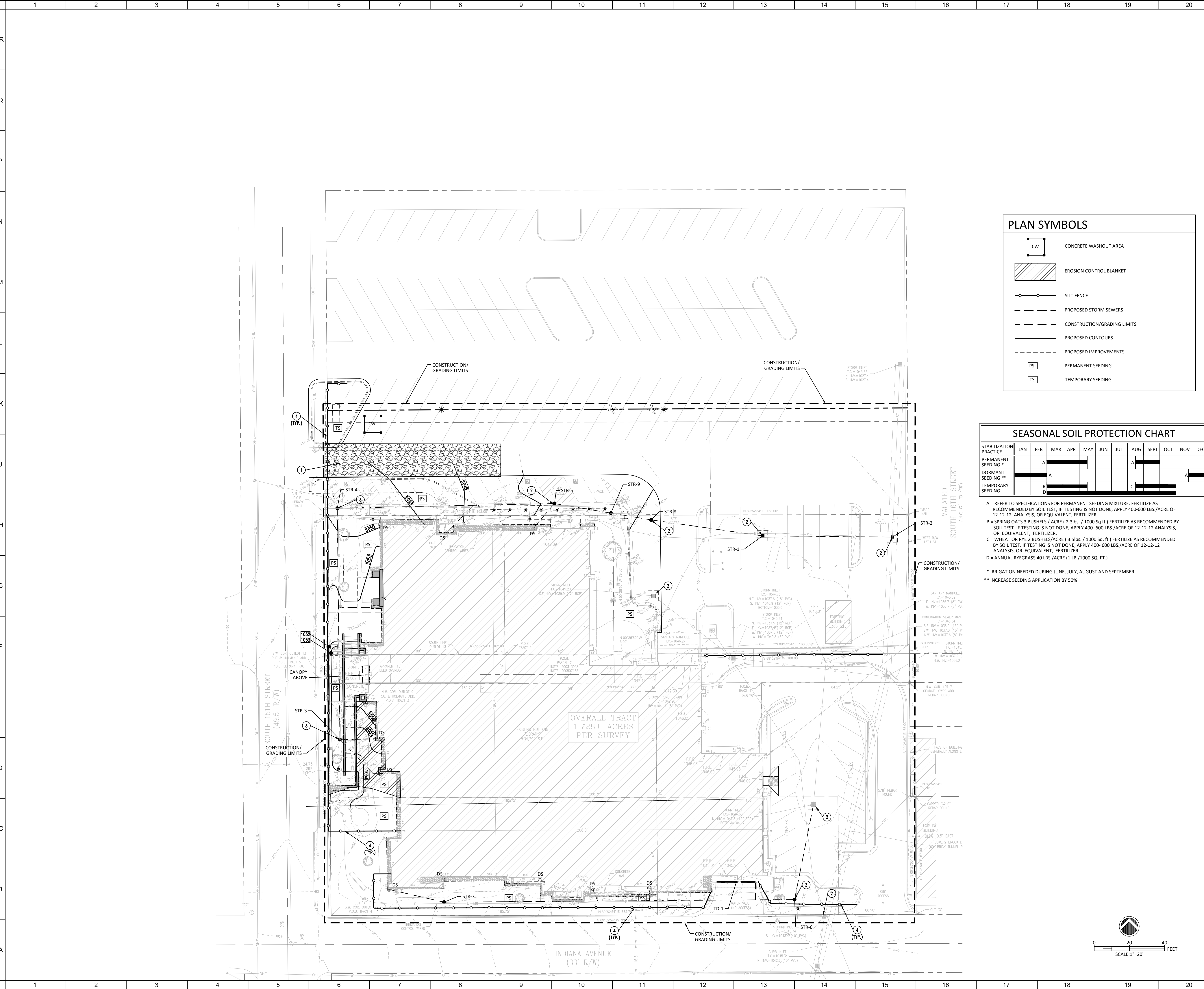
LWC INCORPORATED
 434 East First Street Dayton, OH 45402 937.223.6500
 712 East Main Street Richmond, IN 47374 765.966.3546

New Castle - Henry County Public Library
 376 S 15TH ST
 NEW CASTLE, IN 47362

INTERIOR & EXTERIOR RENOVATIONS
 376 S 15TH ST
 NEW CASTLE, IN 47362

PROJECT INFORMATION SHEET

Comm. No.	22105.00	Date	8.3.2023
Drawn	CLM	Checked	C001



PLAN SYMBOLS

- CONCRETE WASHOUT AREA
- EROSION CONTROL BLANKET
- SILT FENCE
- PROPOSED STORM SEWERS
- CONSTRUCTION/GRADING LIMITS
- PROPOSED CONTOURS
- PROPOSED IMPROVEMENTS
- PERMANENT SEEDING
- TEMPORARY SEEDING

SEASONAL SOIL PROTECTION CHART

STABILIZATION PRACTICE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEPT	OCT	NOV	DEC
PERMANENT SEEDING *		A						A				
DORMANT SEEDING **		A									A	
TEMPORARY SEEDING		B						C				

A = REFER TO SPECIFICATIONS FOR PERMANENT SEEDING MIXTURE. FERTILIZE AS RECOMMENDED BY SOIL TEST, IF TESTING IS NOT DONE, APPLY 400-600 LBS./ACRE OF 12-12-12 ANALYSIS, OR EQUIVALENT, FERTILIZER.

B = SPRING OATS 3 BUSHELS / ACRE (2.3lbs. / 1000 Sq ft) FERTILIZE AS RECOMMENDED BY SOIL TEST, IF TESTING IS NOT DONE, APPLY 400- 600 LBS./ACRE OF 12-12-12 ANALYSIS, OR EQUIVALENT, FERTILIZER.

C = WHEAT OR RYE 2 BUSHELS/ACRE (3.5lbs. / 1000 Sq. ft.) FERTILIZE AS RECOMMENDED BY SOIL TEST, IF TESTING IS NOT DONE, APPLY 400- 600 LBS./ACRE OF 12-12-12 ANALYSIS, OR EQUIVALENT, FERTILIZER.

D = ANNUAL RYEGRASS 40 LBS./ACRE (1 LB./1000 SQ. FT.)

* IRRIGATION NEEDED DURING JUNE, JULY, AUGUST AND SEPTEMBER

** INCREASE SEEDING APPLICATION BY 50%

SHEET NOTES:

1. CONSTRUCTION ENTRANCE.
2. BASKET INLET PROTECTION.
3. SILT FENCE INLET PROTECTION.
4. SILT FENCE.

GENERAL NOTES:

- A. TEMPORARILY SEED ALL DISTURBED AREA.
- B. REFER TO LANDSCAPE SHEETS FOR AREAS OF PERMANENT SEEDING AND/OR SOD.
- C. REFER TO STORMWATER POLLUTION PREVENTION NOTES AND DETAIL SHEETS.
- D. ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED BY THE INSPECTOR.

JPS CONSULTING ENGINEERS, LLC

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Indianapolis, IN 46240
ph 317.617.4270
www.jpsconsultingengineers.com

LWC INCORPORATED

434 East First Street Dayton, OH 45402 937.223.6500
712 East Main Street Richmond, IN 47374 765.966.3546

New Castle - Henry County Public Library

376 S 15TH ST
NEW CASTLE, IN 47362

INTERIOR & EXTERIOR RENOVATIONS

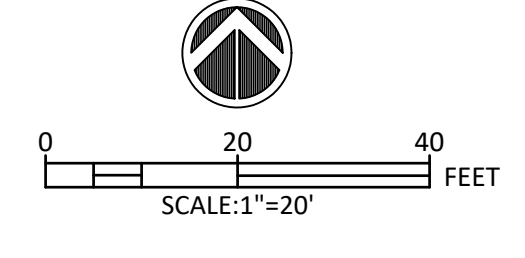
376 S 15TH ST
NEW CASTLE, IN 47362

STORMWATER POLLUTION PREVENTION PLAN

Comm. No.	Date
22105.00	8.3.2023
Drawn	Drawing No.
CLM	C100
Checked	

Andrew J. Swann

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STORMWATER POLLUTION PREVENTION MAINTENANCE NOTES

- 1. SILT FENCE: INSPECT SILT FENCE WEEKLY AND AFTER EACH STORM EVENT. IF FENCE FABRIC TEARS, STARTS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED PORTION IMMEDIATELY. REMOVE DEPOSITED SEDIMENT WHEN IT REACHES HALF THE HEIGHT OF THE FENCE AT ITS LOWEST POINT OR IS CAUSING THE FABRIC TO BULGE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE THE FENCE AND SEDIMENT DEPOSITS, BRING THE DISTURBED AREA TO GRADE AND STABILIZE.
2. CATCH BASIN FILTER: INSPECT WEEKLY AND AFTER EACH STORM EVENT. REMOVE BUILT-UP SEDIMENT AND REPLACE THE GEOTEXTILE FABRIC AFTER EACH STORM EVENT. PERIODICALLY REMOVE SEDIMENT AND TRACKED ON SOIL FROM THE STREET (BUT NOT BY FLUSHING WITH WATER) TO REDUCE THE SEDIMENT LOAD ON THIS CURB INLET PRACTICE.
3. EROSION CONTROL BLANKETS: DURING VEGETATIVE ESTABLISHMENT, INSPECT AFTER STORM EVENTS FOR ANY EROSION BELOW THE BLANKET. IF ANY AREA SHOWS EROSION, PULL BACK THAT PORTION OF THE BLANKET COVERING IT, ADD SOIL, RE-SEED THE AREA, RE-LAY AND STAPLE THE BLANKET. CHECK THE TREATED AREAS PERIODICALLY.
4. STONE CONSTRUCTION ENTRANCE: INSPECT ENTRANCE PAD AND SEDIMENT DISPOSAL AREA WEEKLY AND AFTER STORM EVENTS OR HEAVY USE. RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL. TOP DRESS WITH CLEAN STONE AS NEEDED. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. FLUSHING SHOULD ONLY BE USED IF THE WATER IS CONVEYED INTO A SEDIMENT TRAP OR BASIN. REPAIR ANY BROKEN ROAD PAVEMENT IMMEDIATELY.
5. CONCRETE WASHOUT: INSPECT DAILY FOR DAMAGE. REPAIR ANY DAMAGE IMMEDIATELY. MAINTAIN 12" MINIMUM FREEBOARD. CLEAN OR CONSTRUCT NEW WASHOUT ONCE EXISTING WASHOUT IS 75% FULL.

PROJECT NARRATIVE

THE PROPOSED PROJECT CONSISTS OF A NEW ADDITION TO THE EXISTING NEW CASTLE LIBRARY.

STORMWATER POLLUTION PREVENTION GENERAL NOTES

- 1. THE CONTRACTOR SHALL CONTROL WASTE, GARBAGE, DEBRIS, WASTEWATER, AND OTHER SUBSTANCES ON THE SITE IN SUCH A WAY THAT THEY SHALL NOT BE TRANSPORTED FROM THE SITE BY THE ACTION OF WINDS, STORM WATER RUNOFF, OR OTHER FORCES. PROPER DISPOSAL OR MANAGEMENT OF ALL WASTES AND UNUSED BUILDING MATERIAL, APPROPRIATE TO THE NATURE OF THE WASTE OR MATERIAL, IS REQUIRED.
2. PUBLIC OR PRIVATE ROADWAY SHALL BE KEPT CLEARED OF ACCUMULATED SEDIMENT. BULK CLEARING OF ACCUMULATED SEDIMENT SHALL NOT INCLUDE FLUSHING THE AREA WITH WATER. CLEARED SEDIMENT SHALL BE RETURNED TO THE POINT OF LIKELY ORIGIN OR OTHER SUITABLE LOCATION.
3. THE STORMWATER POLLUTION PREVENTION PLAN SHALL BE IMPLEMENTED ON ALL DISTURBED AREAS. ALL MEASURES INVOLVING POLLUTION PREVENTION PRACTICES SHALL BE INSTALLED UNDER THE GUIDANCE OF QUALIFIED PERSONNEL EXPERIENCED IN POLLUTION PREVENTION, AND FOLLOWING THE PLANS AND SPECIFICATIONS INCLUDED HEREIN.
4. ALL STORMWATER POLLUTION PREVENTION PLAN PRACTICES SHALL BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REQUIREMENTS FOR MATERIALS, INSTALLATION AND MAINTENANCE STANDARDS.
5. SEED ALL DISTURBED AREAS IMMEDIATELY AFTER GRADING SOIL. REFER TO SPECIFICATIONS FOR SEASONAL REQUIREMENTS AND SOIL PREPARATION.

STORMWATER POLLUTION PREVENTION PLAN - CONSTRUCTION SEQUENCE SCHEDULE

Table with 2 columns: CONSTRUCTION PHASE (SPECIFIC ACTIVITIES OR EROSION CONTROL PRACTICES)* and CONSTRUCTION OPERATIONS. Rows include: 1. DESCRIPTION OF POTENTIAL POLLUTANT SOURCES ASSOCIATED WITH CONSTRUCTION ACTIVITIES; 2. SEQUENCE DESCRIBING STORMWATER QUALITY MEASURES IMPLEMENTATION RELATIVE TO LAND DISTURBING ACTIVITIES; 3. STABILIZE CONSTRUCTION ENTRANCE LOCATIONS AND SPECIFICATIONS; 4. SEDIMENT CONTROL MEASURES FOR SHEET FLOW AREAS; 5. SEDIMENT CONTROL MEASURES FOR CONCENTRATED FLOW AREAS; 6. STORM SEWER INLET PROTECTION MEASURE LOCATIONS AND SPECIFICATIONS; 7. RUNOFF CONTROL MEASURES; 8. STORMWATER OUTLET PROTECTION SPECIFICATIONS; 9. GRADE STABILIZATION STRUCTURES AND SPECIFICATIONS; 10. LOCATION, DIMENSIONS, SPECIFICATIONS AND CONSTRUCTION DETAILS OF EACH STORM WATER QUALITY MEASURE; 11. TEMPORARY SURFACE STABILIZATION METHODS APPROPRIATE FOR EACH SEASON; 12. PERMANENT SURFACE STABILIZATION SPECIFICATIONS; 13. MATERIAL HANDLING AND SPILL PREVENTION PLAN; 14. MONITORING AND MAINTENANCE GUIDELINES FOR EACH PROPOSED STORMWATER QUALITY MEASURE; 15. SOIL STOCKPILE AND STAGING AREA.

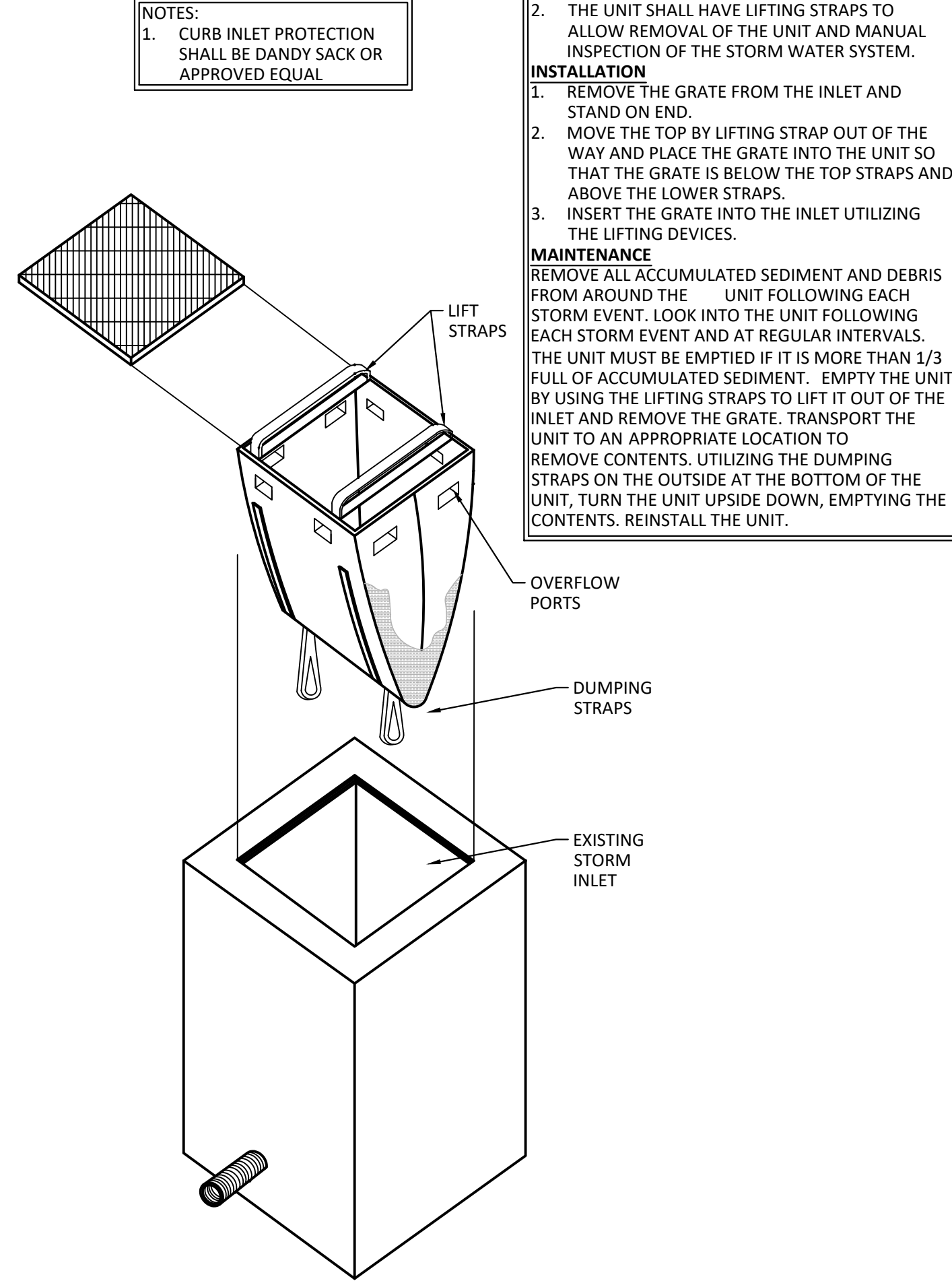
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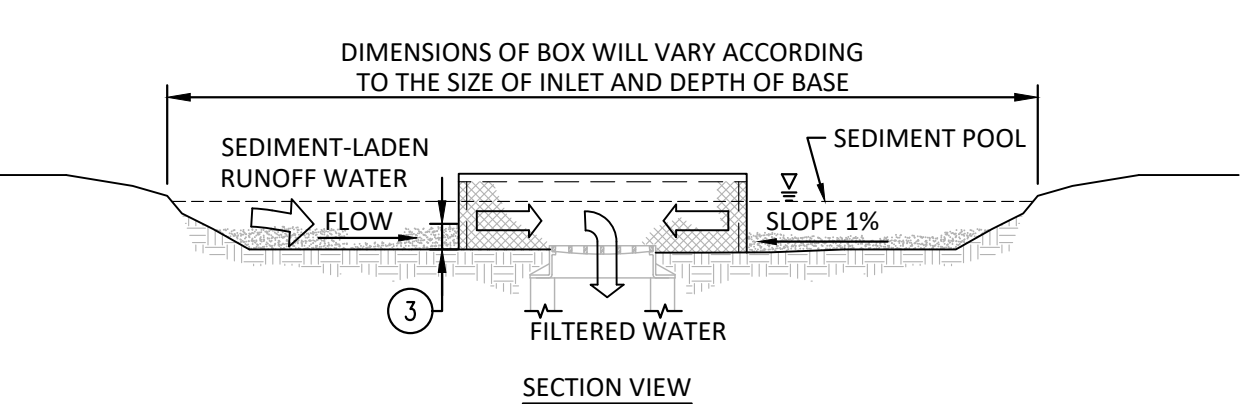
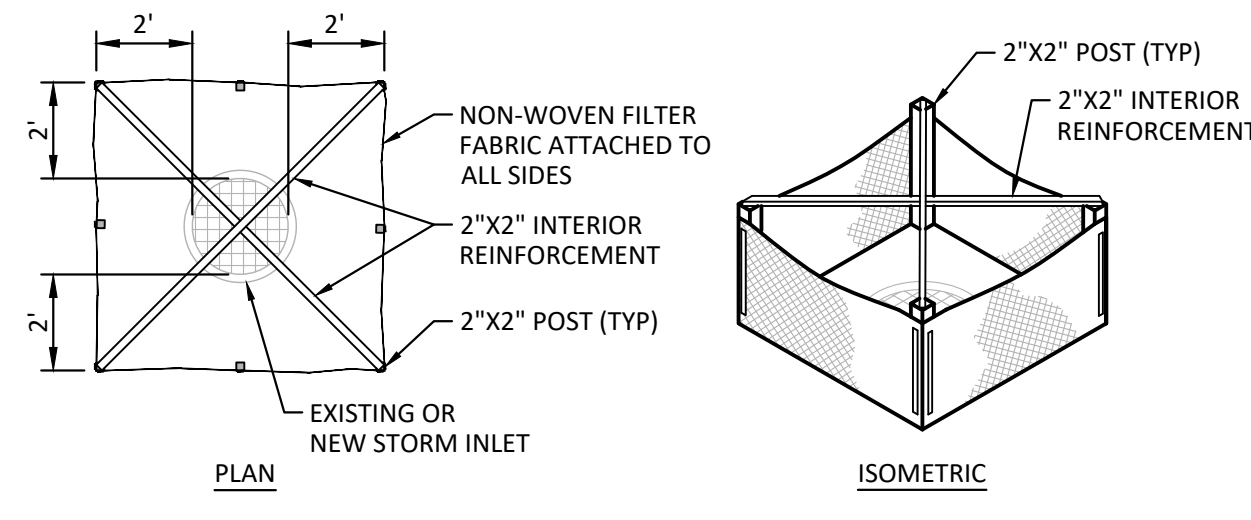
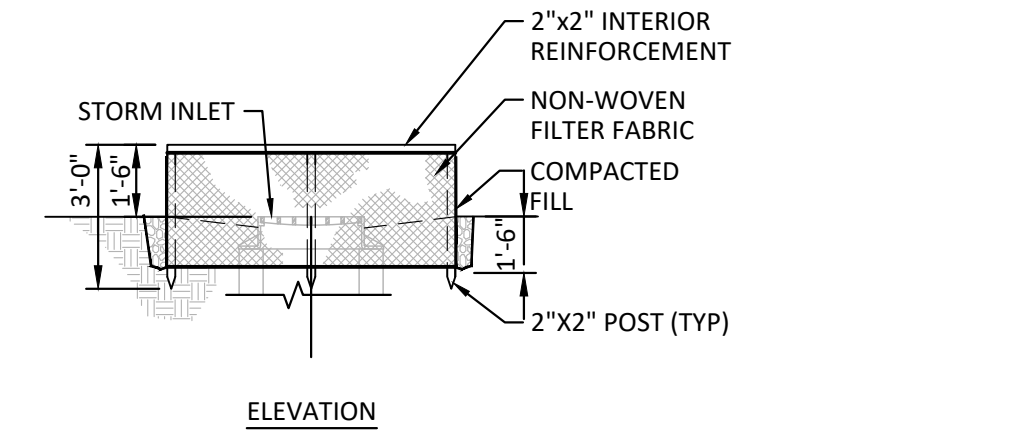
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STORMWATER POLLUTION PREVENTION NOTES & DETAILS
Comm. No. 22105.00 Date 8.3.2023
Drawing No. CLM
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C110

REQUIREMENTS
1. THE INLET PROTECTION UNIT SHALL BE A SEWN GEOTEXTILE FABRIC UNIT.
2. THE UNIT SHALL HAVE LIFTING STRAPS TO ALLOW REMOVAL OF THE UNIT AND MANUAL INSPECTION OF THE STORM WATER SYSTEM.
INSTALLATION
1. REMOVE THE GRATE FROM THE INLET AND STAND ON END.
2. MOVE THE TOP BY LIFTING STRAP OUT OF THE WAY AND PLACE THE GRATE INTO THE UNIT SO THAT THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS.
3. INSERT THE GRATE INTO THE INLET UTILIZING THE LIFTING DEVICES.
MAINTENANCE
REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM AROUND THE UNIT FOLLOWING EACH STORM EVENT. LOOK INTO THE UNIT FOLLOWING EACH STORM EVENT AND AT REGULAR INTERVALS. THE UNIT MUST BE EMPTIED IF IT IS MORE THAN 1/3 FULL OF ACCUMULATED SEDIMENT. EMPTY THE UNIT BY USING THE LIFTING STRAPS TO LIFT IT OUT OF THE INLET AND REMOVE THE GRATE. TRANSPORT THE UNIT TO AN APPROPRIATE LOCATION TO REMOVE CONTENTS. UTILIZING THE DUMPING STRAPS ON THE OUTSIDE AT THE BOTTOM OF THE UNIT, TURN THE UNIT UPSIDE DOWN, EMPTING THE CONTENTS. REINSTALL THE UNIT.

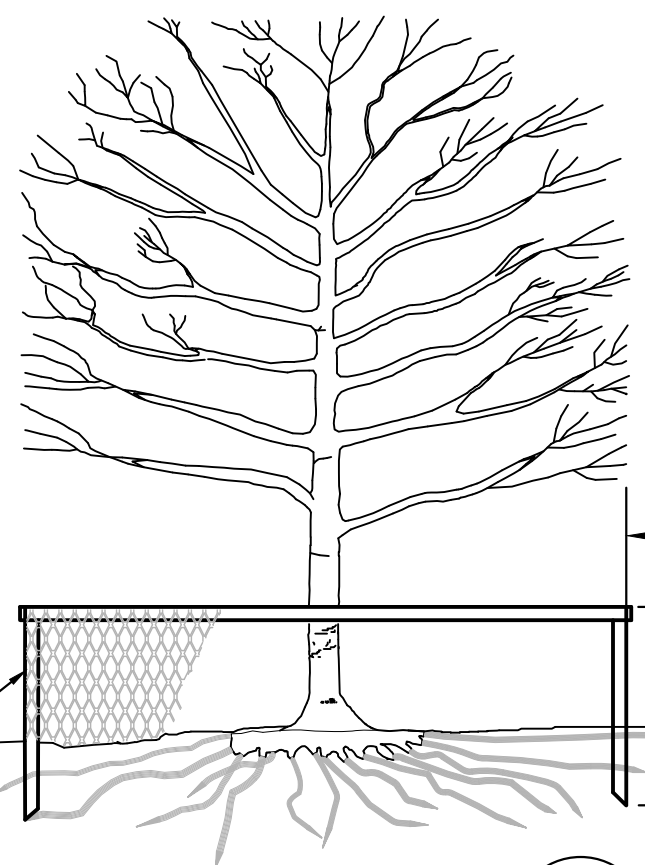


6 INLET PROTECTION DETAIL NO SCALE



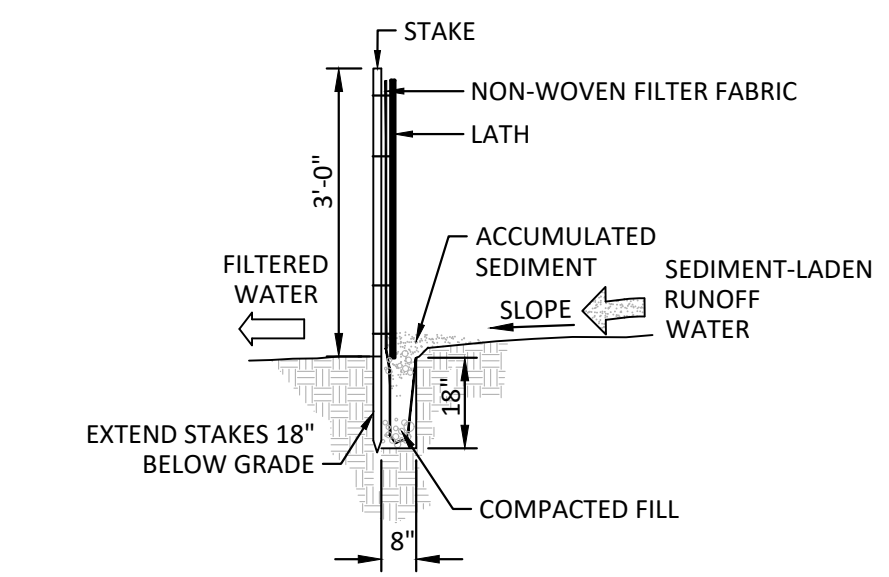
NOTES
1. INSTALL TEMPORARY AND PERMANENT SEDIMENT AND EROSION CONTROL PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER CONSTRUCTION OF NEW INLET STRUCTURE.
2. REMOVE SEDIMENT DEPOSITS WHEN THEY REACH 1/3 THE FENCE HEIGHT.

5 SILT FENCE INLET PROTECTION DETAIL NO SCALE



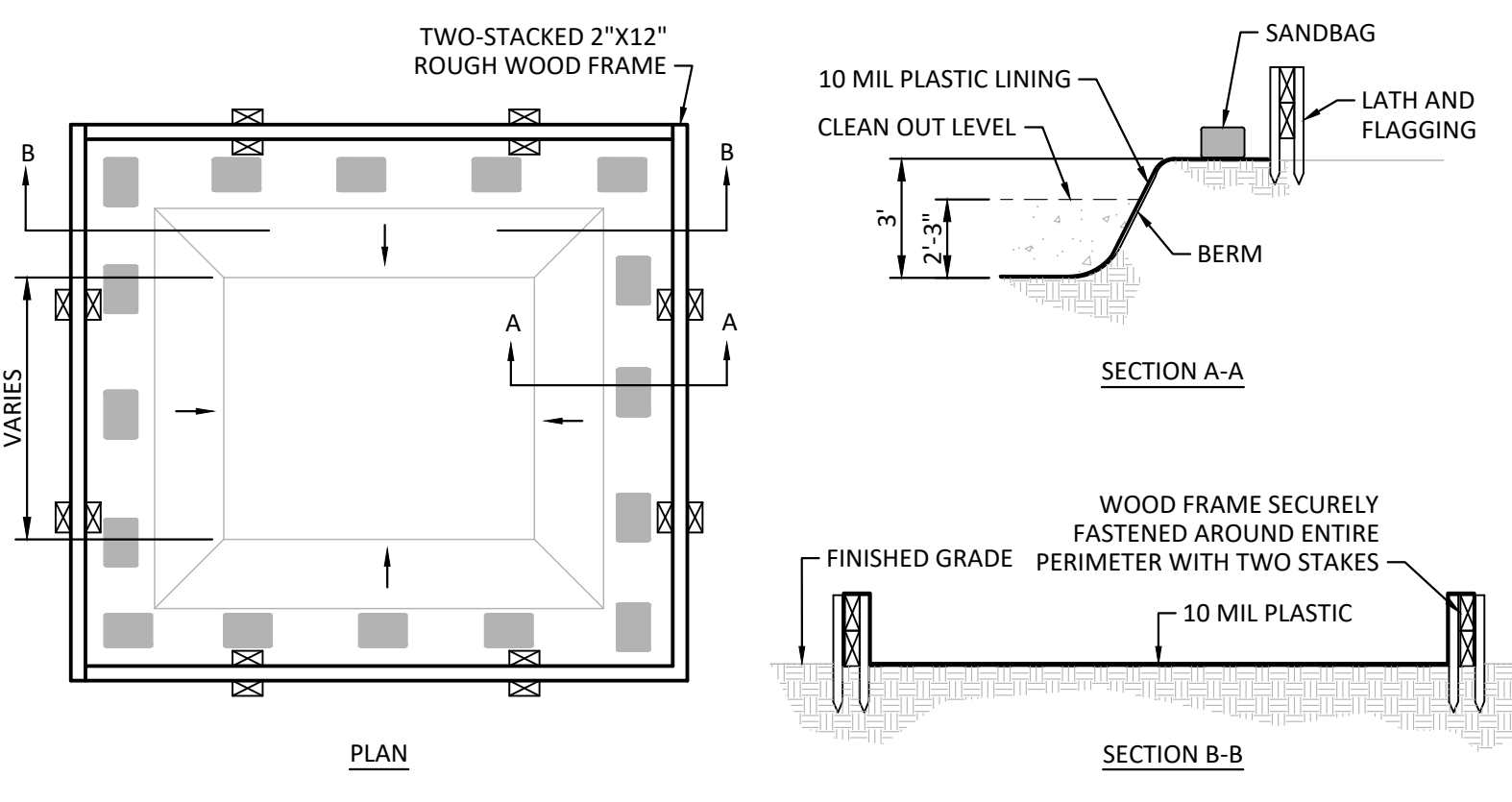
NOTES
1. BEFORE STARTING TREE PROTECTION, MEET WITH REPRESENTATIVES OF THE OWNER, AND ARCHITECT. REVIEW TREE PROTECTION PROCEDURES AND RESPONSIBILITIES. NOTIFY PARTICIPANTS AT LEAST 1 WEEK BEFORE CONVENING CONFERENCE.
2. INSTALL TEMPORARY FENCING LOCATED AS INDICATED OR OUTSIDE THE DRIP LINE & CRITICAL ROOT ZONE OF TREES TO PROTECT REMAINING VEGETATION FROM CONSTRUCTION DAMAGE.
3. PROTECT TREE ROOT SYSTEM FROM DAMAGE DUE TO NOXIOUS MATERIALS CAUSED BY RUNOFF OR SPILLAGE WHILE MIXING, PLACING, OR STORING CONSTRUCTION MATERIALS. PROTECT ROOT SYSTEMS FROM FLOODING, ERODING, OR EXCESSIVE WETTING CAUSED BY DEWATERING OPERATIONS. DO NOT STORE CONSTRUCTION MATERIALS, DEBRIS, OR EXCAVATED MATERIAL WITHIN THE DRIP LINE & CRITICAL ROOT ZONE OF REMAINING TREES. DO NOT PERMIT VEHICLES OR FOOT TRAFFIC WITHIN THE DRIP LINE & CRITICAL ROOT ZONE. PREVENT SOIL COMPACTION OVER ROOT SYSTEMS. DO NOT EXCAVATE OR TRENCH WITHIN DRIP LINE OF TREES UNLESS OTHERWISE INDICATED.

4 TREE PROTECTION DETAIL NO SCALE



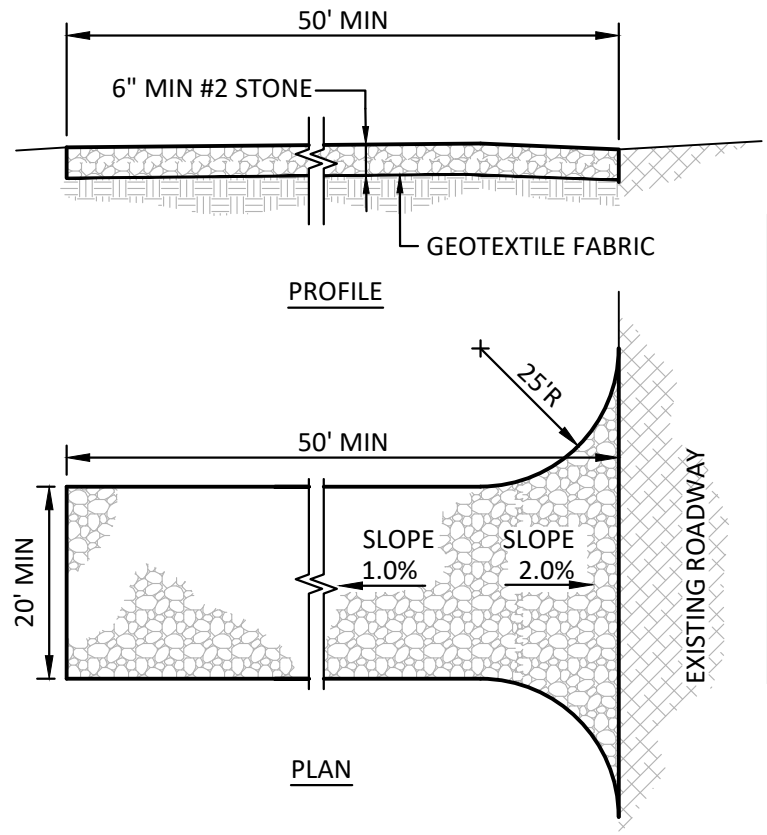
NOTES
1. INSTALL TEMPORARY AND PERMANENT SEDIMENT AND EROSION CONTROL PRACTICES PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES.
2. REFER TO SPECIFICATIONS FOR SILT FENCE INFORMATION. INSTALL AND MAINTAIN PER MANUFACTURER'S RECOMMENDATIONS.

2 SILT FENCE DETAIL NO SCALE



NOTES
1. PORTLAND CEMENT CONCRETE WASTE SHALL NOT BE ALLOWED TO ENTER STORM DRAINS OR WATERCOURSES.
2. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE LOCATED AT LEAST 50 FEET FROM OPEN DRAINAGE FACILITIES AND WATERCOURSES. EACH FACILITY SHALL BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING.
3. PERFORM WASHOUT OF MIX TRUCK CHUTES IN DESIGNATED AREAS ONLY. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITY SHALL BE RESTORED TO ORIGINAL GROUND WITH BERM AND SIMILAR SOIL MATERIALS. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM FREEBOARD OF 12 INCHES. MAINTAINING TEMPORARY WASHOUT FACILITIES SHALL INCLUDE REMOVING AND LEGALLY DISPOSING OF HARDENED CONCRETE AND RETURNING THE FACILITY TO A FUNCTIONAL CONDITION.
4. EXISTING FACILITIES MUST BE CLEANED, OR NEW FACILITIES CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL.
5. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM FREEBOARD OF 12 INCHES. MAINTAINING TEMPORARY WASHOUT FACILITIES SHALL INCLUDE REMOVING AND LEGALLY DISPOSING OF HARDENED CONCRETE AND RETURNING THE FACILITY TO A FUNCTIONAL CONDITION.
6. EXISTING FACILITIES MUST BE CLEANED, OR NEW FACILITIES CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL.
7. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM FREEBOARD OF 12 INCHES. MAINTAINING TEMPORARY WASHOUT FACILITIES SHALL INCLUDE REMOVING AND LEGALLY DISPOSING OF HARDENED CONCRETE AND RETURNING THE FACILITY TO A FUNCTIONAL CONDITION.
8. CONTRACTOR TO INSTALL TEMPORARY SIGNAGE OR SUFFICIENT MATERIALS TO INDICATE THE LOCATION OF THE WASHOUT AREA TO MIX TRUCK DRIVERS.

3 CONCRETE WASHOUT AREA DETAIL NO SCALE

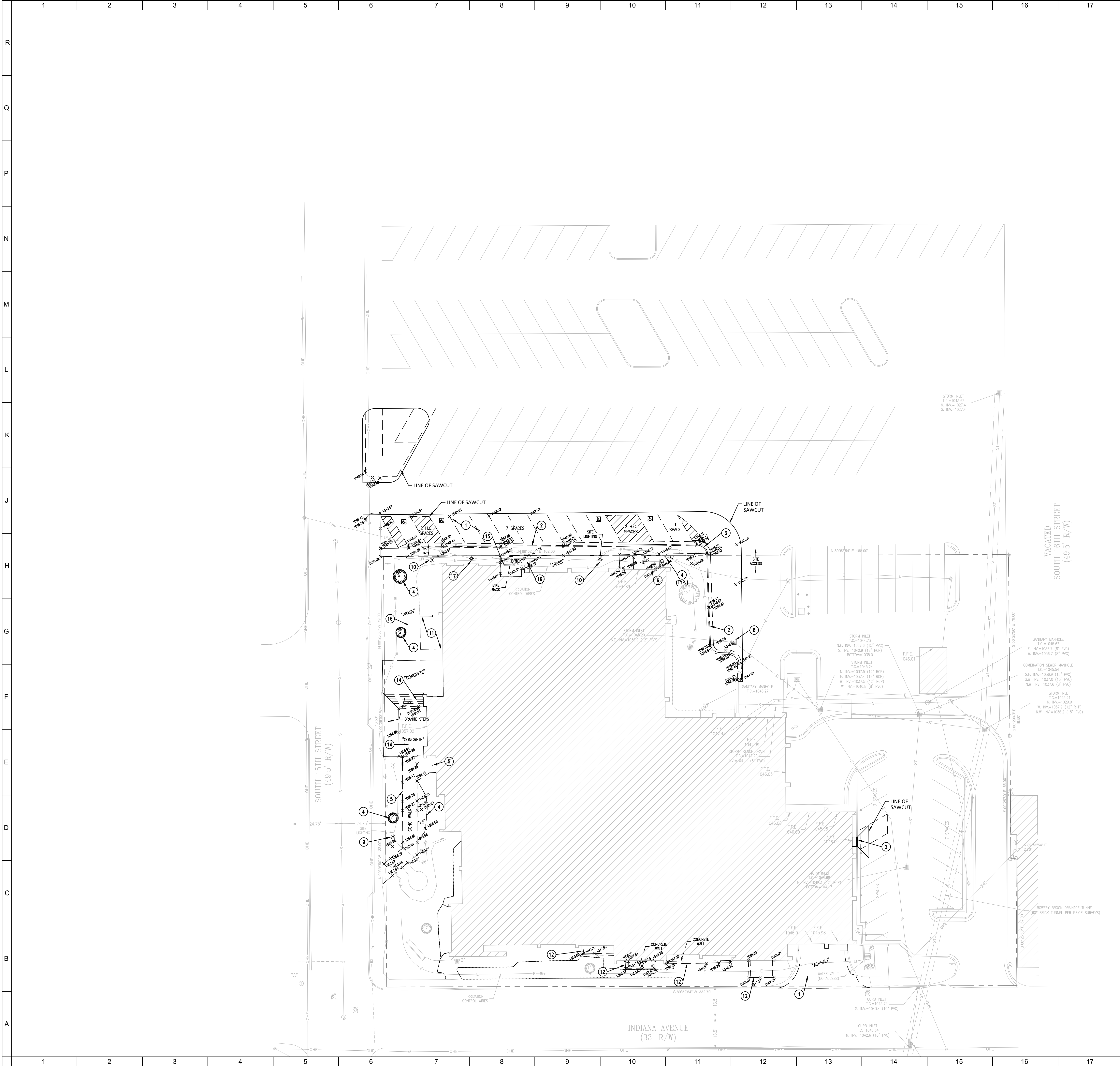


NOTES
1. CONTRACTOR SHALL ACQUIRE ALL PERMITS AND APPROVAL FROM AGENCY HAVING JURISDICTION OF ROADWAY. RESHAPE PAD AS NEEDED FOR RUNOFF CONTROL. TOP DRESS WITH CLEAN STONE AS NEEDED. INSPECT WEEKLY.
2. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ON TO EXISTING ROADWAY.
3. REPAIR DAMAGE TO EXISTING PAVEMENT IMMEDIATELY.
4. REPAIR DAMAGE TO EXISTING PAVEMENT IMMEDIATELY.
5. INSTALL TEMPORARY CULVERT PIPE IF REQUIRED TO MAINTAIN EXISTING RUNOFF PATTERNS.

1 CONSTRUCTION ENTRANCE DETAIL NO SCALE

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- SHEET NOTES:**
1. REMOVE EXISTING ASPHALT PAVEMENT COMPLETE. MAKE STRAIGHT SAW-CUT AT TERMINATION.
 2. REMOVE EXISTING CONCRETE CURB COMPLETE. MAKE STRAIGHT SAW-CUT AT TERMINATION.
 3. REMOVE EXISTING CONCRETE WALK AND CURB COMPLETE. MAKE STRAIGHT SAW-CUT AT NEXT ADJACENT JOINT.
 4. REMOVE EXISTING PLANTINGS COMPLETE.
 5. REMOVE EXISTING CONCRETE WALK COMPLETE.
 6. REMOVE EXISTING CONCRETE COMPLETE.
 7. REMOVE EXISTING BOLLARD COMPLETE.
 8. ADJUST CASTING TO PROPOSED GRADE. SEE GRADING PLAN.
 9. REMOVE EXISTING SITE LIGHT. REFER TO ELECTRICAL PLAN FOR NEW LIGHT FIXTURE INFORMATION.
 10. EXISTING LIGHT POLE TO BE REMOVED AND REINSTALLED ON NEW CONCRETE FOUNDATION. REFER TO ELECTRICAL FIXTURE PLANS FOR MORE INFORMATION.
 11. REMOVE EXISTING PATIO, WALLS, AND FOUNDATIONS COMPLETE.
 12. REMOVE EXISTING RETAINING BLOCKS.

- SHEET NOTES:**
13. REMOVE RETAINING WALL.
 14. REMOVE CONCRETE PATIO, WALL, FOOTINGS, AND GRANITE STAIRS.
 15. REMOVE BIKE RACK.
 16. REMOVE BRICK PAVERS.
 17. REMOVE TELEPHONE POLE AND FLOOD LIGHT. CONFIRM OWNERSHIP WITH CITY.

GENERAL NOTES:

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9365 Counselors Row, Suite 116
 Indianapolis, IN 46240
 ph 317.617.4270
 www.jpsconsultingengineers.com

No.	Revisions / Submissions	Date

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SITE DEMOLITION PLAN

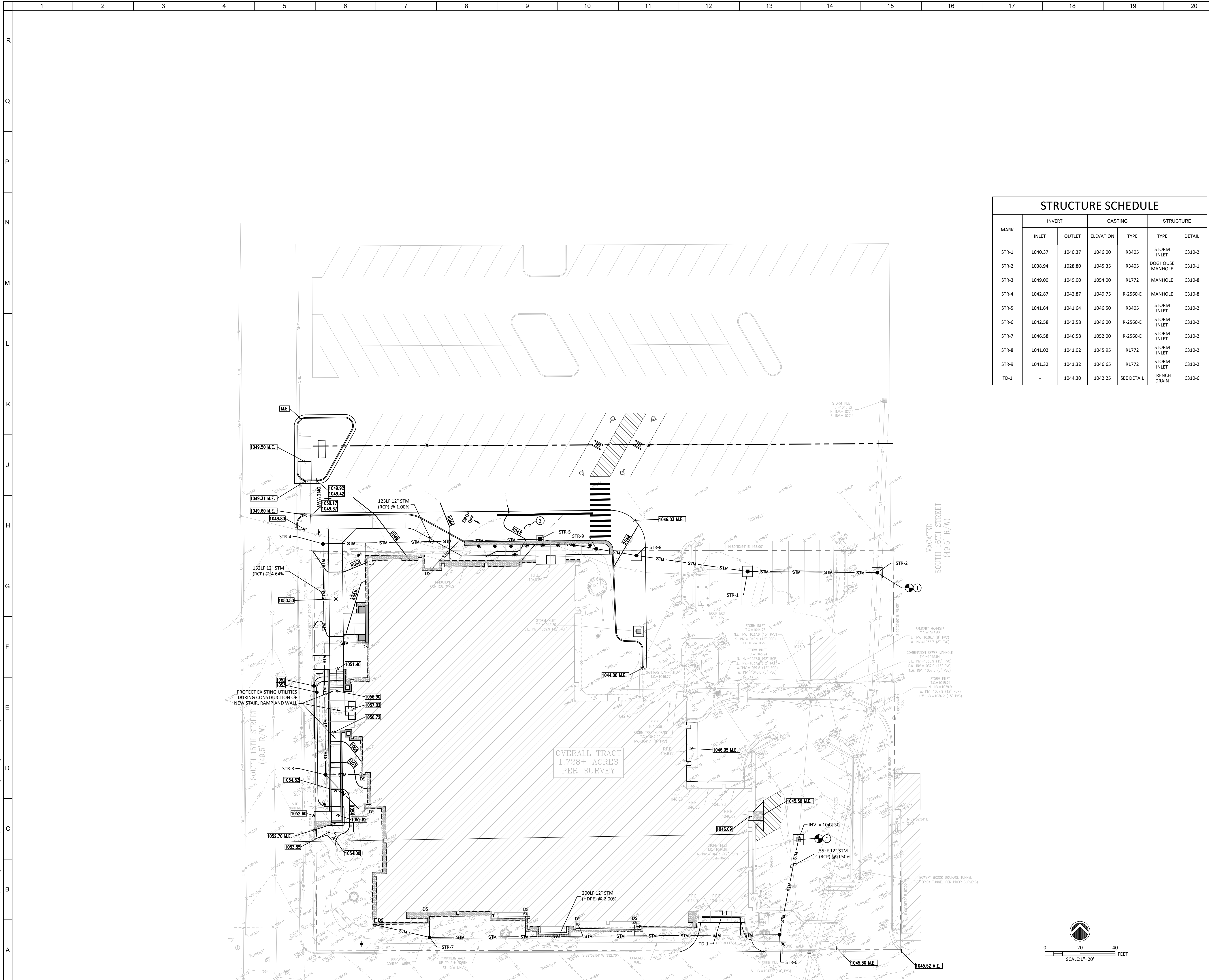
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Drawn	Drawing No.
CLM	C200
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SHEET NOTES:

- CONTRACTOR TO FIELD VERIFY EXISTING STORM SEWER LOCATION, ELEVATION AND SIZE.
- NEW INLET SUBSURFACE DRAIN.

STRUCTURE SCHEDULE

MARK	INVERT		CASTING		STRUCTURE	
	INLET	OUTLET	ELEVATION	TYPE	TYPE	DETAIL
STR-1	1040.37	1040.37	1046.00	R3405	STORM INLET	C310-2
STR-2	1038.94	1028.80	1045.35	R3405	DOGHOUSE MANHOLE	C310-1
STR-3	1049.00	1049.00	1054.00	R1772	MANHOLE	C310-8
STR-4	1042.87	1042.87	1049.75	R-2560-E	MANHOLE	C310-8
STR-5	1041.64	1041.64	1046.50	R3405	STORM INLET	C310-2
STR-6	1042.58	1042.58	1046.00	R-2560-E	STORM INLET	C310-2
STR-7	1046.58	1046.58	1052.00	R-2560-E	STORM INLET	C310-2
STR-8	1041.02	1041.02	1045.95	R1772	STORM INLET	C310-2
STR-9	1041.32	1041.32	1046.65	R1772	STORM INLET	C310-2
TD-1	-	1044.30	1042.25	SEE DETAIL	TRENCH DRAIN	C310-6

- GENERAL NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, AND VERIFYING, THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, STATE AND FEDERAL AGENCIES PRIOR TO STARTING CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY LOCATION AND INVERT ELEVATIONS OF EXISTING SEWERS PRIOR TO START OF CONSTRUCTION.
 - CONTRACTOR SHALL MAINTAIN A COMPLETE AND OPERABLE UTILITY SYSTEM AT ALL TIMES.
 - CONTRACTOR SHALL INCLUDE COSTS FOR CUTTING AND PATCHING AS REQUIRED IN THEIR BID PROPOSAL TO COMPLETELY INSTALL THE WORK INDICATED.
 - CONTRACTOR SHALL INCLUDE ALL TAP FEES, PERMIT FEES AND APPLICATION FEES IN THEIR BID PROPOSAL AS NECESSARY TO COMPLETELY INSTALL THE WORK INDICATED.
 - INFORMATION SHOWN WAS OBTAINED FROM AN OWNER FURNISHED SITE SURVEY OF EXISTING CONDITIONS AND IS UNCONFIRMED. CONTRACTOR IS REQUIRED TO FIELD VERIFY THIS INFORMATION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES SO MODIFICATION CAN BE MADE.
 - CONTRACTOR SHALL COORDINATE EXACT UTILITY LOCATIONS WITH THE OWNER AND LOCAL UTILITY COMPANIES PRIOR TO COMMENCING ANY WORK. UTILIZE THE INDIANA UNDERGROUND UTILITY LOCATION SERVICE AT 811 OR 800-382-5544 PRIOR TO ANY EXCAVATION ON THE SITE.
 - CASTINGS TO BE NEENAH TYPE OR APPROVED EQUAL.
 - REFER TO UTILITY DETAILS FOR NOTE REFERENCES.
 - ALL CASTINGS SHALL HAVE THE WORDS "NO DUMPING DRAINS TO STREAM" CAST IN RAISED OR RECESSED LETTERS AT A MINIMUM OF 1" HEIGHT. A SYMBOL OF A FISH SHALL ALSO BE CAST WITH THE LETTERS.

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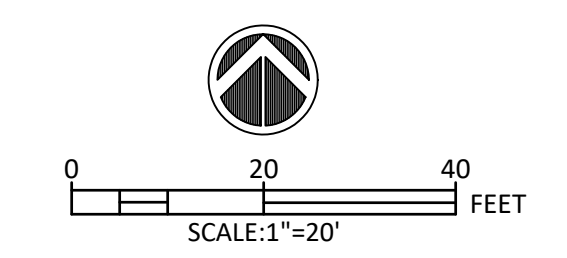
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SITE GRADING & DRAINAGE PLAN

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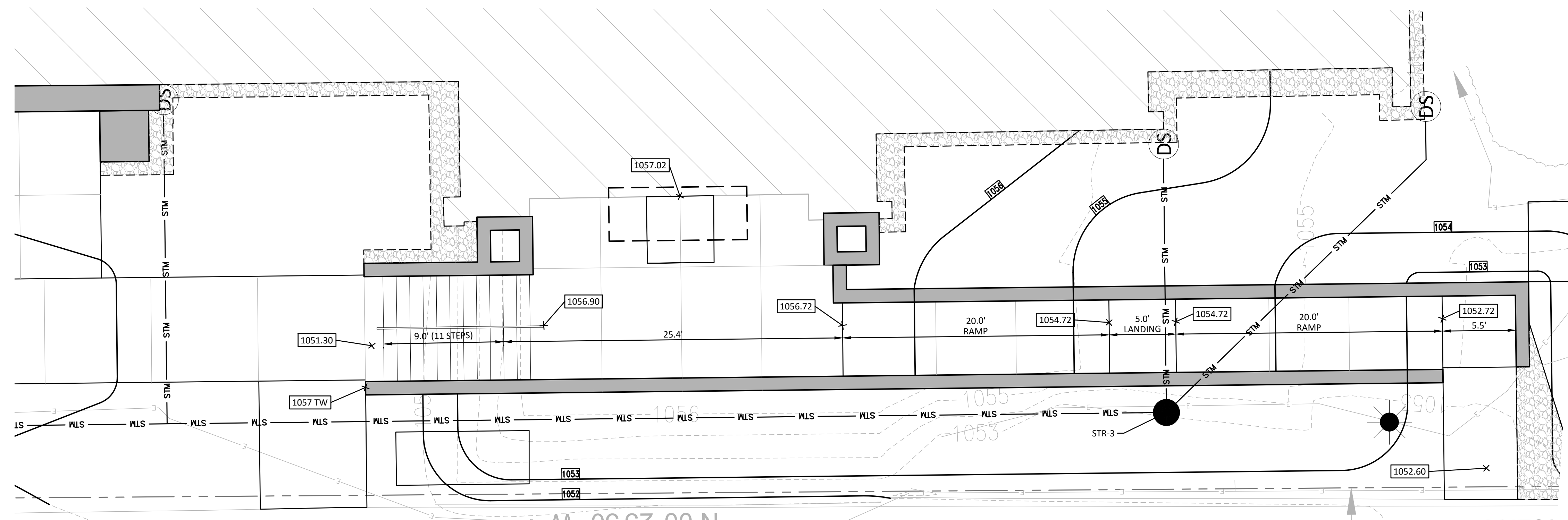
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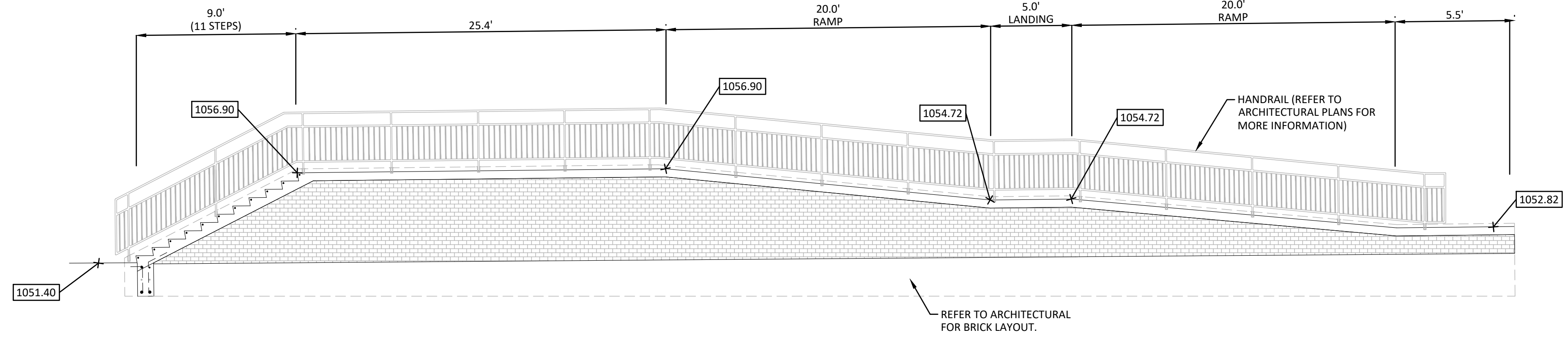
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8 ENLARGED RAMP AND STAIR PLAN
SCALE 1" = 5'



8 ENLARGED RAMP AND STAIR DETAIL
SCALE 1" = 5'

SHEET NOTES:

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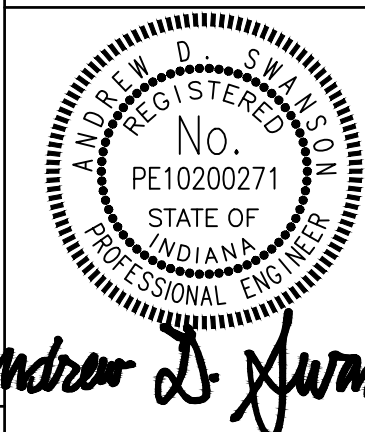
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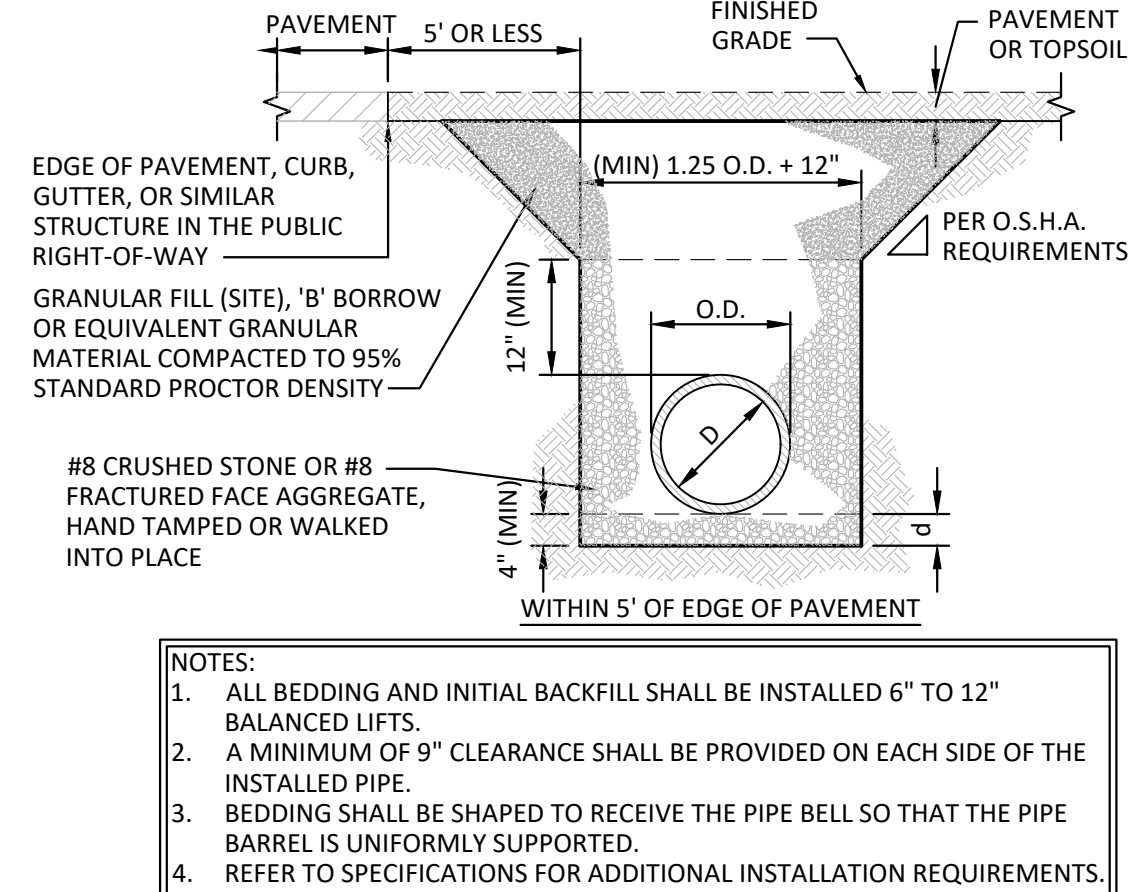
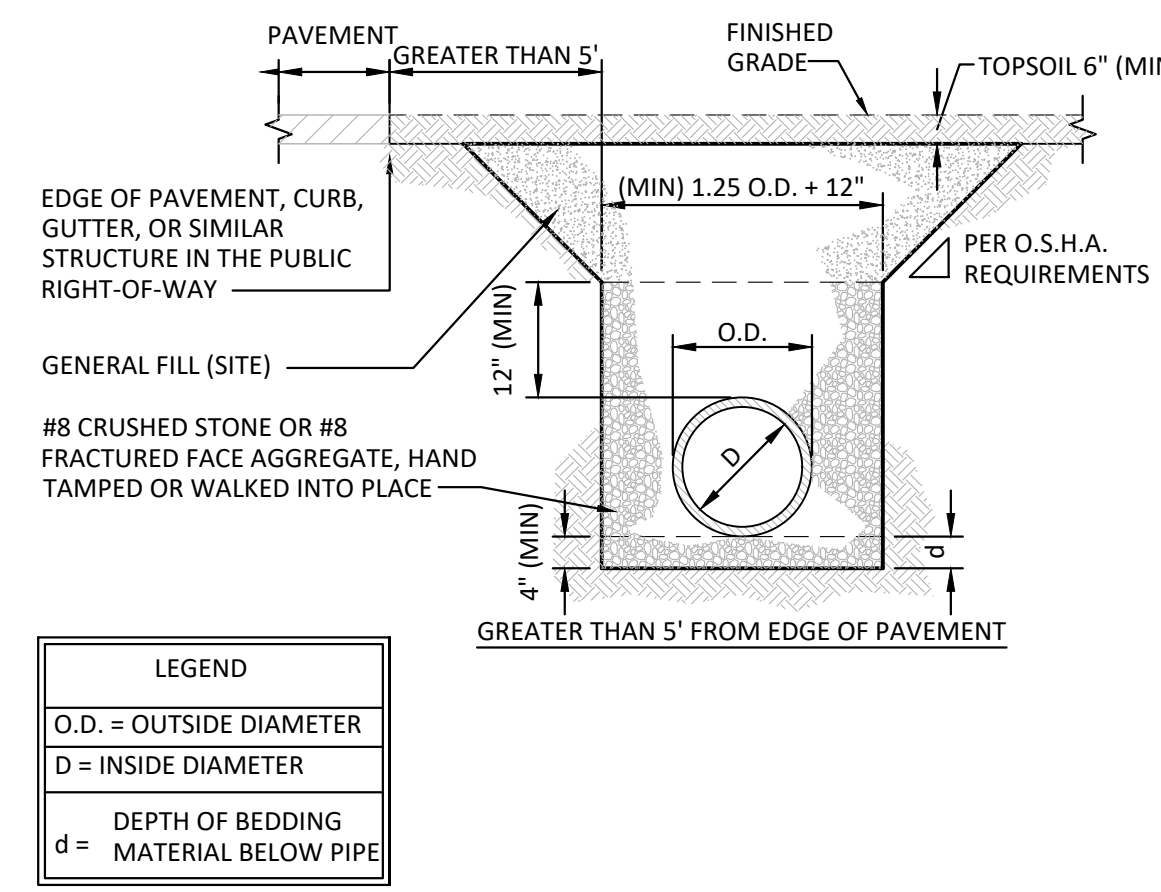
ENLARGED RAMP AND STAIR PLAN & DETAILS

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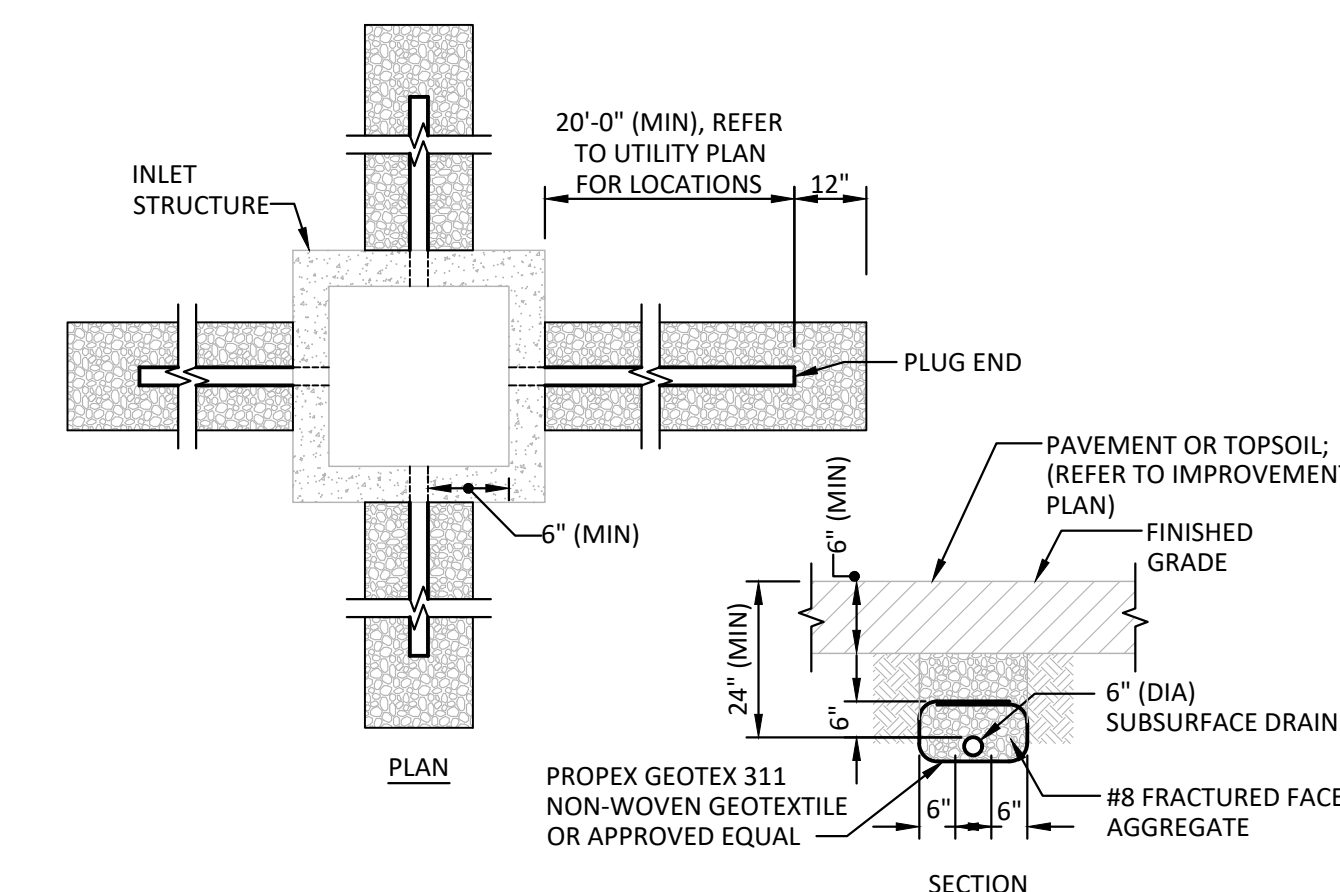


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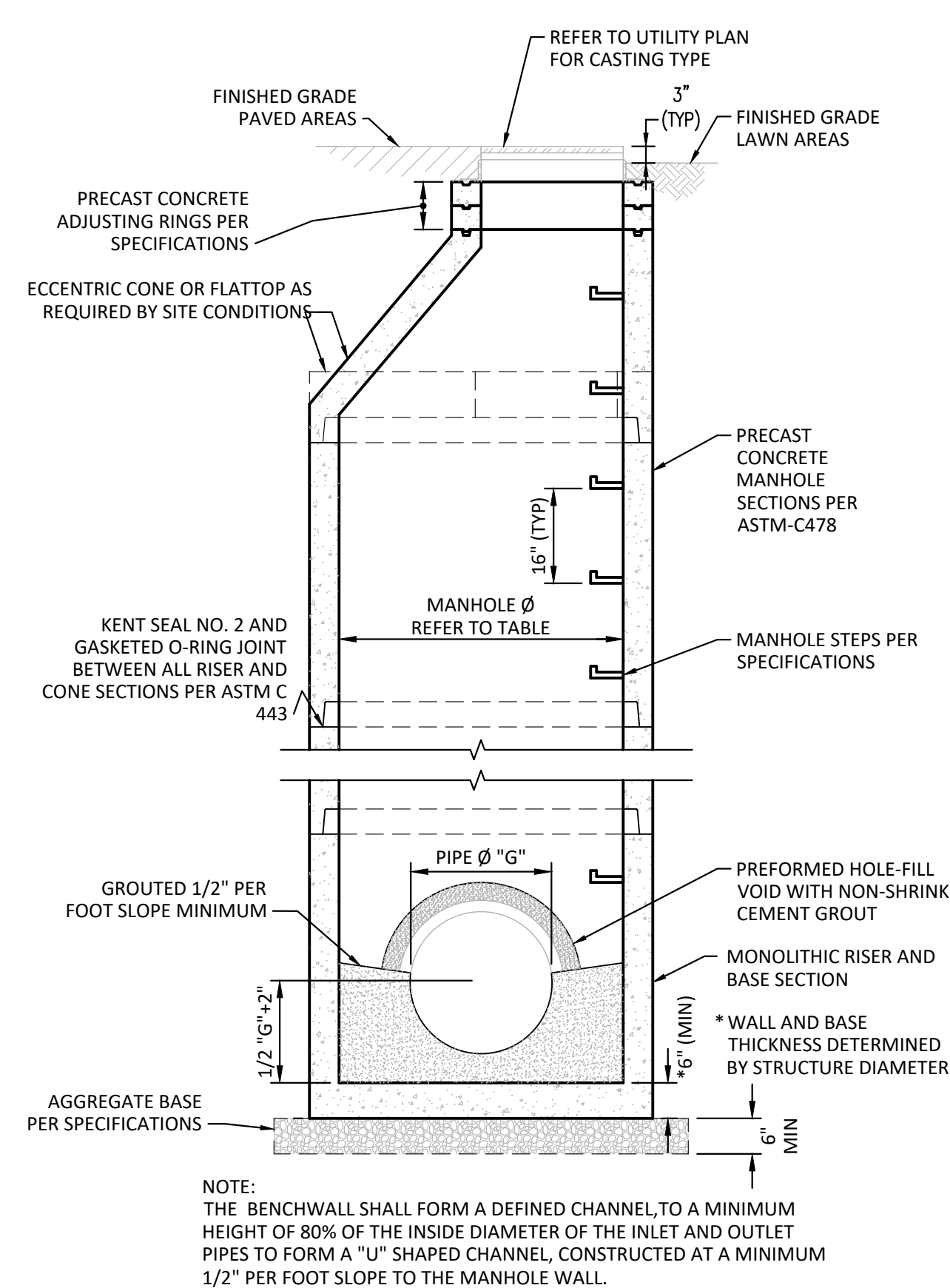
SHEET NOTES:



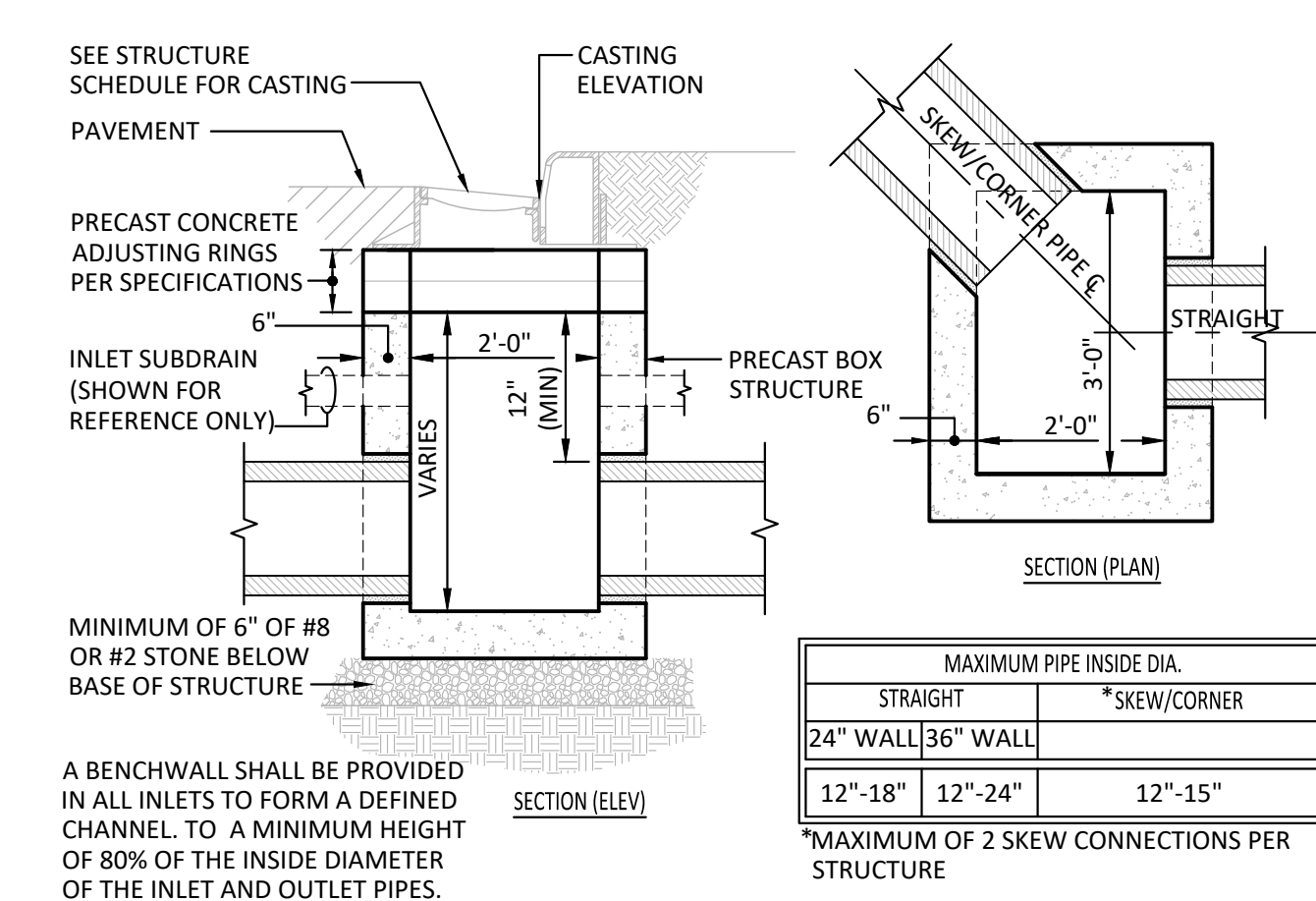
7 FLEXIBLE PIPE (PVC & HDPE) BEDDING DETAIL NO SCALE



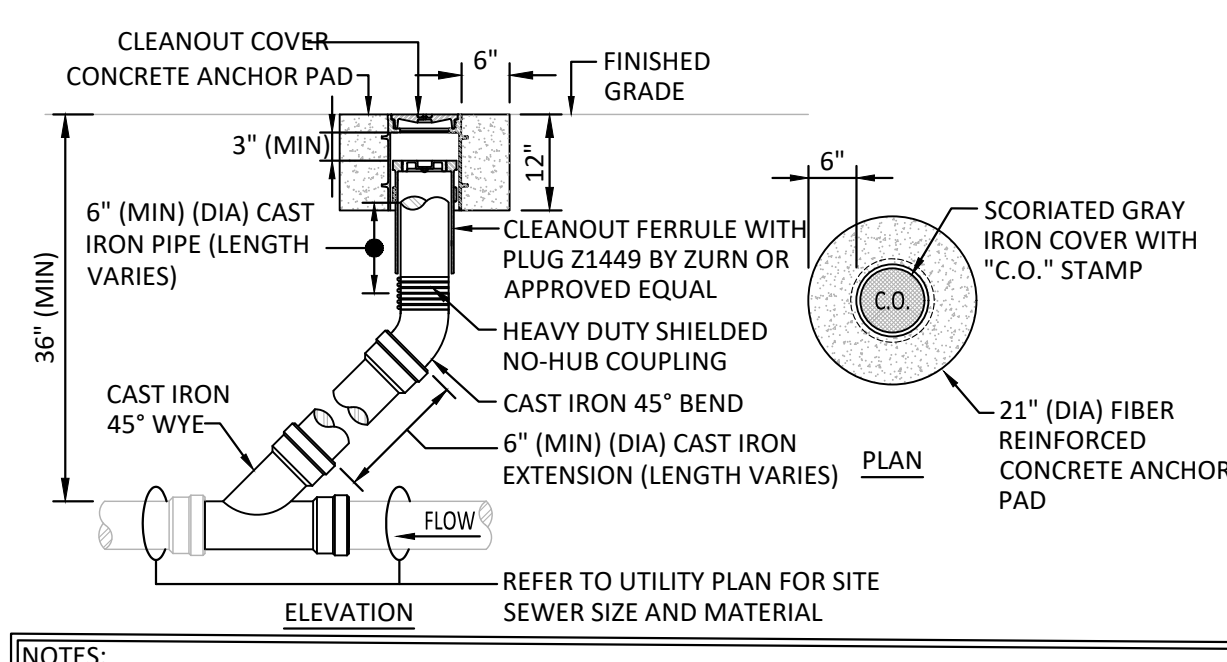
3 INLET SUBSURFACE DRAIN DETAIL NO SCALE



6 TRENCH DRAIN DETAIL NO SCALE



2 INLET BOX DETAIL (24"x36") NO SCALE

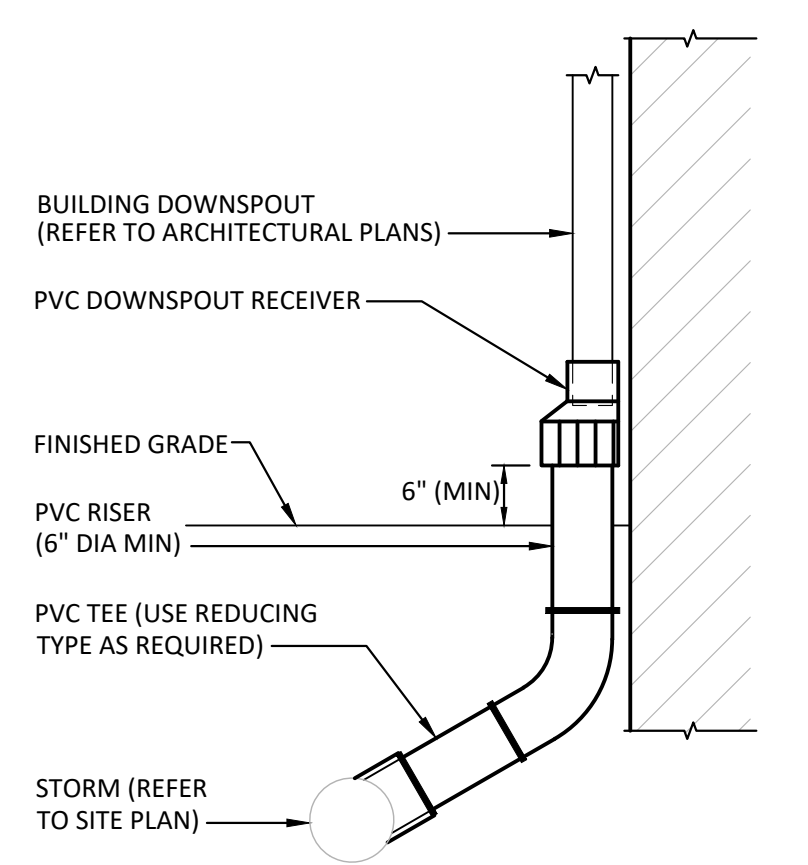


10 EXTERIOR CLEANOUT DETAIL NO SCALE

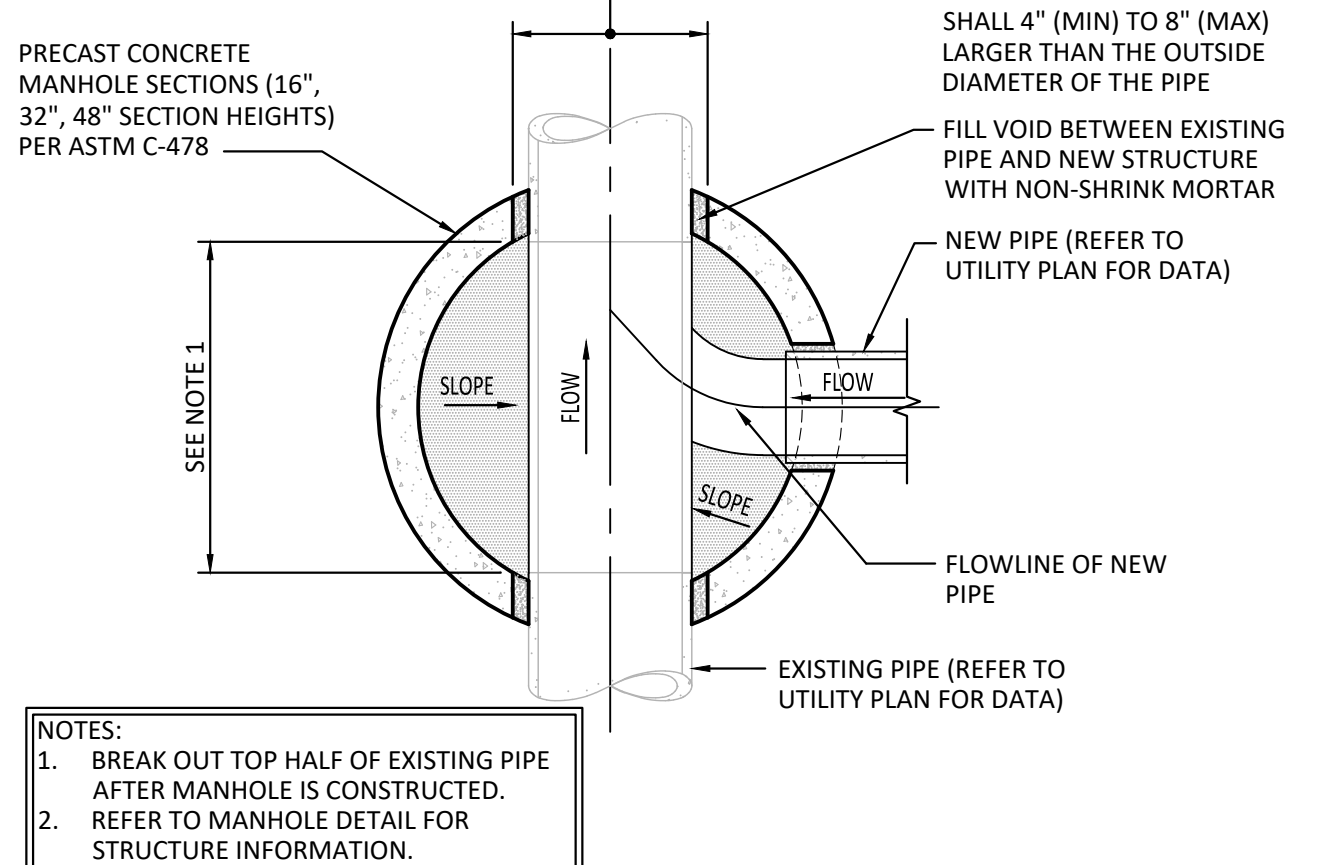
NOTE: THE BENCHWALL SHALL FORM A DEFINED CHANNEL TO A MINIMUM HEIGHT OF 80% OF THE INSIDE DIAMETER OF THE INLET AND OUTLET PIPES TO FORM A "U" SHAPED CHANNEL, CONSTRUCTED AT A MINIMUM 1/2" PER FOOT SLOPE TO THE MANHOLE WALL.

STORM MANHOLE DIAMETER TABLE		
PIPE DIA "6"	PIPES ENTERING OR LEAVING AT A 0°-45° ANGLE	PIPES ENTERING OR LEAVING AT A 46°-90° ANGLE
12"-24"	28"	48"
24"	48"	60"
27"-30"	60"	72"
30"-36"	60"	72"

8 STORM MANHOLE DETAIL NO SCALE



5 DOWNSPOUT ADAPTER DETAIL NO SCALE



1 NEW MANHOLE OVER EXISTING PIPE DETAIL (FOR EXISTING PIPE DIAMETERS 8" TO 30")

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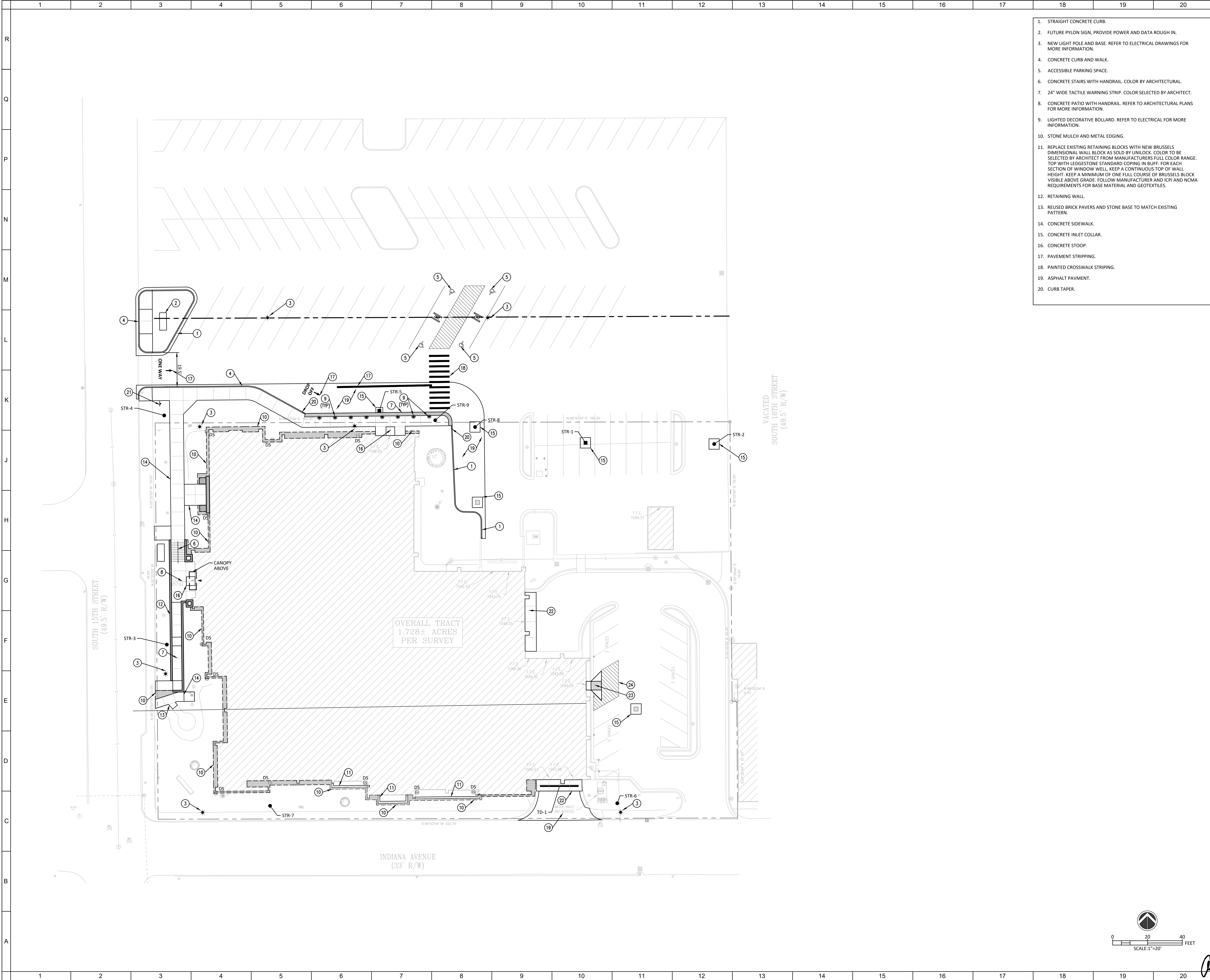
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- SHEET NOTES:**
1. STRAIGHT CONCRETE CURB.
 2. FUTURE PYLON SIGN, PROVIDE POWER AND DATA ROUGH IN.
 3. NEW LIGHT POLE AND BASE. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.
 4. CONCRETE CURB AND WALK.
 5. ACCESSIBLE PARKING SPACE.
 6. CONCRETE STAIRS WITH HANDRAIL. COLOR BY ARCHITECTURAL.
 7. 24" WIDE TACTILE WARNING STRIP. COLOR SELECTED BY ARCHITECT.
 8. CONCRETE PATIO WITH HANDRAIL. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION.
 9. LIGHTED DECORATIVE BOLLARD. REFER TO ELECTRICAL FOR MORE INFORMATION.
 10. STONE MULCH AND METAL EDGING.
 11. REPLACE EXISTING RETAINING BLOCKS WITH NEW BRUSSELS DIMENSIONAL WALL BLOCK AS SOLD BY UNILOCK. COLOR TO BE SELECTED BY ARCHITECT FROM MANUFACTURERS FULL COLOR RANGE. TOP WITH LEDGESTONE STANDARD COPING IN BUFF. FOR EACH SECTION OF WINDOW WELL, KEEP A CONTINUOUS TOP OF WALL HEIGHT. KEEP A MINIMUM OF ONE FULL COURSE OF BRUSSELS BLOCK VISIBLE ABOVE GRADE. FOLLOW MANUFACTURERS AND ICPI AND NEMA REQUIREMENTS FOR BASE MATERIAL AND GEOTEXTILES.
 12. RETAINING WALL.
 13. REUSED BRICK PAVERS AND STONE BASE TO MATCH EXISTING PATTERN.
 14. CONCRETE SIDEWALK.
 15. CONCRETE INLET COLLAR.
 16. CONCRETE STOOP.
 17. PAVEMENT STRIPPING.
 18. PAINTED CROSSWALK STRIPPING.
 19. ASPHALT PAVMENT.
 20. CURB TAPER.
 21. ONE WAY SIGN.
 22. NEW 6" CONCRETE PAVEMENT.
 23. CURB RAMP.
 24. PAINTED STRIPING.

GENERAL NOTES:

A. REFER TO IMPROVEMENT DETAILS FOR NOTE REFERENCES.

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New Castle - Henry County Public Library

376 S 15TH ST
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INTERIOR & EXTERIOR RENOVATIONS

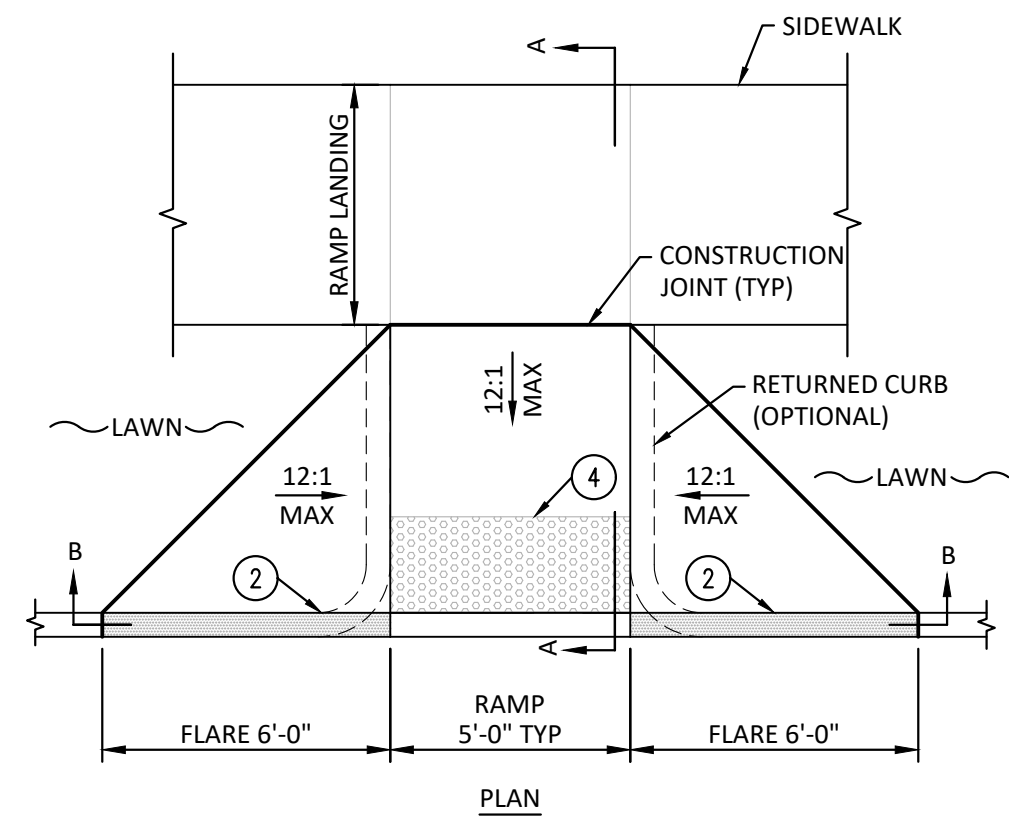
376 S 15TH ST
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SITE IMPROVEMENT PLAN

Comm. No.	22105.00	Date	8.3.2023
Drawn	CLM	Drawing No.	C400
Checked	ADS		

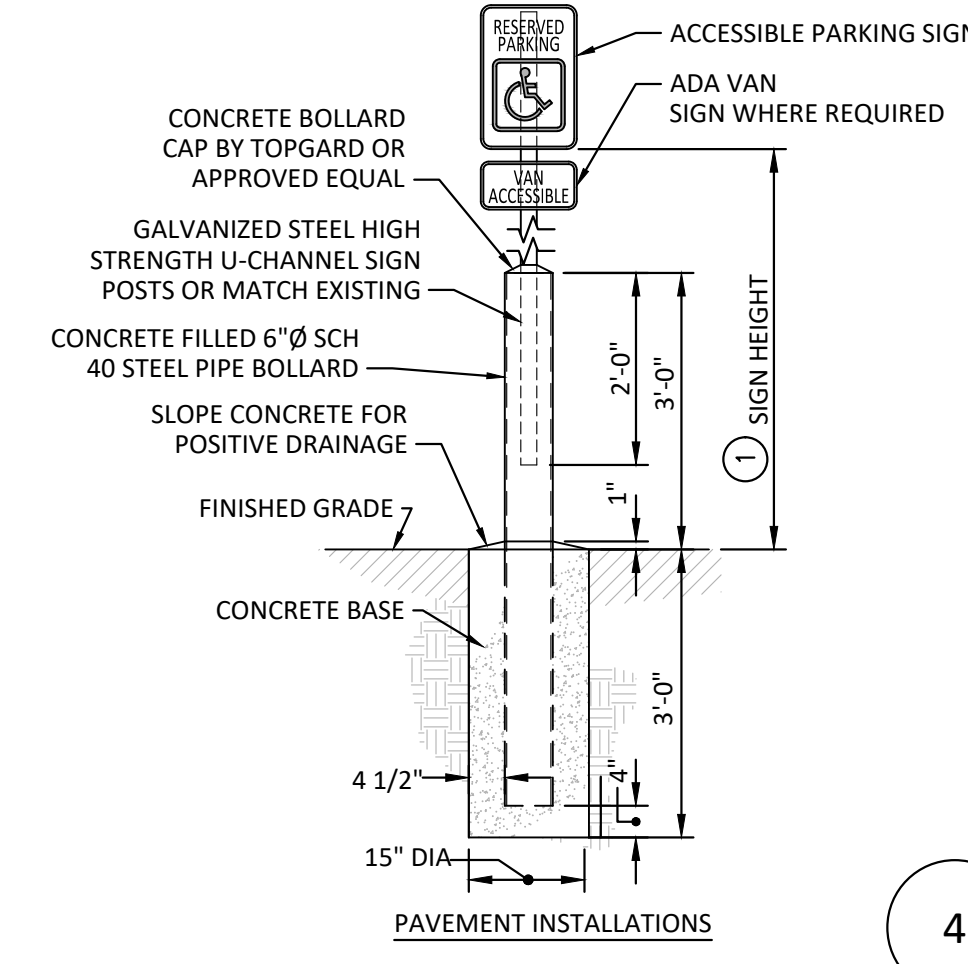
Andrew J. Sumner

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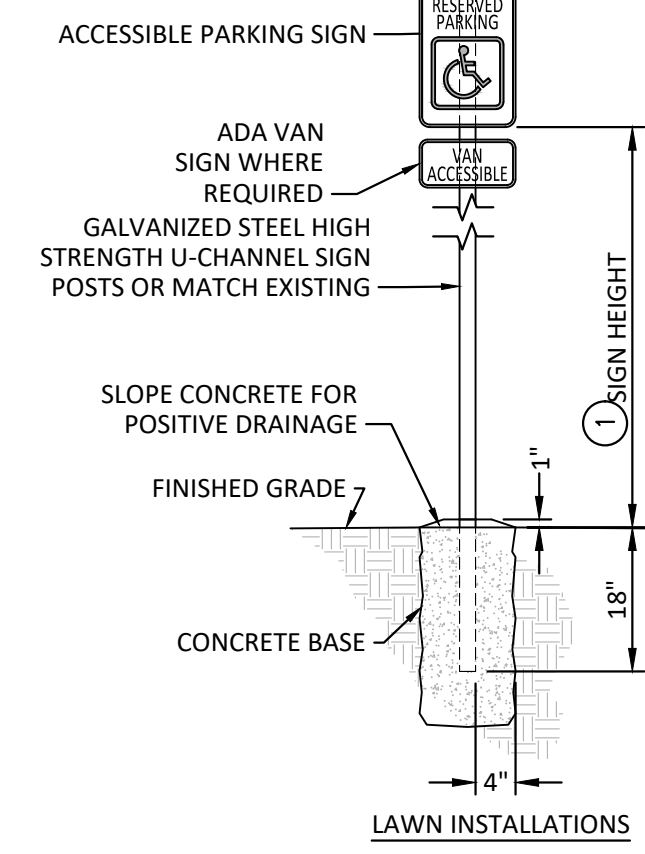
NOTE:
 1. WHEN CONSTRUCTION OCCURS WITHIN PUBLIC RIGHT-OF-WAY, THE WORK SHALL COMPLY WITH THE GOVERNING AGENCY REQUIREMENTS.
 2. REPAIR DAMAGED OR FAILING PAVEMENT PRIOR TO APPLICATION OF NEW SURFACE.
 3. REFER TO SPECIFICATIONS FOR ASPHALT MATERIAL REQUIREMENTS.

10 COLD MILL ASPHALT DETAIL NO SCALE



NOTES:
 1. SIGNAGE TYPE, LOCATION AND INSTALLATION SHALL COMPLY WITH THE LATEST FEDERAL, STATE AND LOCAL ACCESSIBILITY REQUIREMENTS.
 2. MOUNTING HARDWARE SHALL BE TAMPER RESISTANT.
 3. PROVIDE SHOP DRAWINGS OF SIGNS AND POSTS PRIOR TO ORDERING AND INSTALLATION.
 4. BOLLARD AND POST COLOR SHALL BE BLUE OR AS APPROVED BY OWNER/ARCHITECT.

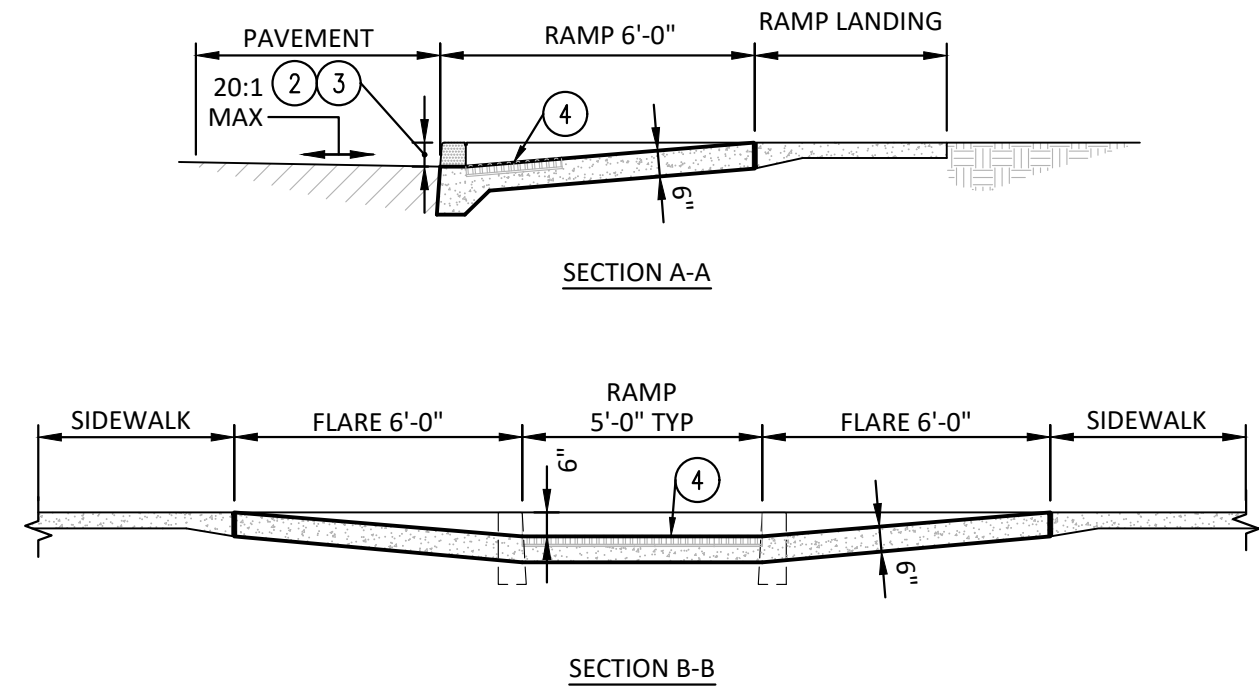
4 ACCESSIBLE PARKING SIGN DETAIL NO SCALE



NOTE:
 1. SCH. 40 GALVANIZED STEEL PIPE BOLLARD, PAINTED YELLOW. FILL WITH CONCRETE AND INSTALL PLUMB.
 2. PROVIDE BOND BREAK OR ISOLATION JOINT WHERE BOLLARD ABUTS CONCRETE (SEAL JOINT).
 3. REFER TO SPECIFICATIONS FOR CONCRETE REQUIREMENTS.
 4. PROVIDE 1/4" YELLOW IDEAL SHIELD BOLLARD COVER.

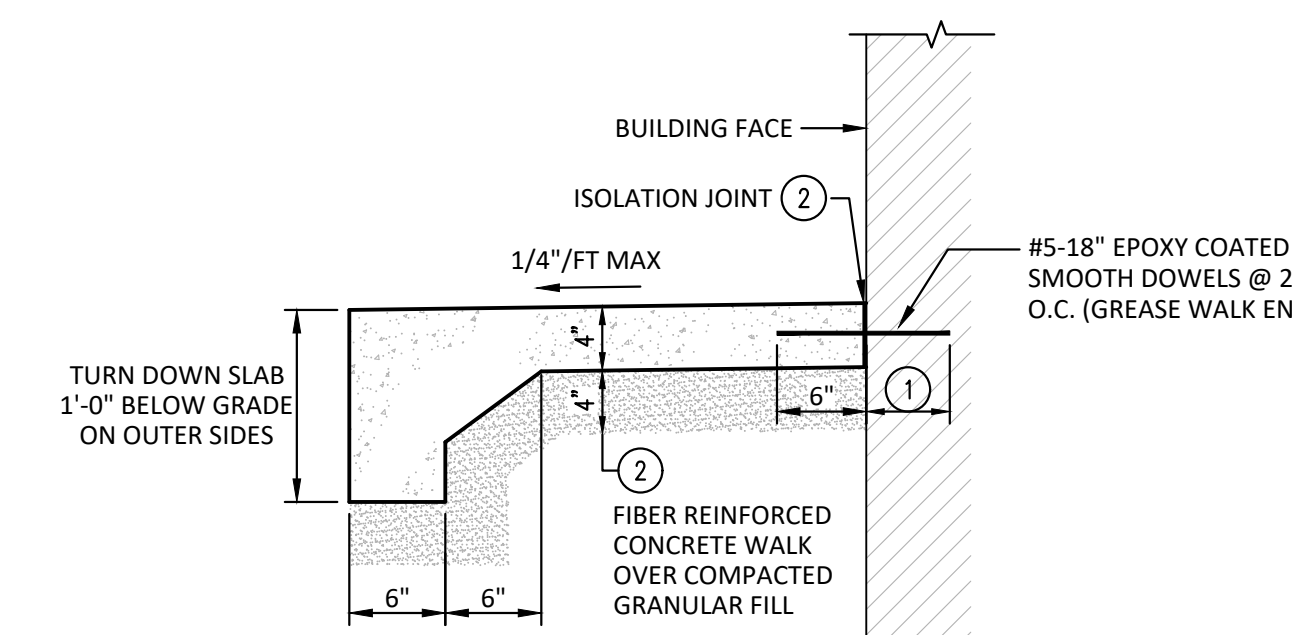
6 STEEL PIPE BOLLARD DETAIL NO SCALE

3 CRACK REPAIR DETAIL NO SCALE



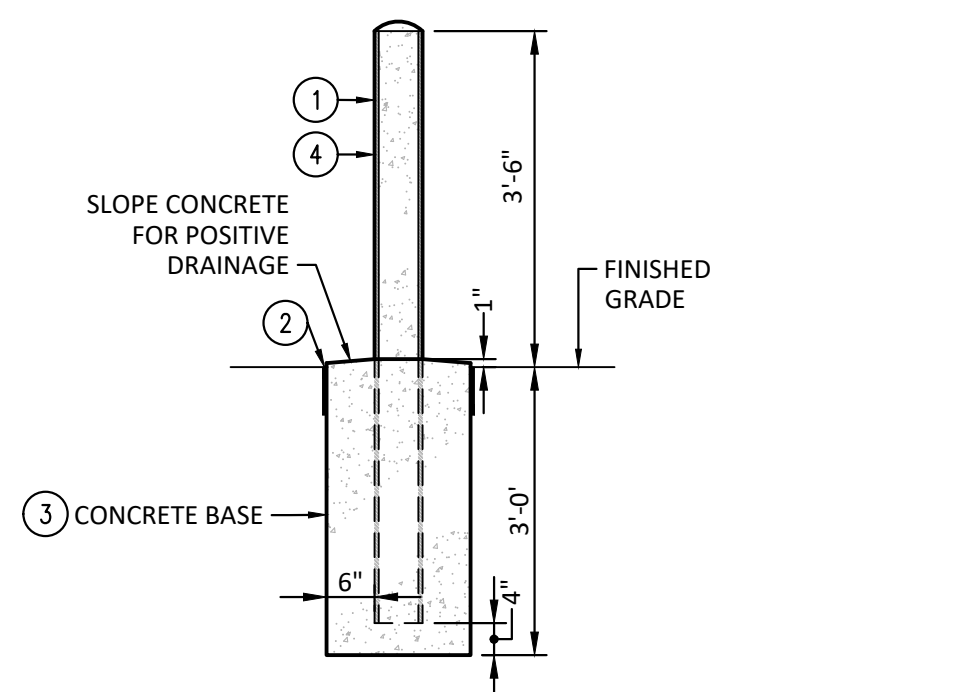
NOTES:
 1. RAMP SHALL COMPLY WITH THE LATEST APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS.
 2. WHEN CURB IS ADJACENT TO PEDESTRIAN TRAFFIC, PAINT TOP AND SIDES OF CURB YELLOW IN LOCATIONS WHERE CURB HEIGHT IS BETWEEN 0" AND 6". PER SPECIFICATIONS, APPLY SILICA SAND TO WET PAINT TO PROVIDE A NON-SLIP SURFACE.
 3. CONTRACTOR TO VERIFY POSITIVE DRAINAGE AWAY FROM RAMP BASE. PROVIDE ADA COMPLIANT RAMP LIP WHERE REQUIRED.
 4. PROVIDE DETECTABLE WARNING SURFACE WHERE REQUIRED BY LATEST APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS.

13 CURB RAMP DETAIL NO SCALE



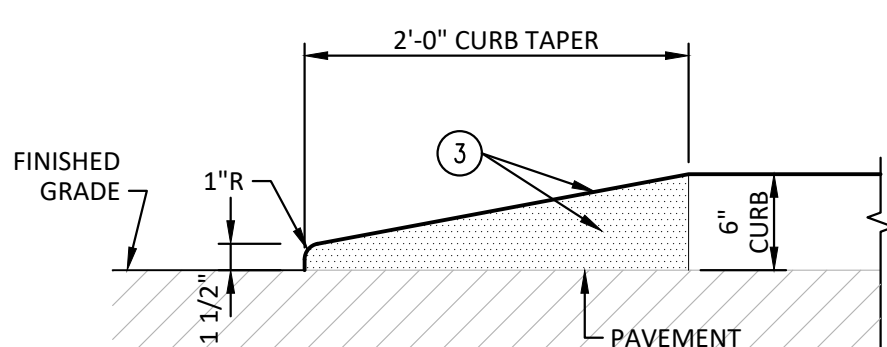
NOTES:
 1. REFER TO STRUCTURAL PLANS FOR FOUNDATION WALL THICKNESS. SET EMBED DEPTH PER STRUCTURAL ENGINEER.
 2. REFER TO SPECIFICATIONS FOR CONCRETE AND JOINT REQUIREMENTS.
 3. REFER TO IMPROVEMENT PLAN FOR STOOP WIDTH AND JOINT PATTERN.
 4. REFER TO GRADING PLAN FOR STOOP ELEVATION.

8 CONCRETE STOOP DETAIL NO SCALE



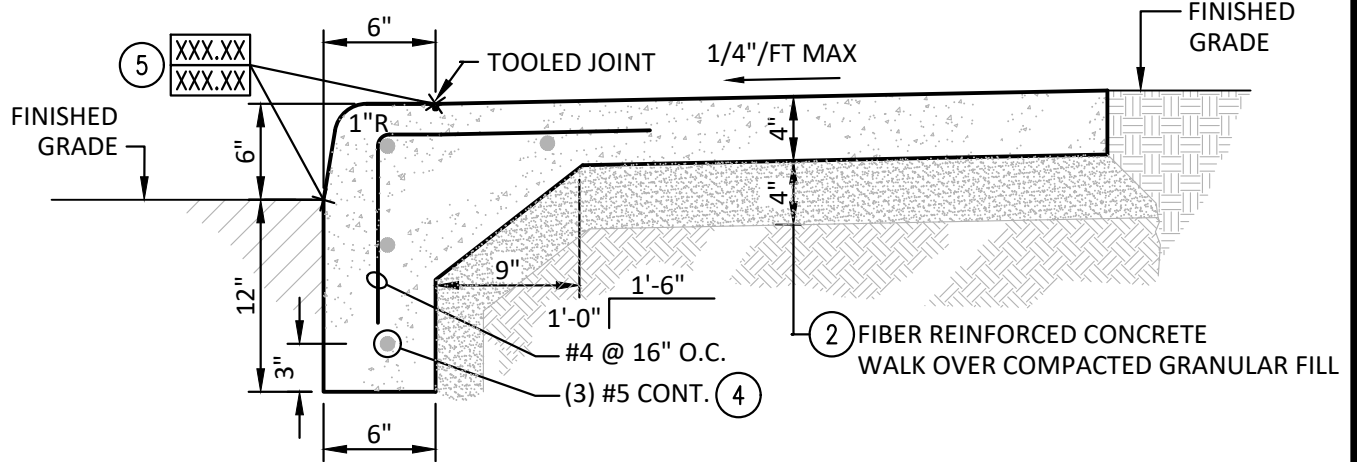
NOTES:
 1. SCH. 40 GALVANIZED STEEL PIPE BOLLARD, PAINTED YELLOW. FILL WITH CONCRETE AND INSTALL PLUMB.
 2. PROVIDE BOND BREAK OR ISOLATION JOINT WHERE BOLLARD ABUTS CONCRETE (SEAL JOINT).
 3. REFER TO SPECIFICATIONS FOR CONCRETE REQUIREMENTS.
 4. PROVIDE 1/4" YELLOW IDEAL SHIELD BOLLARD COVER.

6 STEEL PIPE BOLLARD DETAIL NO SCALE



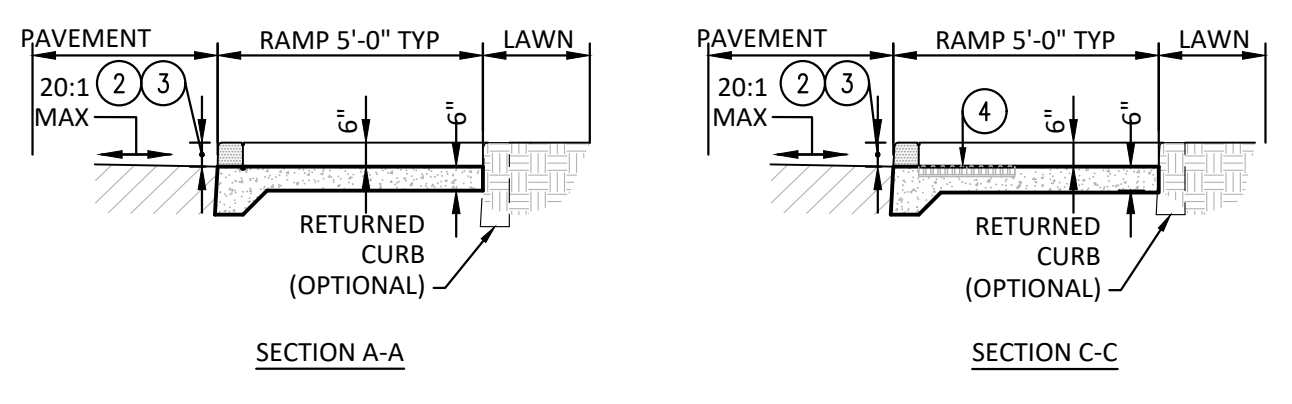
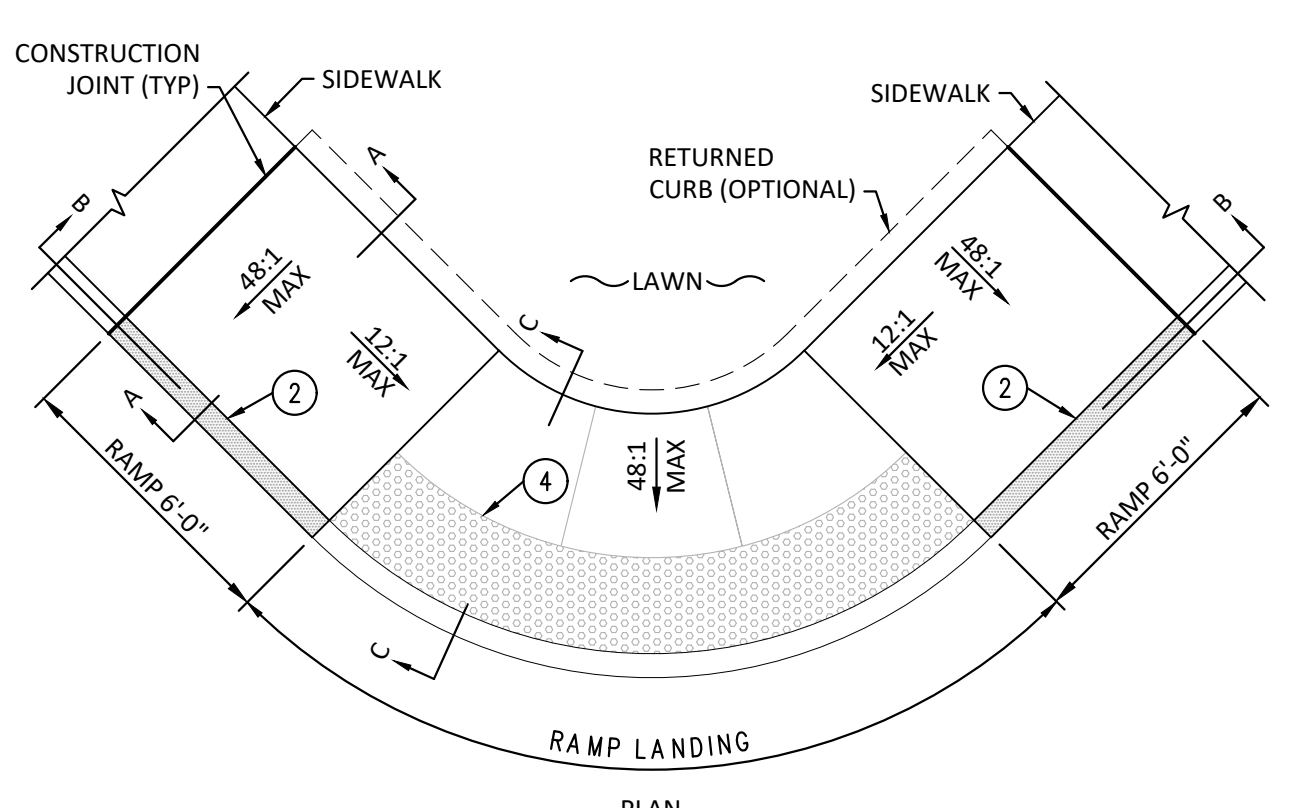
NOTE:
 1. WHEN CONSTRUCTION OCCURS WITHIN PUBLIC RIGHT-OF-WAY, THE WORK SHALL COMPLY WITH THE GOVERNING AGENCY REQUIREMENTS.
 2. REFER TO GRADING PLAN FOR CURB AND PAVEMENT ELEVATION INFORMATION.
 3. WHEN CURB IS ADJACENT TO PEDESTRIAN TRAFFIC, PAINT TOP AND SIDES OF CURB YELLOW IN LOCATIONS WHERE CURB HEIGHT IS BETWEEN 0" AND 6". APPLY SILICA SAND TO WET PAINT PER SPECIFICATIONS.

3 CRACK REPAIR DETAIL NO SCALE



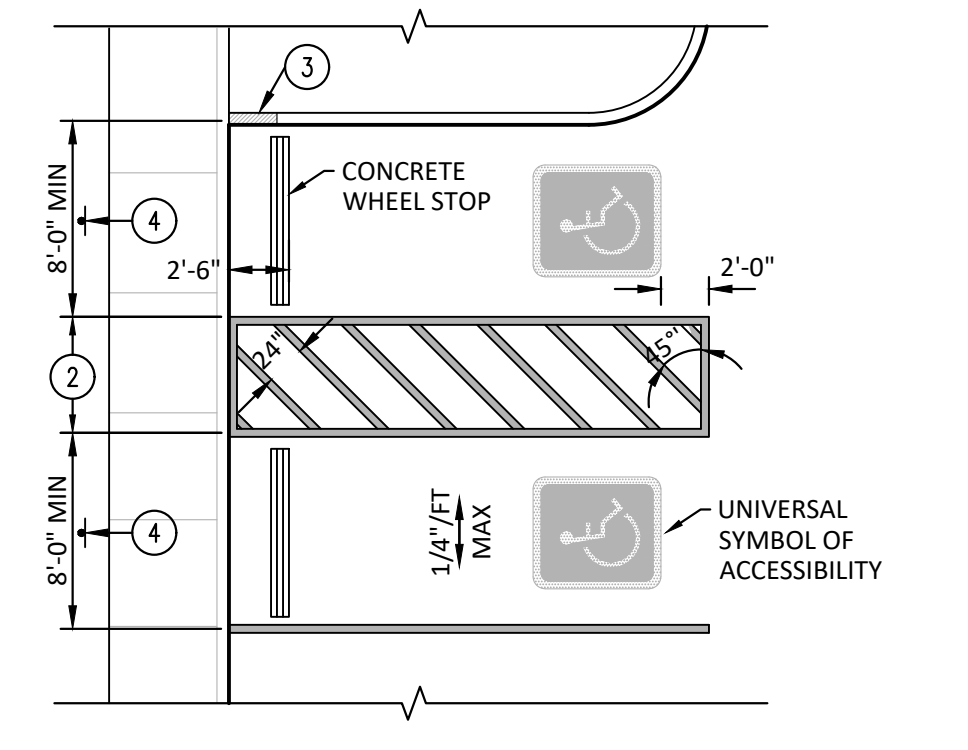
NOTES:
 1. WHEN CONSTRUCTION OCCURS WITHIN PUBLIC RIGHT-OF-WAY, THE WORK SHALL COMPLY WITH THE GOVERNING AGENCY REQUIREMENTS.
 2. REFER TO SPECIFICATIONS FOR CONCRETE AND JOINT REQUIREMENTS.
 3. REFER TO IMPROVEMENT PLAN FOR WALK WIDTH AND JOINT PATTERN.
 4. END CONTINUOUS REBAR AT ISOLATION/CONSTRUCTION JOINTS. PLACE (3) #5x12 SMOOTH DOWELS (DO NOT OVERLAP).
 5. LOCATION OF CURB AND GUTTER ELEVATIONS. REFER TO GRADING PLAN.

12 CONCRETE CURB AND WALK DETAIL NO SCALE



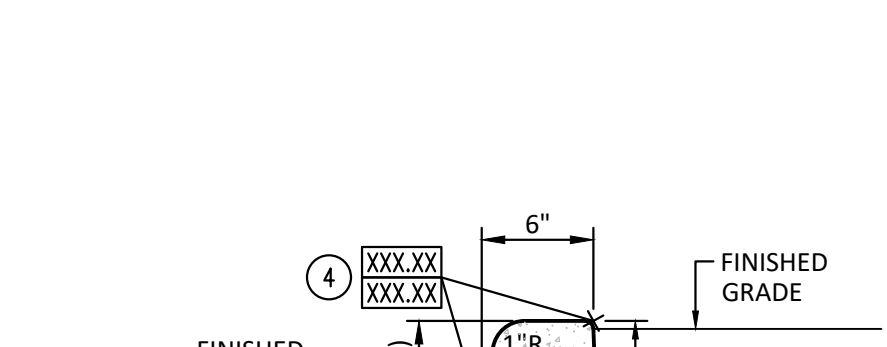
NOTES:
 1. RAMP SHALL COMPLY WITH THE LATEST APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS.
 2. WHEN CURB IS ADJACENT TO PEDESTRIAN TRAFFIC, PAINT TOP AND SIDES OF CURB YELLOW IN LOCATIONS WHERE CURB HEIGHT IS BETWEEN 0" AND 6". PER SPECIFICATIONS, APPLY SILICA SAND TO WET PAINT TO PROVIDE A NON-SLIP SURFACE.
 3. CONTRACTOR TO VERIFY POSITIVE DRAINAGE AWAY FROM RAMP BASE. PROVIDE ADA COMPLIANT RAMP LIP WHERE REQUIRED.
 4. PROVIDE DETECTABLE WARNING SURFACE WHERE REQUIRED BY LATEST APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS.

7 ACCESSIBLE RAMP DETAIL NO SCALE



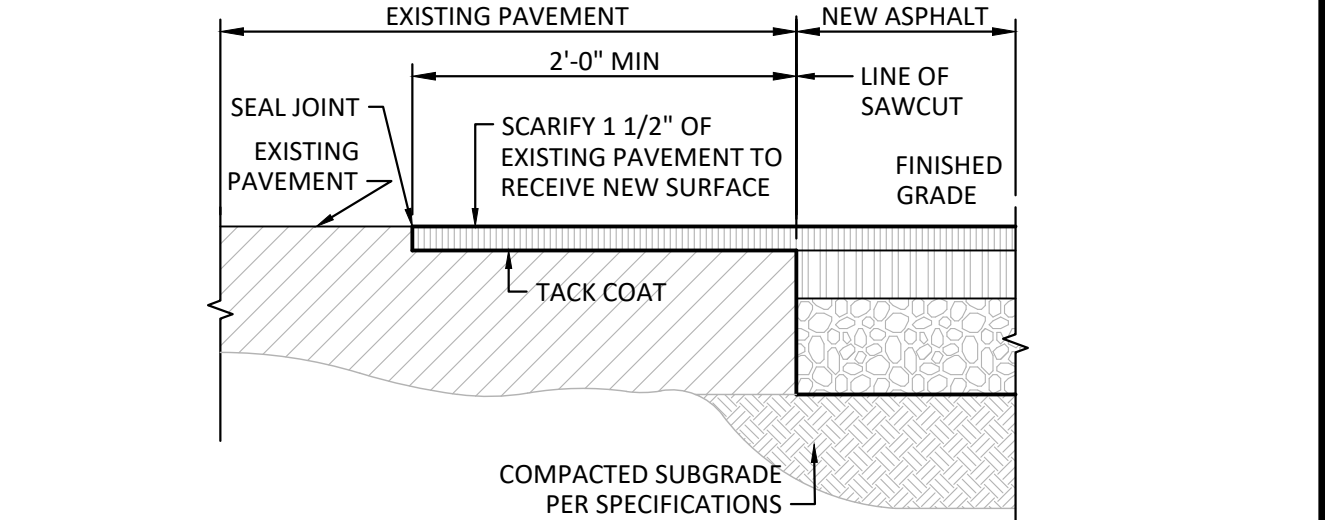
NOTES:
 1. ACCESSIBLE SPACE DIMENSIONS SHALL COMPLY WITH FEDERAL, STATE OR LOCAL REQUIREMENTS, WHICHEVER IS MORE RESTRICTIVE.
 2. ACCESSIBLE SHALL BE 5'-0" FOR CARS AND 8'-0" FOR VANS. REFER TO SITE IMPROVEMENT PLAN.
 3. WHEN CURB IS ADJACENT TO PEDESTRIAN TRAFFIC, PAINT TOP AND SIDES OF CURB YELLOW IN LOCATIONS WHERE CURB HEIGHT IS BETWEEN 0" AND 6". PER SPECIFICATION, APPLY SILICA SAND TO WET PAINT TO PROVIDE A NON-SLIP SURFACE.
 4. ACCESSIBLE PARKING SIGN (REFER TO ACCESSIBLE PARKING SIGN DETAIL). SIGN SHALL BE LOCATED 12" BEHIND FACE OF CURB, OR 12" BEHIND BACK OF PAVEMENT.
 5. BLUE MARKINGS SHALL BE USED FOR PARKING SPACES FOR PERSONS WITH DISABILITIES. COLOR SHALL BE FEDERAL STANDARD 595 COLOR FS 53180.

5 ACCESSIBLE PARKING SPACE DETAIL NO SCALE



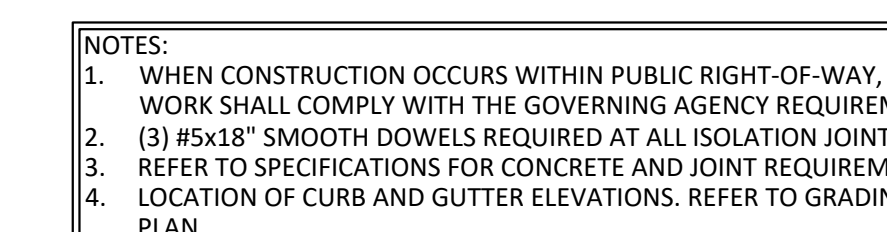
NOTE:
 1. WHEN CONSTRUCTION OCCURS WITHIN PUBLIC RIGHT-OF-WAY, THE WORK SHALL COMPLY WITH THE GOVERNING AGENCY REQUIREMENTS.
 2. REFER TO GRADING PLAN FOR CURB AND PAVEMENT ELEVATION INFORMATION.
 3. WHEN CURB IS ADJACENT TO PEDESTRIAN TRAFFIC, PAINT TOP AND SIDES OF CURB YELLOW IN LOCATIONS WHERE CURB HEIGHT IS BETWEEN 0" AND 6". PER SPECIFICATION, APPLY SILICA SAND TO WET PAINT TO PROVIDE A NON-SLIP SURFACE.

2 CURB TAPER DETAIL NO SCALE



NOTE:
 1. WHEN CONSTRUCTION OCCURS WITHIN PUBLIC RIGHT-OF-WAY, THE WORK SHALL COMPLY WITH THE GOVERNING AGENCY REQUIREMENTS.
 2. REPAIR DAMAGED OR FAILING PAVEMENT PRIOR TO APPLICATION OF NEW SURFACE.
 3. REFER TO SPECIFICATIONS FOR HOT ASPHALTIC MIX REQUIREMENTS.

11 NEW ASPHALT PAVEMENT TO EXISTING ASPHALT PAVEMENT DETAIL NO SCALE



1 STRAIGHT CONCRETE CURB DETAIL NO SCALE

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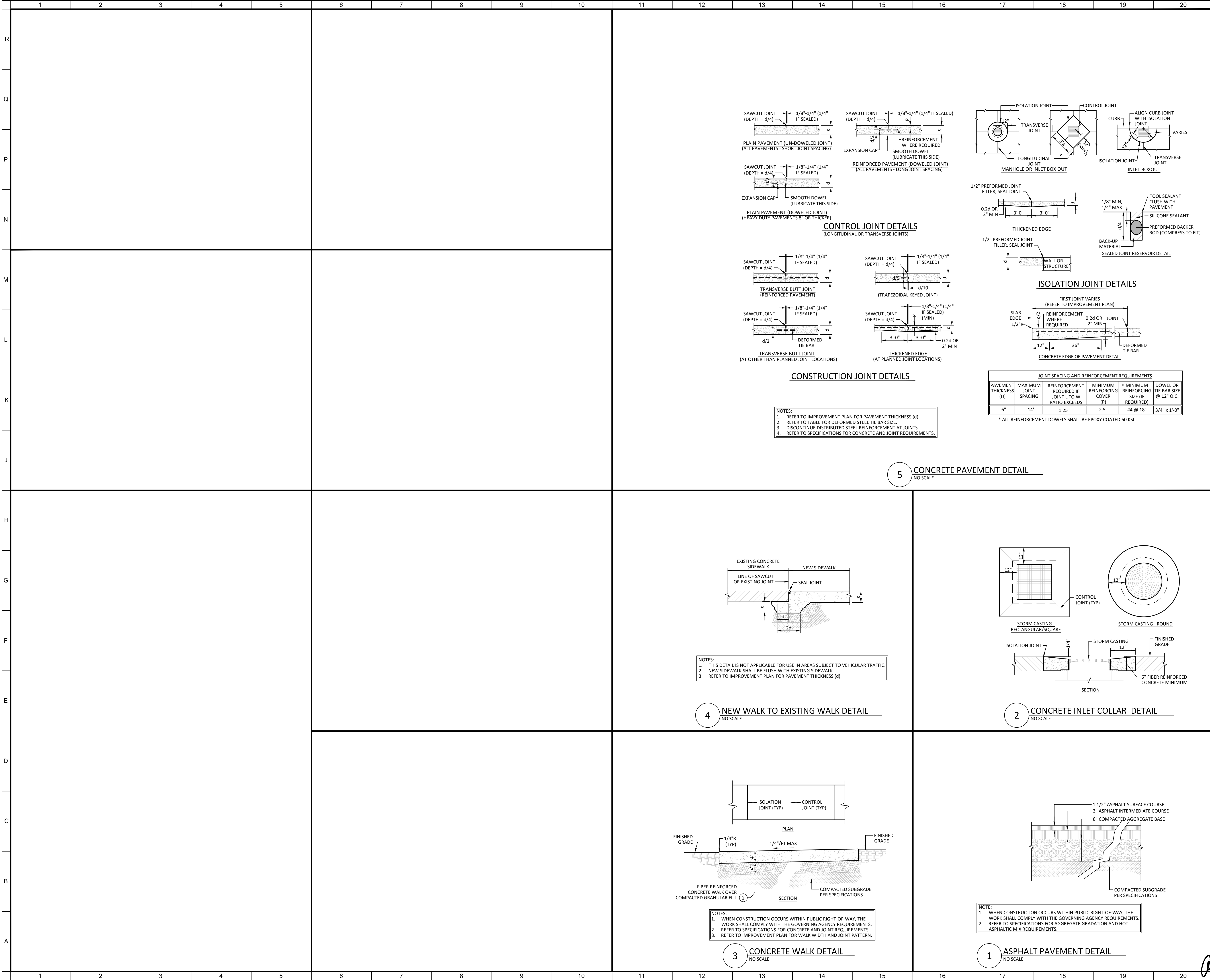
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INTERIOR & EXTERIOR RENOVATIONS
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SITE IMPROVEMENT DETAILS

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○ SHEET NOTES:

GENERAL NOTES:

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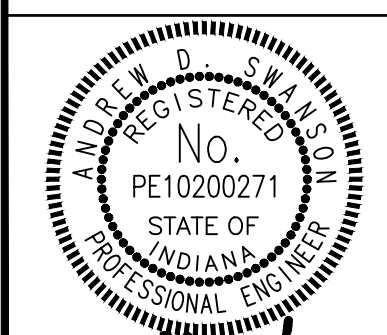
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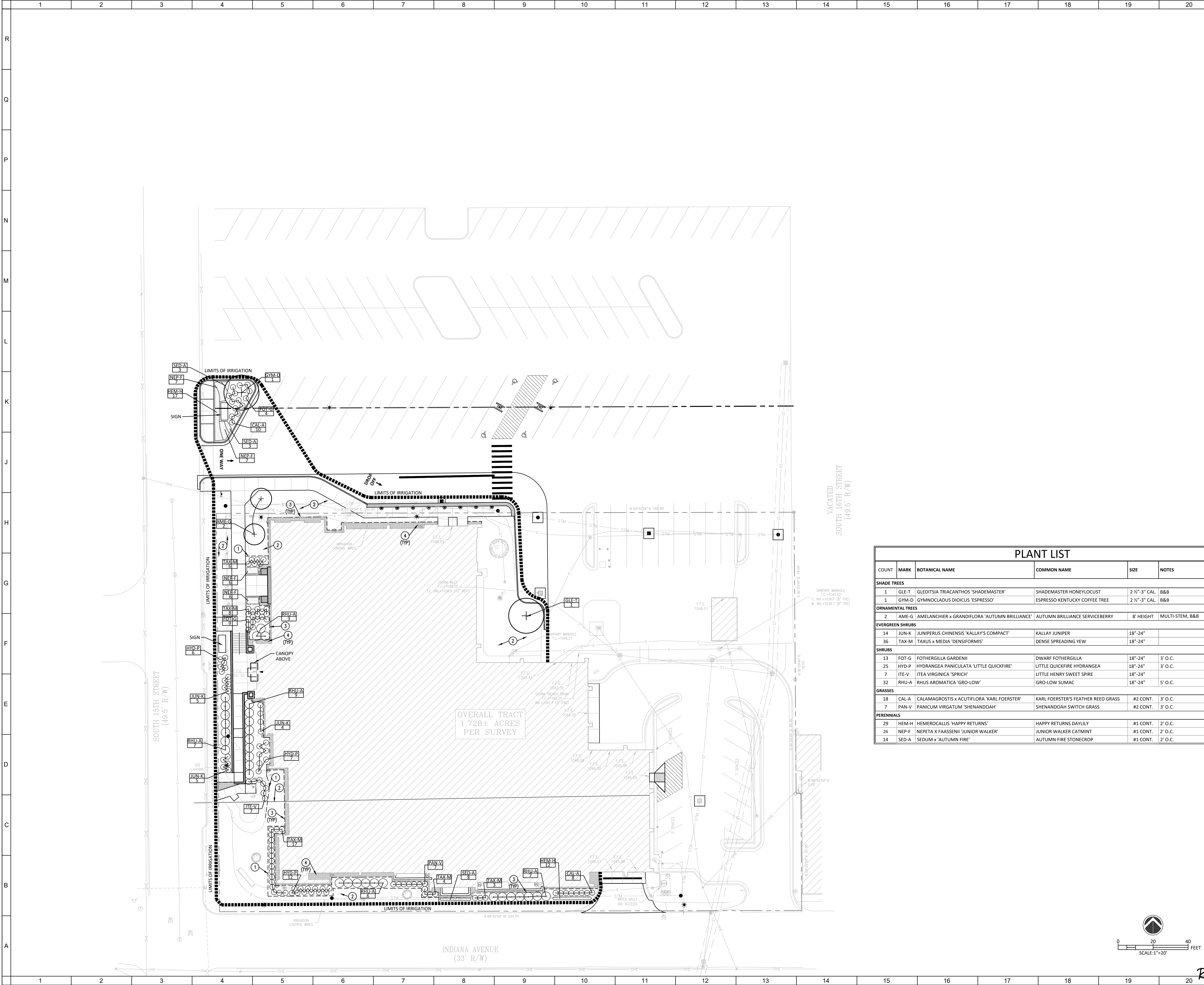
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CLM	C411
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- SHEET NOTES:**
1. SPADE EDGE
 2. AREA OF SEEDING
 3. METAL EDGING
 4. STONE MULCH

- GENERAL NOTES:**
- A. REFER TO LANDSCAPE DETAILS FOR NOTE REFERENCES.
 - B. CONTRACTOR TO PROVIDE SCHEMATIC IRRIGATION DESIGN FOR APPROVAL. ENSURE 100% COVERAGE OF LAWN AND PLANT BEDS.

PLANT LIST					
COUNT	MARK	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
SHADE TREES					
1	GLE-T	GLEDTISIA TRIACANTHOS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	2 1/2"-3" CAL.	B&B
1	GYM-D	GYMNOCLADUS DIOICUS 'ESPRESSO'	ESPRESSO KENTUCKY COFFEE TREE	2 1/2"-3" CAL.	B&B
ORNAMENTAL TREES					
2	AME-G	AMELANCHIER x GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	8' HEIGHT	MULTI-STEM, B&B
EVERGREEN SHRUBS					
14	JUN-K	JUNIPERUS CHINENSIS 'KALLAY'S COMPACT'	KALLAY JUNIPER	18"-24"	
36	TAX-M	TAXUS x MEDIA 'DENSIFORMIS'	DENSE SPREADING YEW	18"-24"	
SHRUBS					
13	FOT-G	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	18"-24"	3' O.C.
25	HYD-P	HYDRANGEA PANICULATA 'LITTLE QUICKFIRE'	LITTLE QUICKFIRE HYDRANGEA	18"-24"	3' O.C.
7	ITE-V	ITEA VIRGINICA 'SPRICH'	LITTLE HENRY SWEET SPIRE	18"-24"	
32	RHU-A	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	18"-24"	5' O.C.
GRASSES					
18	CAL-A	CALAMAGROSTIS x ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER'S FEATHER REED GRASS	#2 CONT.	3' O.C.
7	PAN-V	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	#2 CONT.	3' O.C.
PERENNIALS					
29	HEM-H	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAVILYLL	#1 CONT.	2' O.C.
26	NEP-F	NEPETA X FAASSENII 'JUNIOR WALKER'	JUNIOR WALKER CATMINT	#1 CONT.	2' O.C.
14	SED-A	SEDUM x 'AUTUMN FIRE'	AUTUMN FIRE STONECROP	#1 CONT.	2' O.C.

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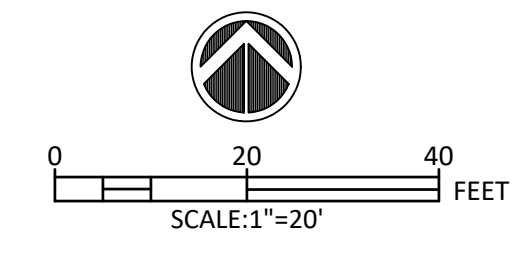
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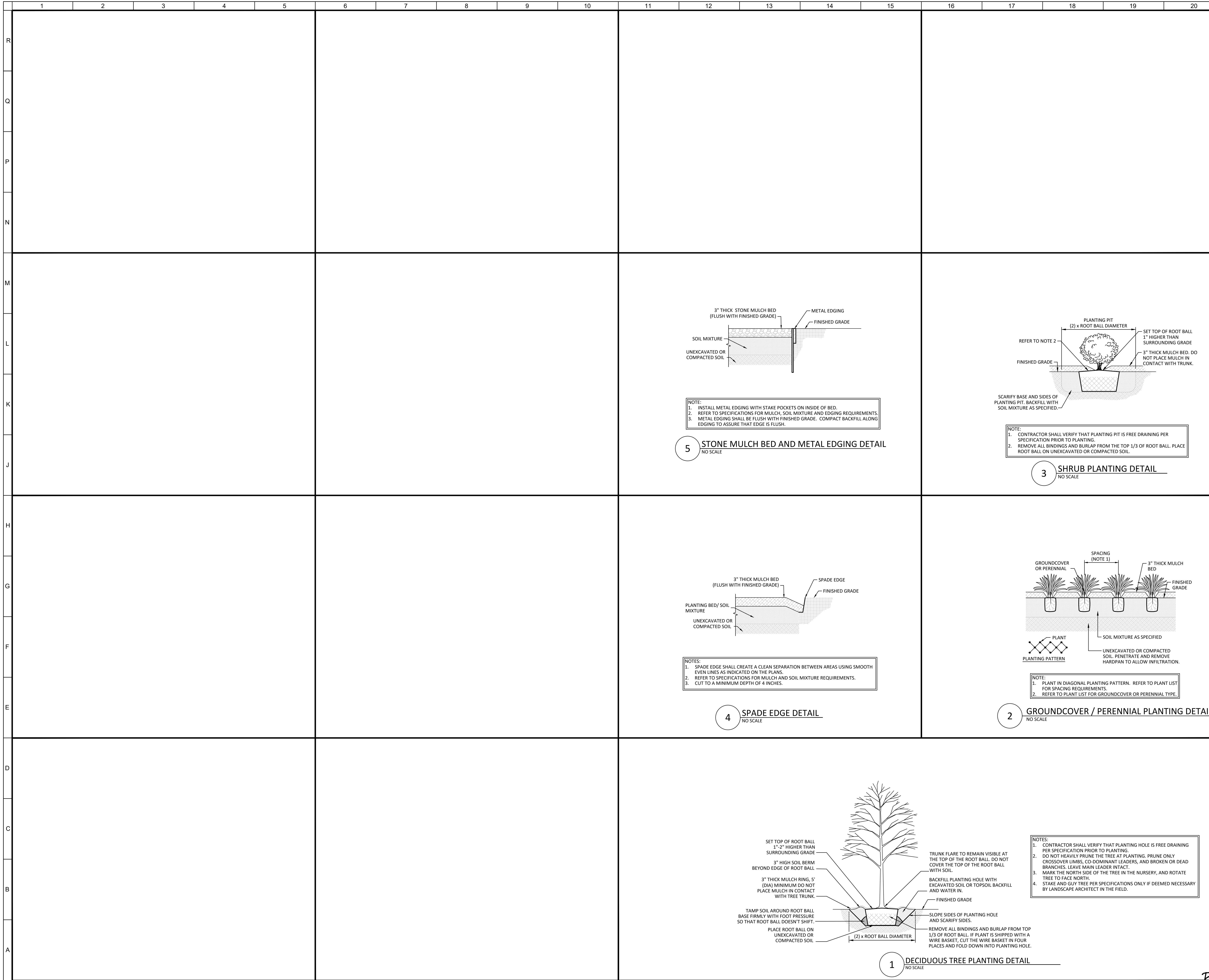
SITE LANDSCAPE PLAN

Comm. No.	Date
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RKF	C500
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Raketa & Smith

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○ SHEET NOTES:

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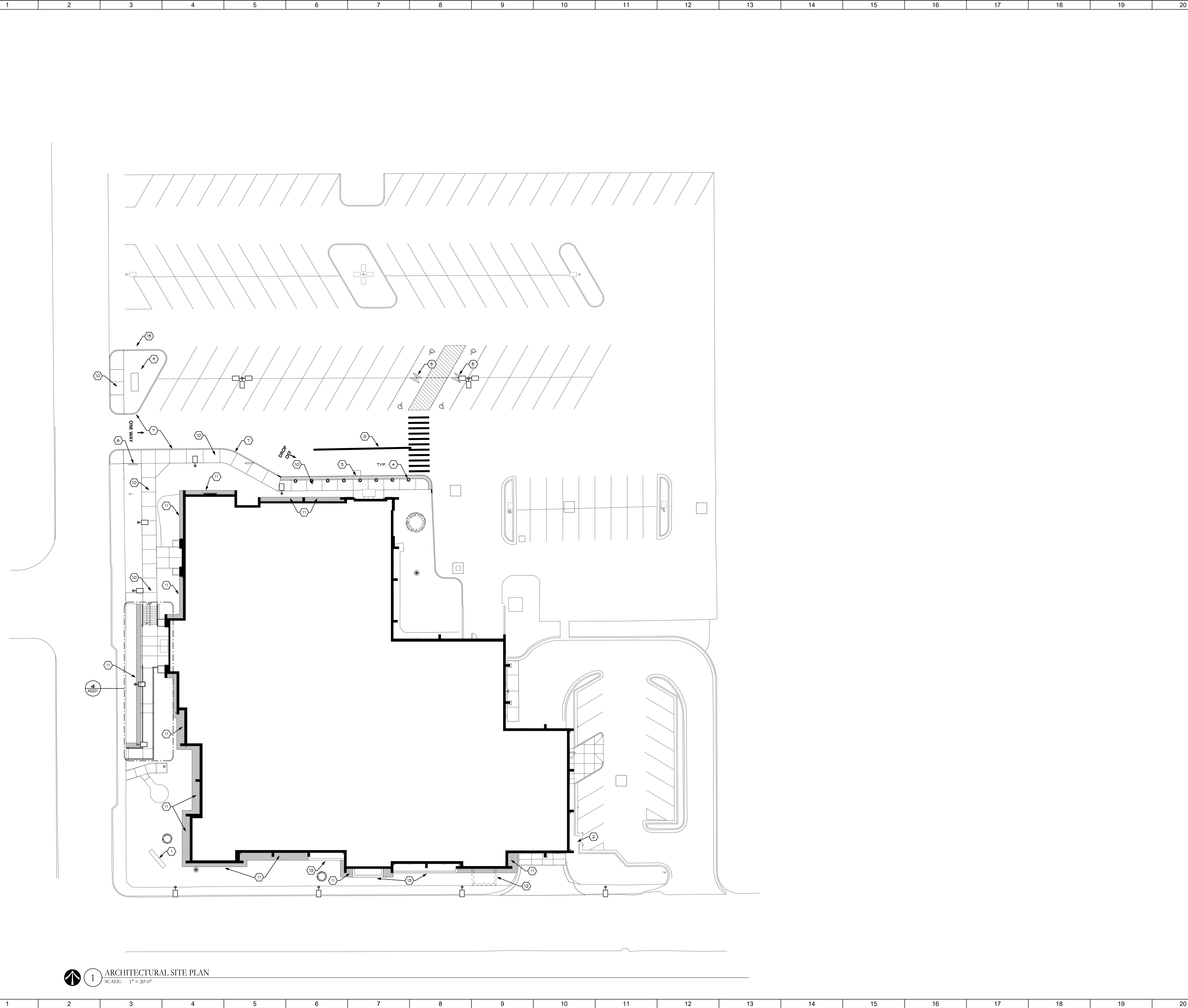
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SITE LANDSCAPE DETAILS

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Checked	ADS		



SHEET NOTES:

1. CLEAN EXISTING BRICK AND STONE MASONRY SIGN
2. PAINT EXISTING GAS SERVICE PIPING AND BOLLARD
3. TACTILE WARNING STRIP
4. LIGHT BOLLARDS
5. ADA SIGN
6. ENTRANCE "BOOK DROP" POST AND PANEL SIGN
7. NEW CONCRETE CURB
8. PAINTED LINES
9. FUTURE Pylon SIGN, PROVIDE POWER AND DATA ROUGH IN
10. NEW CONCRETE WALK
11. LANDSCAPE GRAVEL WITH STEEL EDGINS ALONG PERIMETER OF BUILDING AS INDICATED
12. REMOVE EXISTING RETAINING WALL BLOCK
13. REMOVE AND REPLACE EXISTING RETAINING WALL BLOCK

GENERAL NOTES:

- A. COORDINATE ALL SITE WORK WITH CIVIL, PLUMBING, MECHANICAL, ELECTRICAL DRAWINGS.
- B. OWNER SHALL OCCUPY SITE FOR DURATION OF PROJECT, PROVIDE TEMPORARY SIGNAGE & MAINTAIN ACCESS TO SITE AT ALL TIMES, REFER TO PHASING PLAN.
- C. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING FENCE RELOCATIONS AS REQUIRED FOR ALL PHASES OF WORK.
- D. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY SIGNAGE MAINTAINED FROM REQUIRED EXITS AT BUILDING TO EDGE OF FENCE. NOTIFY OWNER AT LEAST 12 HOURS IN ADVANCE OF ANY ADJUSTMENTS IN PATHWAYS.
- E. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY VEHICULAR & PEDESTRIAN SIGNAGE THROUGHOUT PROJECT.

RE-BID DOCUMENTS		08.08.2023
No.	Revisions / Submissions	Date

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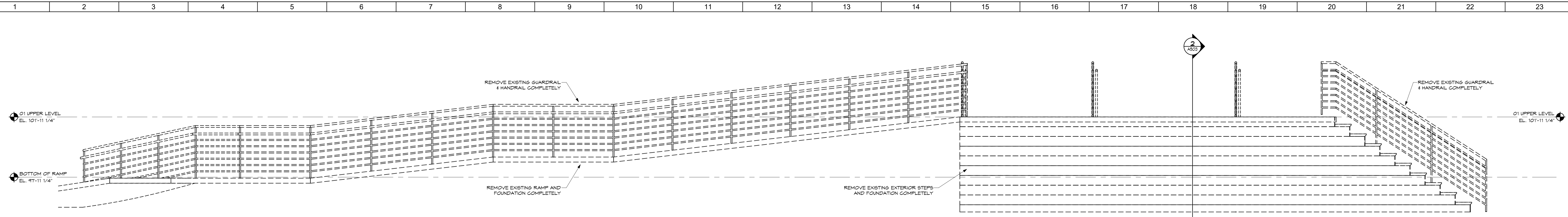
ARCHITECTURAL SITE PLAN

	Comm. No.	Date
	22105.00	08.08.2023
	Drawn	Drawing No.
	S.A.G.	AS100
Checked	G.A.D.	

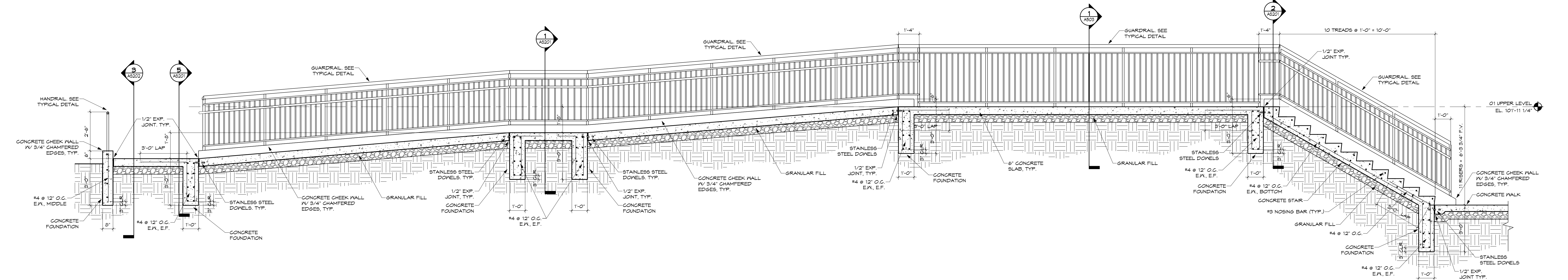
1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'-0"

8/6/2023 10:06:29 AM

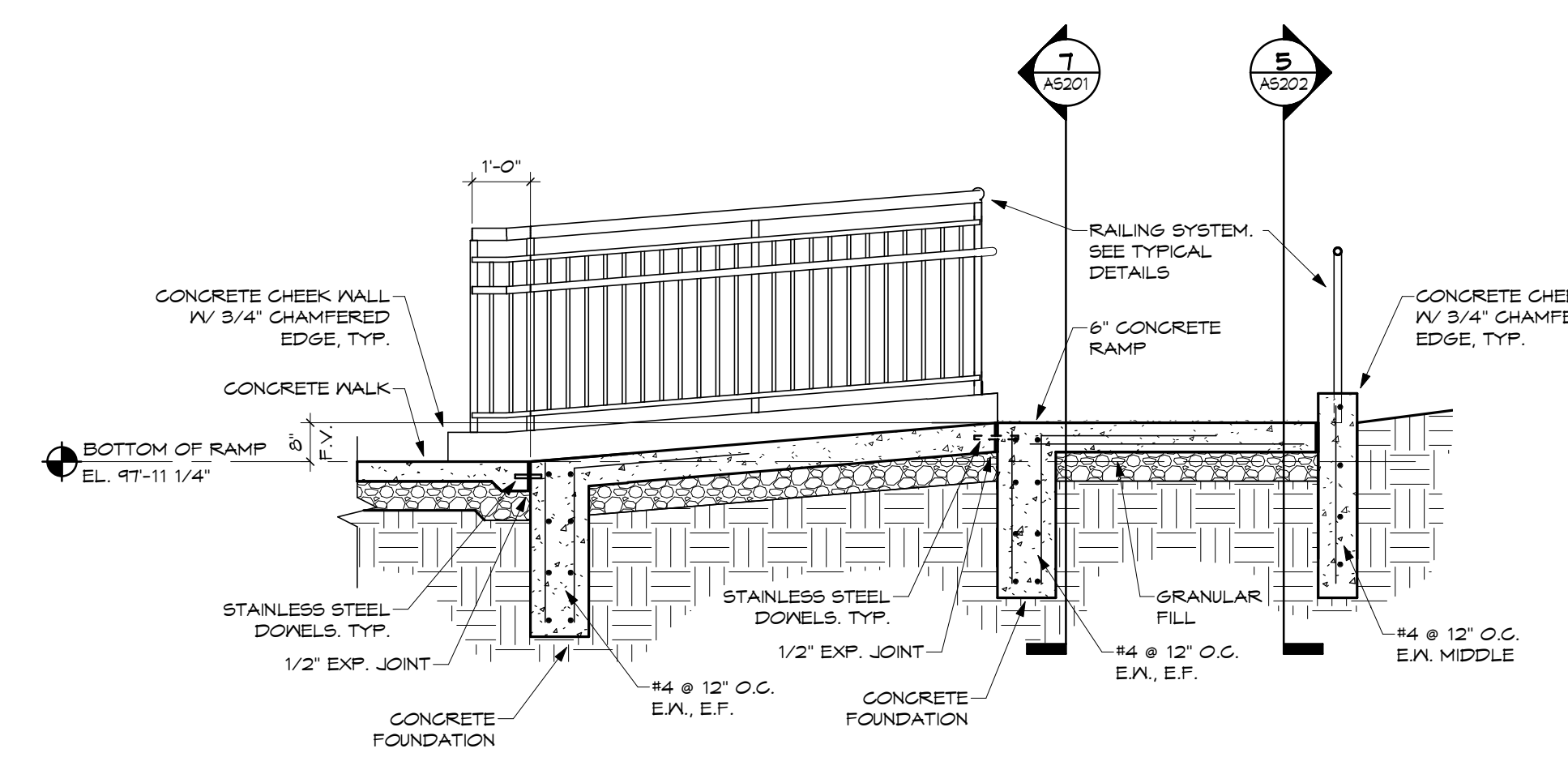
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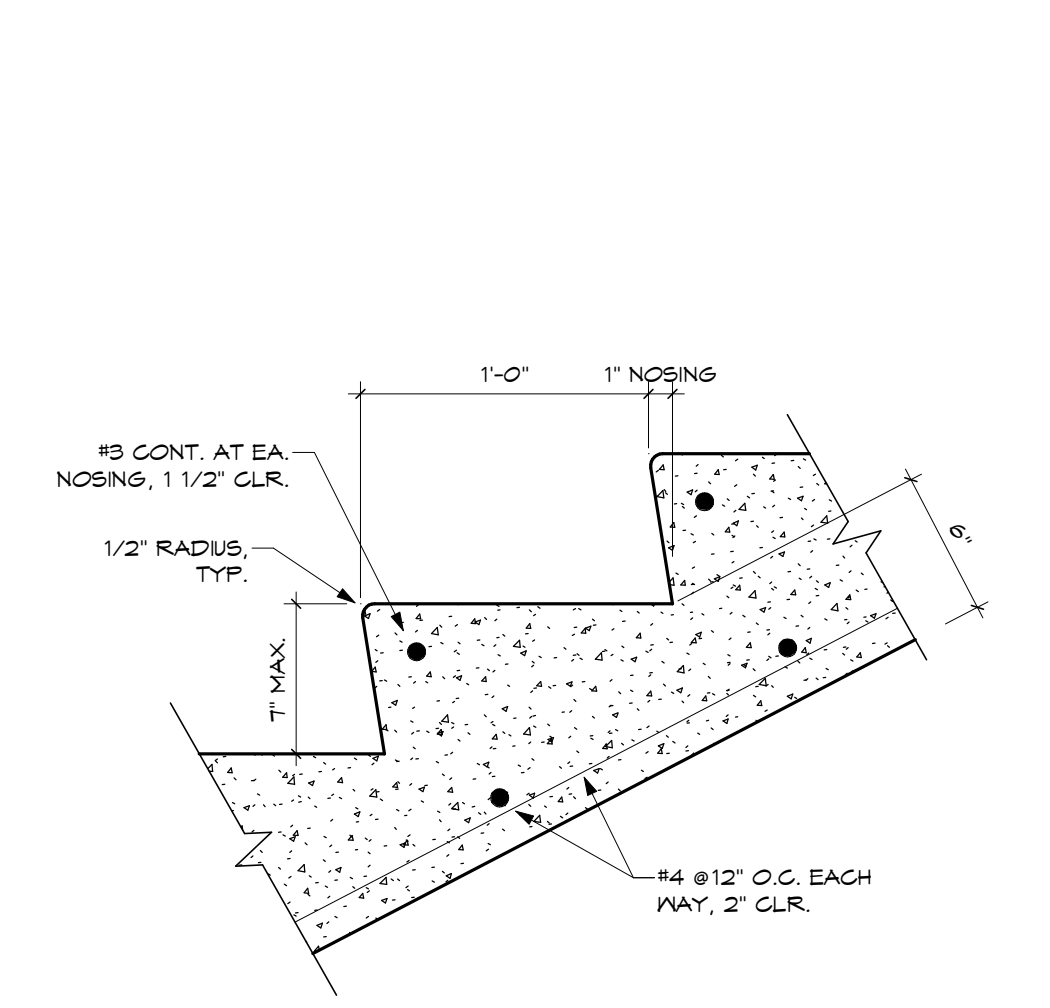
8 WEST STAIR & RAMP - DEMO
SCALE: 3/8" = 1'-0"



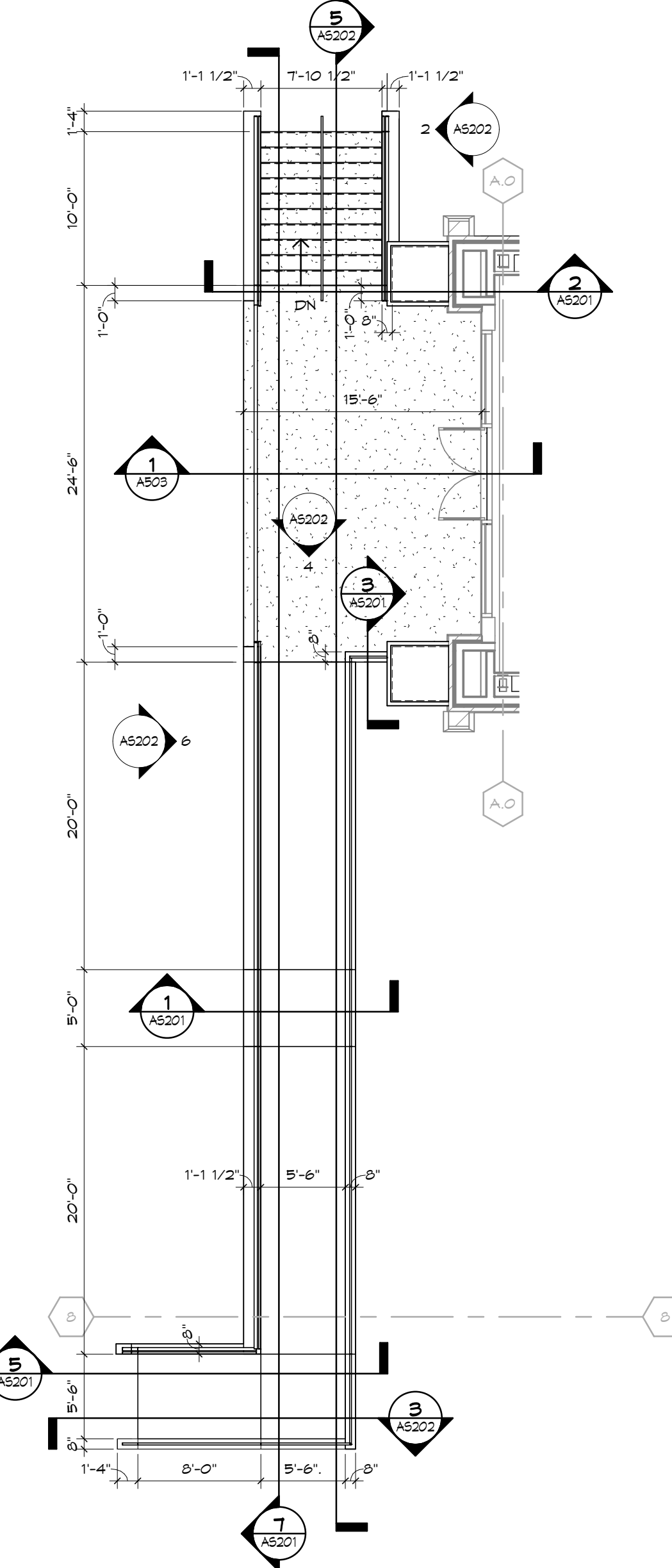
7 WEST STAIR & RAMP - UPPER SECTION - FACING WEST
SCALE: 3/8" = 1'-0"



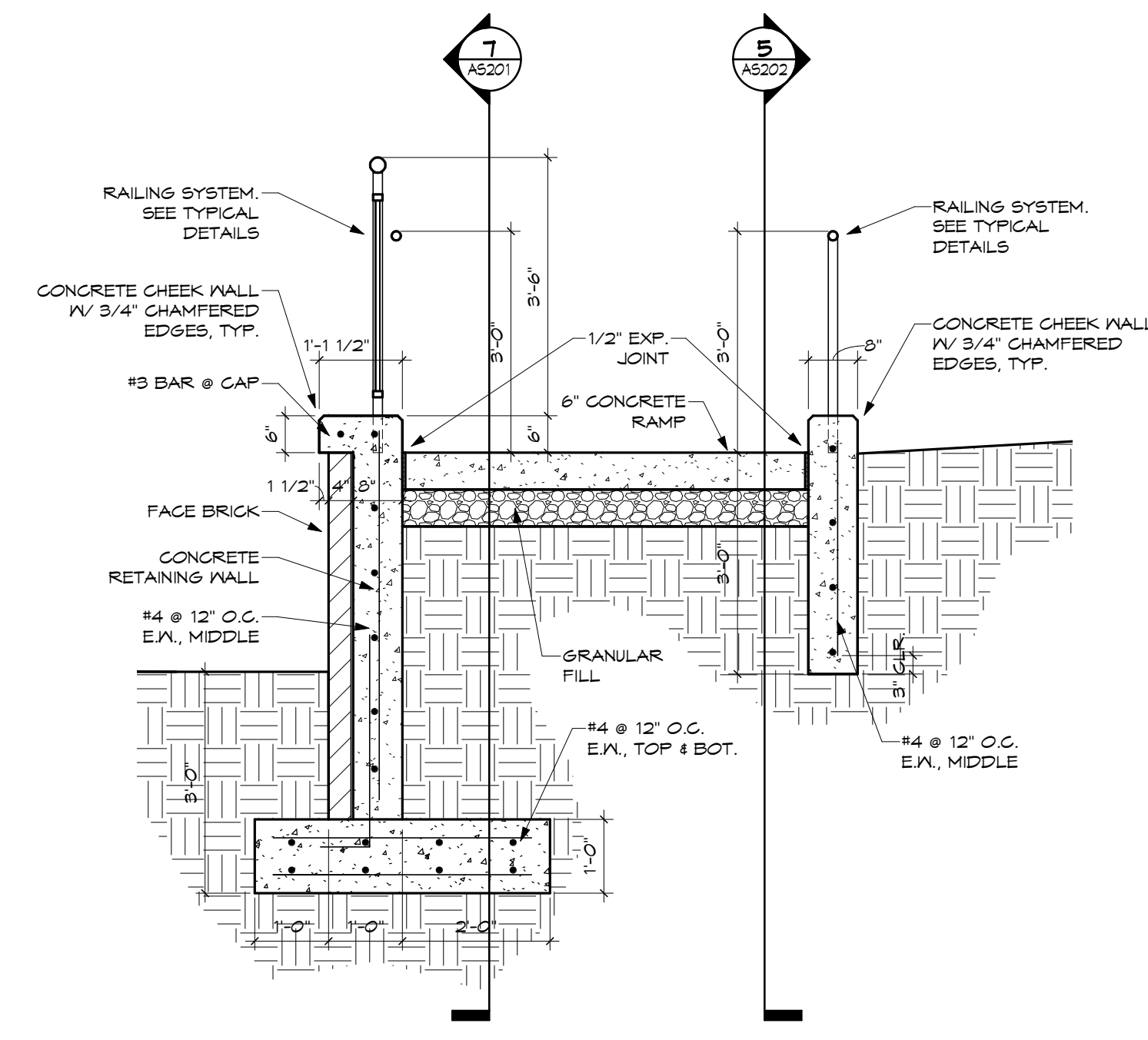
5 WEST RAMP - LOWER SECTION - FACING NORTH
SCALE: 3/8" = 1'-0"



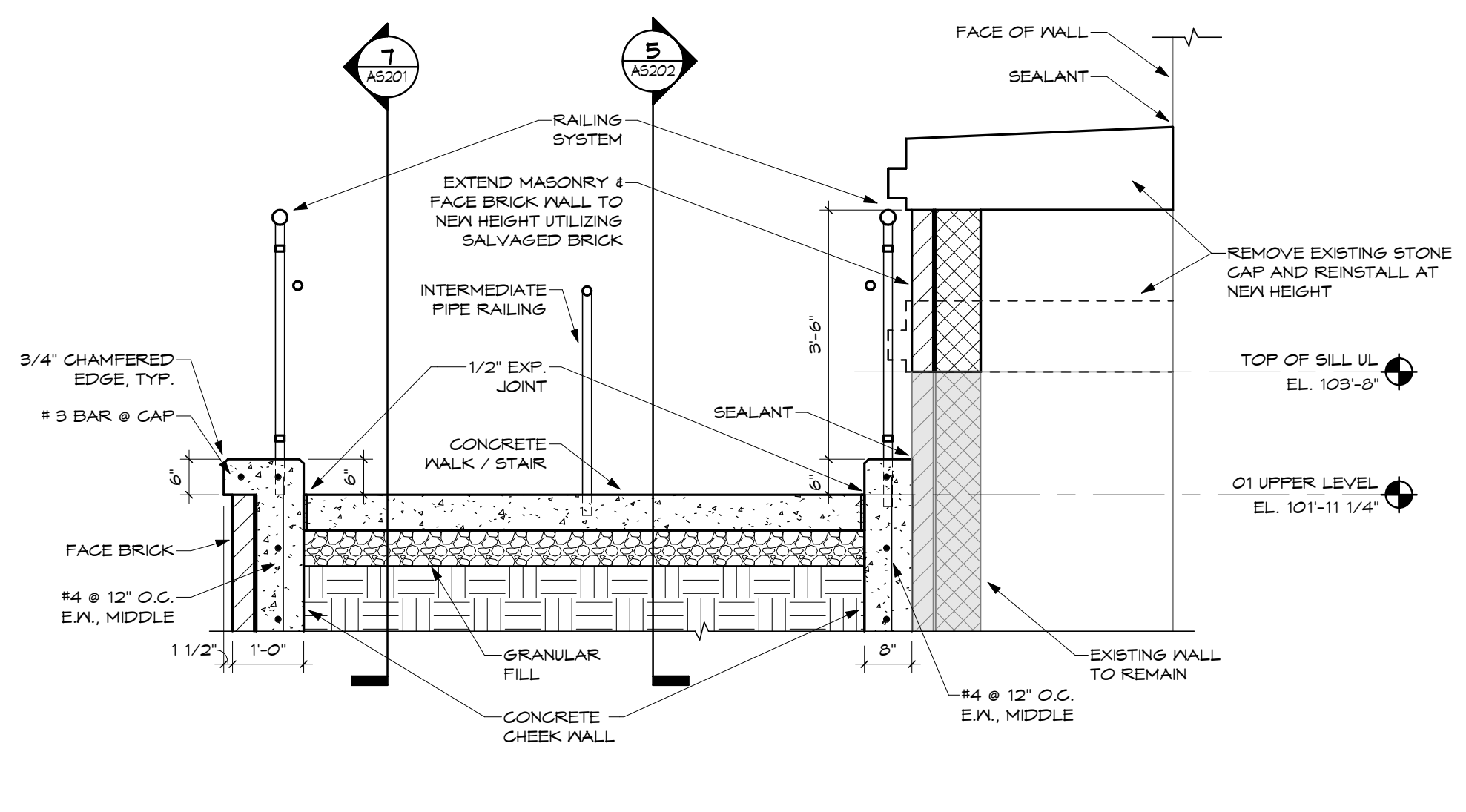
6 TYPICAL EXTERIOR STAIR TREAD
SCALE: 1 1/2" = 1'-0"



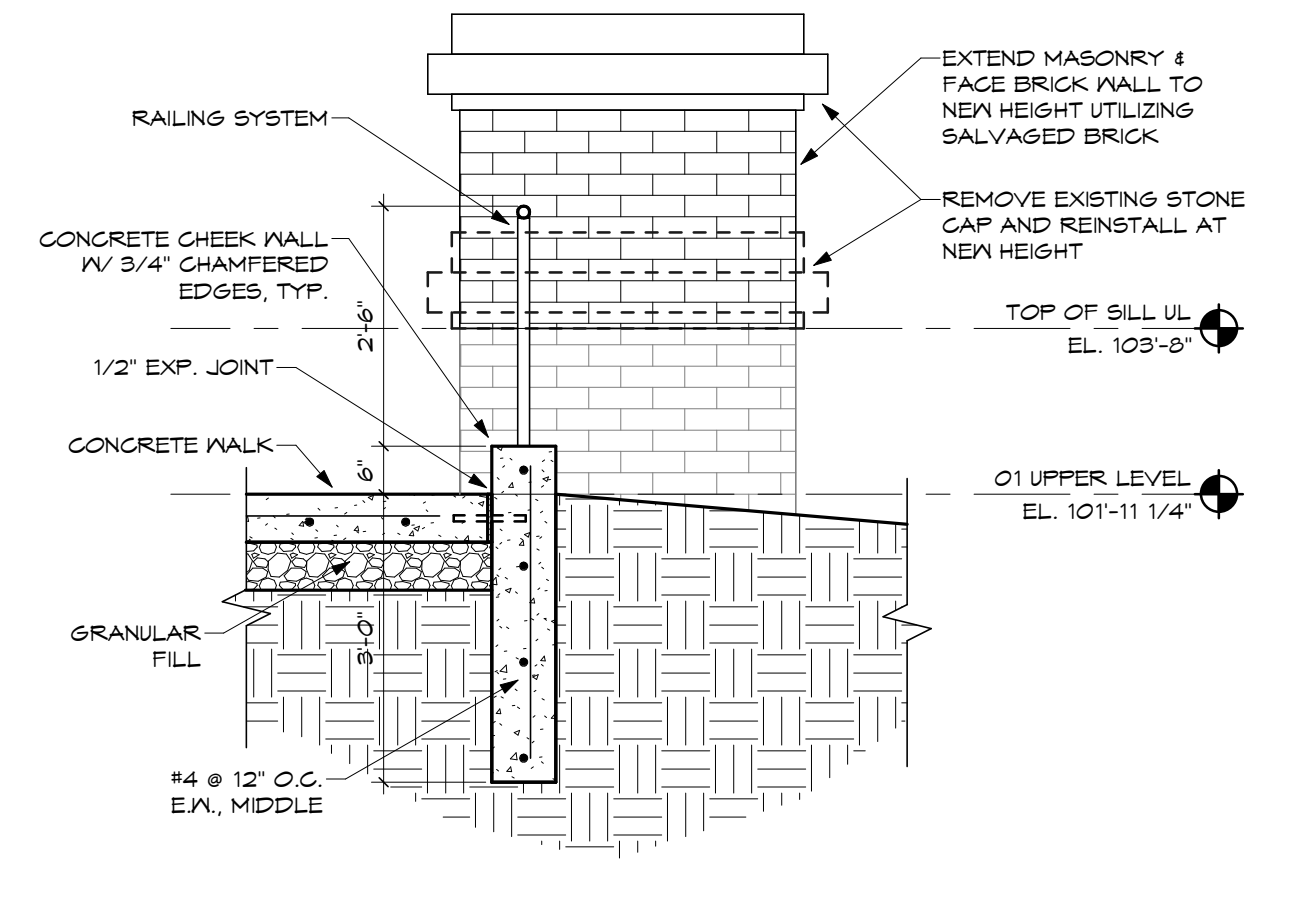
4 ENLARGED WEST STAIR & RAMP
SCALE: 1/8" = 1'-0"



1 SECTION AT WEST RAMP LANDING
SCALE: 1/2" = 1'-0"



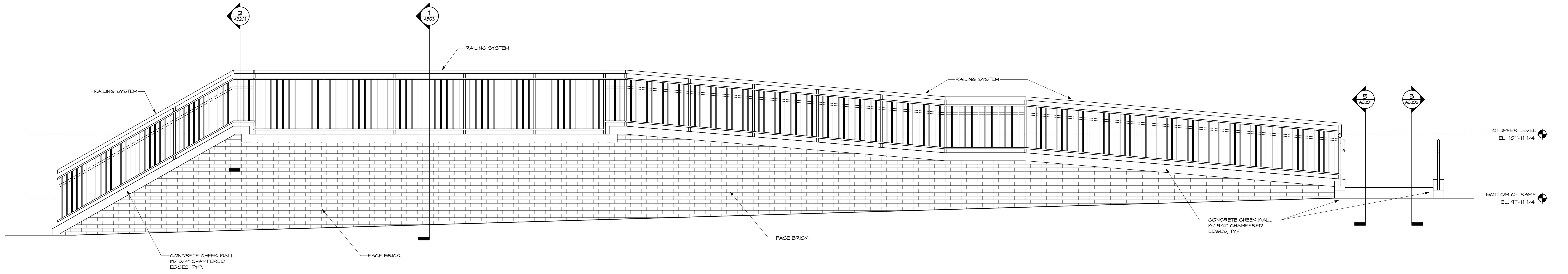
2 RAILING AT WEST STAIR AT EXISTING PIER
SCALE: 1/2" = 1'-0"



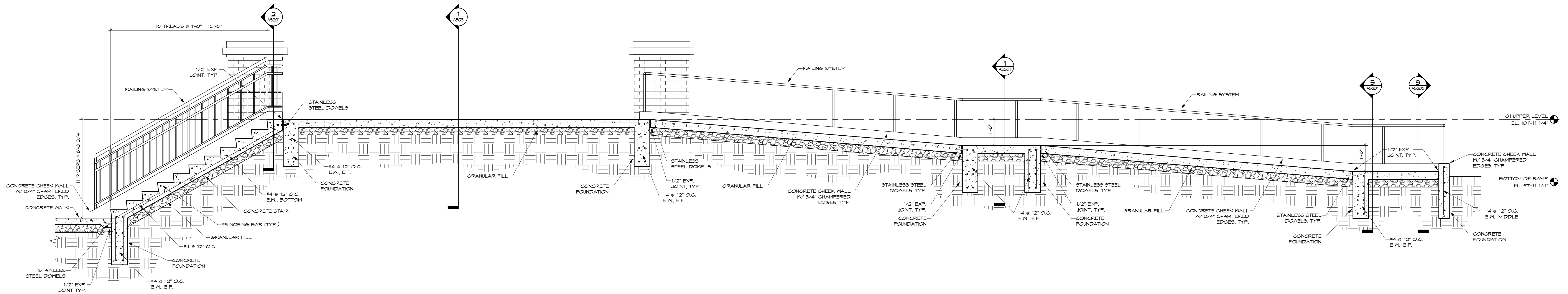
3 CHEEK WALL AT WEST STAIR - UPPER LEVEL
SCALE: 1/2" = 1'-0"

RE-BID DOCUMENTS		08.08.2023
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Comm. No.	Date	08.08.2023
22105.00		
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S.A.G.		
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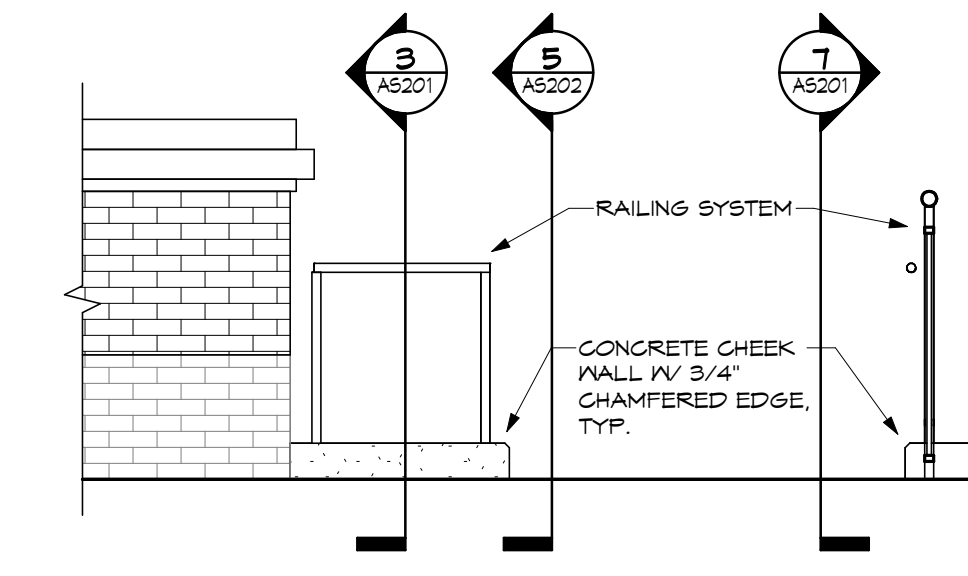
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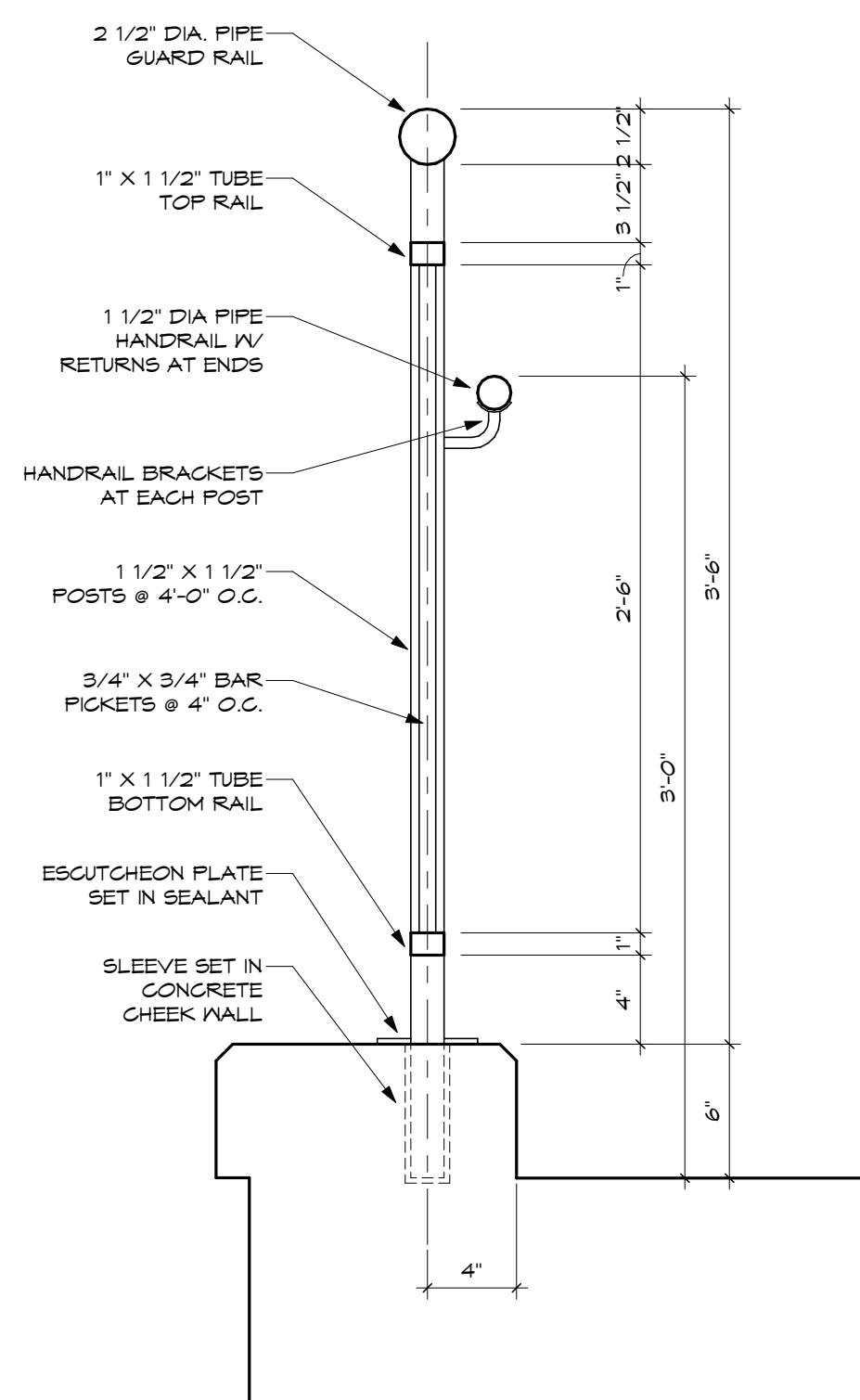
6 WEST ELEVATION - WEST STAIR & RAMP
SCALE: 3/8" = 1'-0"



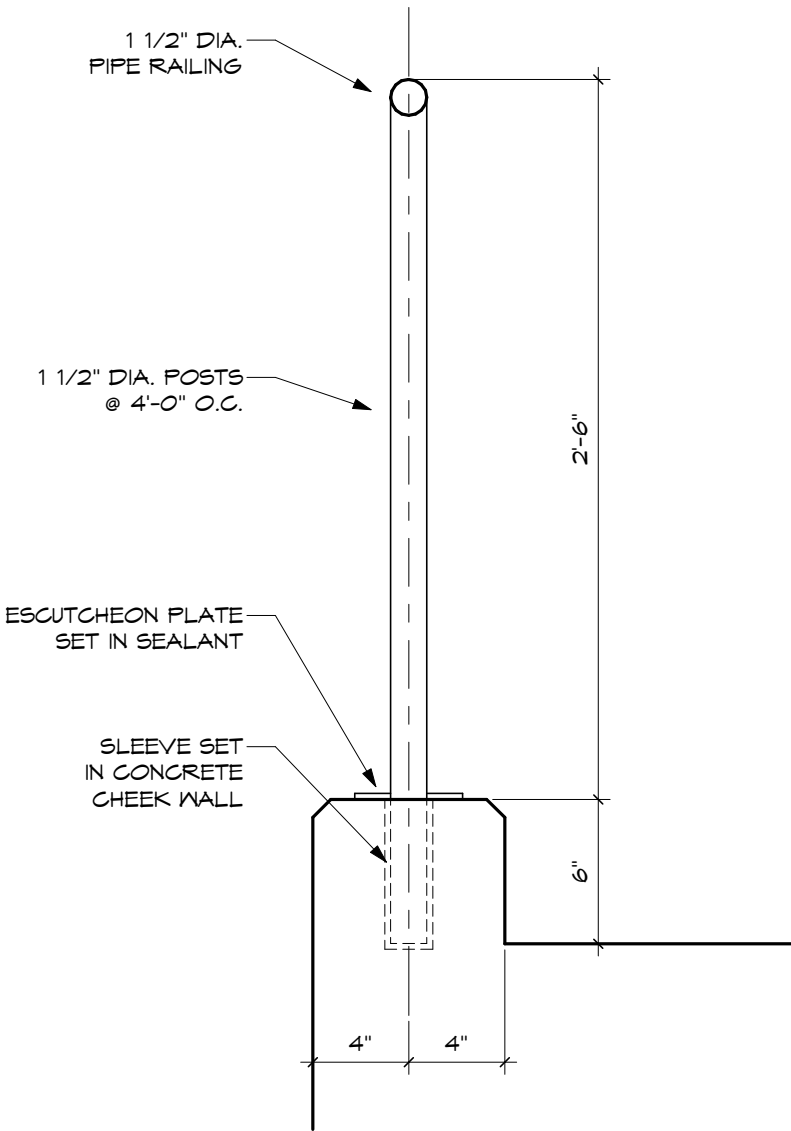
5 WEST STAIR & RAMP - UPPER SECTION - FACING EAST
SCALE: 3/8" = 1'-0"



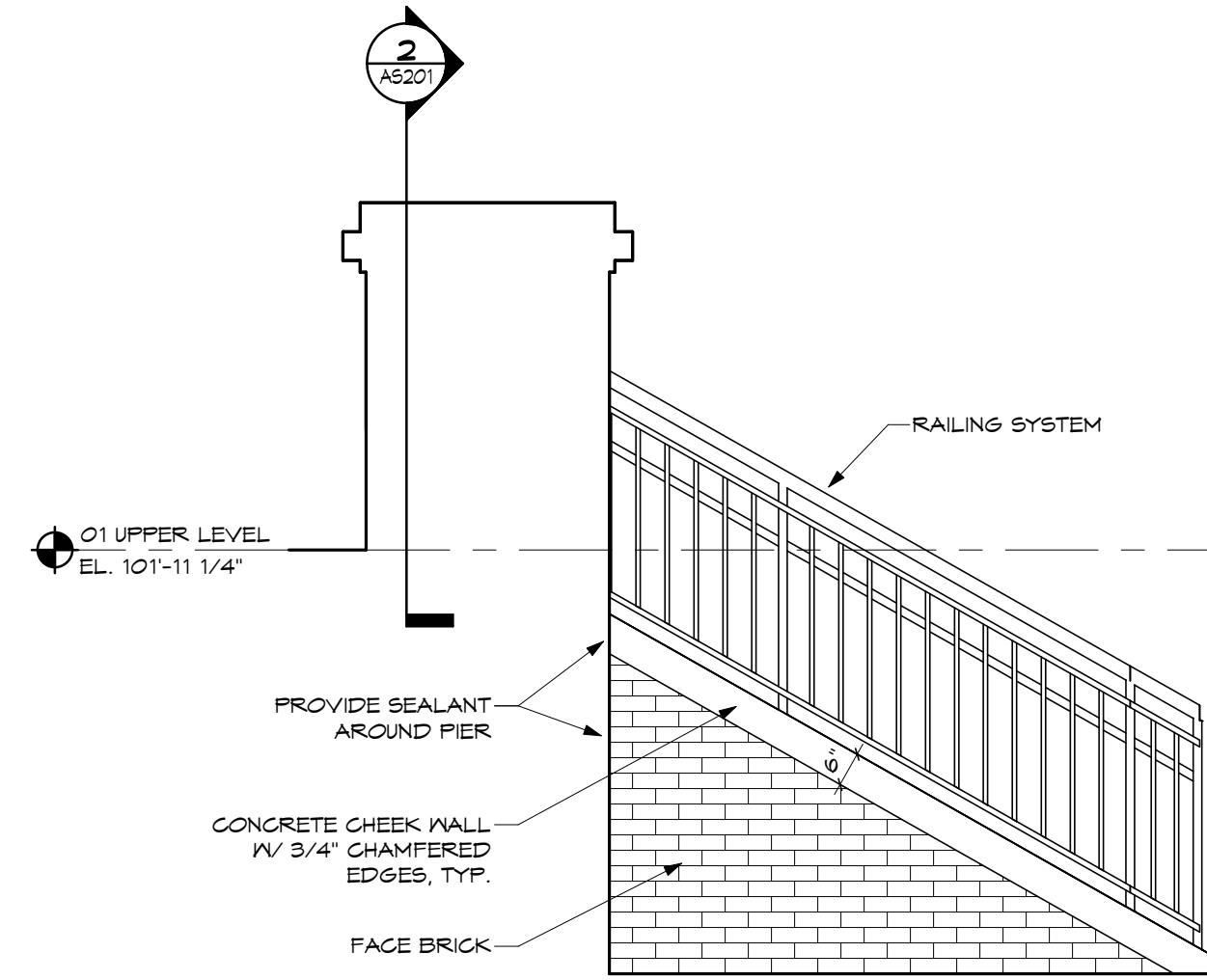
4 SOUTH ELEV. AT WEST STAIR RAILING
SCALE: 3/8" = 1'-0"



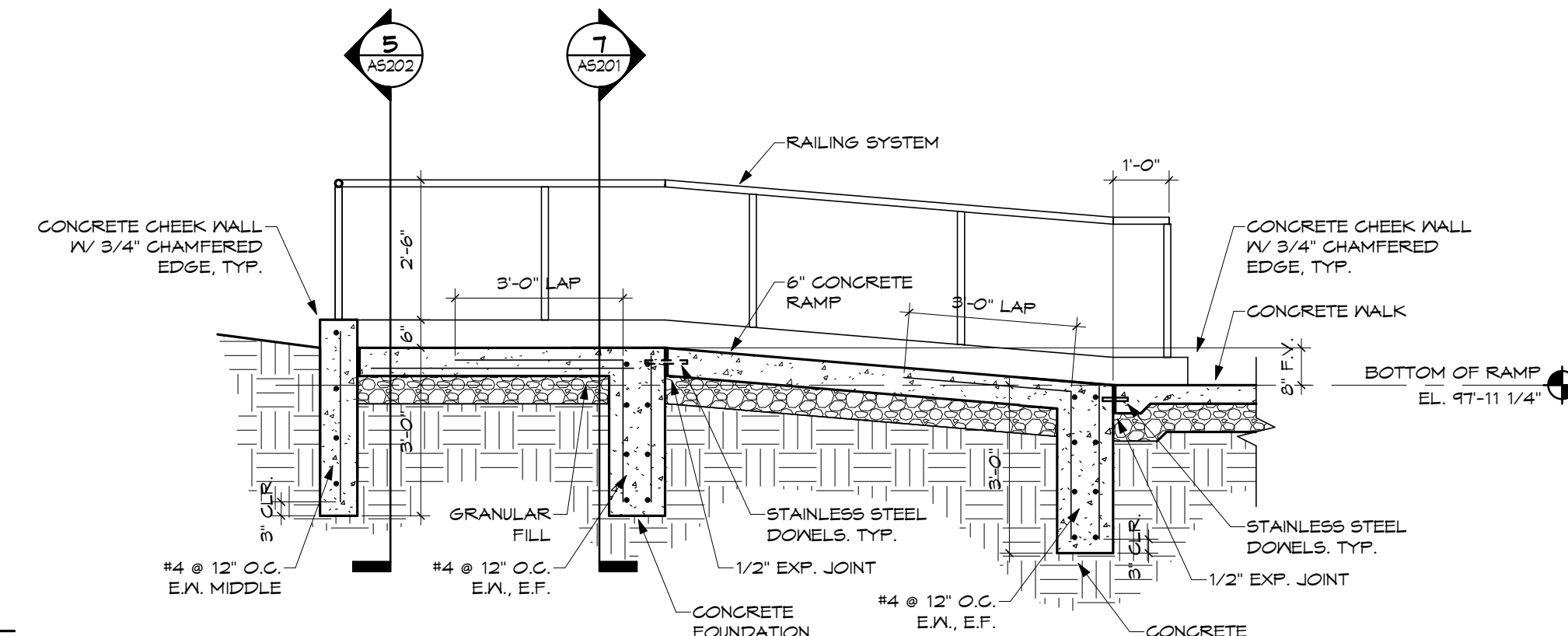
7 TYPICAL EXTERIOR GUARDRAIL
SCALE: 1 1/2" = 1'-0"



1 TYPICAL EXTERIOR RAILING
SCALE: 1 1/2" = 1'-0"



2 EAST ELEV. AT WEST STAIR
SCALE: 3/8" = 1'-0"



3 WEST RAMP - LOWER SECTION - FACING SOUTH
SCALE: 3/8" = 1'-0"

RE-BID DOCUMENTS		08.08.2023
No.	Revisions / Submissions	Date
<p>434 East First Street Dayton, OH 45402 937.223.6500 712 East Main Street Richmond, IN 47374 765.966.3546</p>		
<p>New Castle - Henry County Public Library</p> <p>376 S 15TH ST NEW CASTLE, IN 47362</p> <p>INTERIOR & EXTERIOR RENOVATIONS</p> <p>376 S 15TH ST NEW CASTLE, IN 47362</p> <p>EXTERIOR STAIR & RAMP DETAILS</p>		
Comm. No.	Date	08.08.2023
22105.00		
Drawn	Drawing No.	AS202
S.A.G.		
Checked	G.A.D.	
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Table with 20 columns and 20 rows. Columns 1-4: GENERAL INFORMATION. Columns 5-11: EXISTING CONDITIONS. Columns 12-14: EARTHWORK / FOUNDATION NOTES. Columns 15-17: CONCRETE. Columns 18-20: REINFORCING STEEL.

SHEET NOTES:

GENERAL NOTES:

KEY PLAN:

Table with 2 columns: No., Revisions / Submissions, Date.

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	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20
R	METAL ROOF DECK				LINTELS															
Q	1. ALL METAL DECK MATERIAL, FABRICATION, AND INSTALLATION SHALL CONFORM TO THE CURRENT EDITION OF THE STEEL DECK INSTITUTE (SDI) "SPECIFICATIONS AND COMMENTARY" AND "CODE OF RECOMMENDED STANDARD PRACTICE".				1. WHERE LINTELS ARE NOT SPECIFICALLY SHOWN OR NOTED ON THE STRUCTURAL OR ARCHITECTURAL DRAWINGS, PROVIDE THE FOLLOWING LINTELS OVER ALL OPENINGS AND RECESSES IN BOTH INTERIOR AND EXTERIOR WALLS. PROVIDE 2" MINIMUM BEARING U.N.O.															
P	2. ROOF DECK TO BE GALVANIZED AND MEET OR EXCEED LOAD CAPACITIES OF VULCRAFT "B" SERIES METAL ROOF DECK AND CONFORM TO ALL SDI CRITERIA AND RECOMMENDATIONS. REFER TO STRUCTURAL PLANS FOR METAL ROOF DECK SIZE, GAGE, ORIENTATION AND LOCATION. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.				A. PRECAST LINTELS: a. PROVIDE 4", 6" OR A COMBINATION FOR OPENINGS UP TO 10'-0" WIDE.															
N	3. DECK SHALL BE PROVIDED IN A MINIMUM OF 3 SPAN LENGTHS WHERE POSSIBLE.				B. LOOSE LINTEL ANGLES FOR BRICK/STONE VENEER: a. OPENINGS UP TO 5'-0" : USE L5x3x5/16 b. OPENINGS 5'-0" TO 7'-0" : USE L8x4x3/16 (LLV) c. OPENINGS 7'-0" TO 10'-0" : USE L7x4x3/8 (LLV)															
M	4. MINIMUM BEARING OF METAL DECKING ON SUPPORTS SHALL BE 2 INCHES FOR DECKS 2" OR LESS DEEP AND 3" FOR 3" DEEP DECK. ATTACH METAL DECKING TO SUPPORTING STEEL MEMBERS BY WELDING AS SPECIFIED ON THE DRAWINGS AND AS RECOMMENDED BY DECK MANUFACTURER USING E60 OR E70 ELECTRODES. DECK WELDING SHALL BE IN COMPLIANCE WITH ANSIAWS D1.3.				2. ALL LOOSE LINTEL AND CONTINUOUS RELIEF ANGLES IN EXTERIOR WALLS SHALL BE HOT-DIPPED GALVANIZED															
L	5. METAL ROOF DECK IS DESIGNED AS A HORIZONTAL DIAPHRAGM. ALL WELDS TO BE 5/8" PUDDLE WELDS. WELDING PATTERN SHALL BE 3/64 WITH #10 TEK SCREWS AT 24" O.C. AT SIDELAPS.				POST-INSTALLED ANCHORS															
K	6. PROVIDE ALL REQUIRED ACCESSORIES FOR A COMPLETE JOB INCLUDING DECK SUPPORT ANGLES AT COLUMNS AND DECK SPAN CHANGES, COVER PLATES, CLOSURES AND SUMP PANS.				1. EXPANSION ANCHORS IN CONCRETE OR GROUTED CONCRETE MASONRY, IF NOT SPECIFICALLY CALLED OUT OR SHOWN ON THE DRAWINGS, SHALL BE HILTI KWIK BOLT TZ. EQUIVALENT SUBSTITUTIONS MUST BE SUBMITTED IN ADVANCE TO THE EOR WITH COMPLETE PRODUCT DATA FOR CONSIDERATION.															
J	7. DO NOT SUSPEND LIGHT FIXTURES, DUCTS, BULKHEADS, OTHER UTILITIES, ETC., FROM THE STEEL ROOF DECK.				2. MECHANICAL ANCHORS IN HOLLOW CONCRETE MASONRY, IF NOT SPECIFICALLY CALLED OUT OR SHOWN ON THE DRAWINGS, SHALL BE HILTI HLC. EQUIVALENT SUBSTITUTIONS MUST BE SUBMITTED IN ADVANCE TO THE EOR WITH COMPLETE PRODUCT DATA FOR CONSIDERATION.															
I	REINFORCED MASONRY				3. ADHESIVE/EPOXY ANCHORS IN CONCRETE, IF NOT SPECIFICALLY CALLED OUT OR SHOWN ON THE DRAWINGS, SHALL BE HILTI HIT-HY 200 WITH HAS RODS. EQUIVALENT SUBSTITUTIONS MUST BE SUBMITTED IN ADVANCE TO THE EOR WITH COMPLETE PRODUCT DATA FOR CONSIDERATION.															
H	1. ALL MASONRY WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL BUILDING CODE, BUILDING CODE REQUIREMENTS OF MASONRY STRUCTURES (ACI 330-11/ASCE 5-11/TMS 402-11) AND SPECIFICATIONS FOR MASONRY STRUCTURES (ACS 530.1-11/ASCE 6-11/TMS 602-11).				4. ADHESIVE/EPOXY ANCHORS IN GROUTED OR HOLLOW CONCRETE MASONRY UNITS, IF NOT SPECIFICALLY CALLED OUT OR SHOWN ON THE DRAWINGS, SHALL BE HILTI HIT-HY 270 WITH HAS RODS. EQUIVALENT SUBSTITUTIONS MUST BE SUBMITTED IN ADVANCE TO THE EOR WITH COMPLETE PRODUCT DATA FOR CONSIDERATION.															
G	2. REFER TO ARCHITECT'S DRAWINGS FOR THE EXTENT OF MASONRY WALLS. NON-LOADBEARING WALLS MAY NOT BE SHOWN ON THE STRUCTURAL DRAWINGS.				5. ALL POST-INSTALLED ANCHORS WITH EXTERIOR EXPOSURE TO THE ELEMENTS IN THE FINISHED STRUCTURE SHALL BE STAINLESS STEEL UNLESS NOTED OTHERWISE.															
F	3. ALL MASONRY WORK SHALL BE SUBJECTED TO CONTROLLED INSPECTION.				6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL OF MANUFACTURER'S INSTALLATION DATA AND REQUIREMENTS AND TO INSTALL POST-INSTALLED ANCHORS ACCORDING TO THESE REQUIREMENTS. INSTALLERS MUST BE TRAINED AND EXPERIENCED IN PROPER ANCHOR INSTALLATION TECHNIQUES FOR THE PRODUCT USED.															
E	4. ALL MASONRY SHALL BE LAID IN RUNNING BOND UNLESS NOTED OTHERWISE.				7. POST-INSTALLED ANCHORS MAY NOT BE INSTALLED IN CONCRETE UNTIL IT HAS ATTAINED ITS 28 DAY COMPRESSIVE STRENGTH AS INDICATED BY TEST CYLINDERS AND HAS CURED FOR AT LEAST 21 DAYS.															
D	5. ALL CONCRETE MASONRY SHALL CONFORM WITH ASTM C39 HOLLOW LOAD BEARING UNITS WITH A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI ON THE NET SECTION. ALL CMU SHALL BE LIGHTWEIGHT UNLESS NOTED OTHERWISE.				8. POST-INSTALLED ANCHORS MAY NOT BE INSTALLED IN CONCRETE MASONRY UNTIL MORTAR AND GROUT HAVE ATTAINED THEIR 28 DAY COMPRESSIVE STRENGTH AS INDICATED BY TEST CYLINDERS AND HAS CURED FOR AT LEAST 21 DAYS.															
C	6. ALL MORTAR SHALL CONFORM WITH ASTM C270 (REFERENCE SPECIFICATIONS). MORTAR SHALL BE PLACED IN ALL CONTACT AREAS, INCLUDING HORIZONTAL CONTACT AREAS AND VERTICAL SIDES.				9. REINFORCING STEEL NOTED AS ADHESIVE OR EPOXY ANCHORED INTO EXISTING SUBSTRATE SHALL HAVE MINIMUM EMBEDMENT DEPTHS AS FOLLOWS UNLESS NOTED OTHERWISE: # 3 3 3/8" # 6 6 3/4" # 9 10 1/8" # 4 4 1/2" # 7 7 7/8" # 10 11 1/4" # 5 5 5/8" # 8 9"															
B	7. ALL GROUT SHALL CONFORM WITH ASTM C476 AND HAVE AN AVERAGE COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS (REFERENCE SPECIFICATION). CONCRETE SHALL NOT BE USED IN LIEU OF MASONRY GROUT.				10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW PLACEMENT OF ANCHORS IN CONCRETE MASONRY WALLS OR ANY CONCRETE MEMBER AND INSTALL IN ACCORDANCE WITH ALL OF MANUFACTURER'S REQUIREMENTS. THIS INCLUDES, BUT IS NOT LIMITED TO, EDGE DISTANCE, SPACING, NUMBER OF ANCHORS IN A CELL, ETC.															
A	8. GROUT SHALL BE PLACED IN THE VERTICAL CORES OF THE MASONRY UNITS UTILIZING THE LOW LIFT GROUTING METHOD SET FORTH IN NCMATEK 23A: A. GROUT SHALL COMPLY WITH ASTM C476 (MORTAR OR CONCRETE SHALL NOT BE USED TO FILL CMU CORES.) REFERENCE SPECIFICATION. B. WEBS ADJACENT TO CORES TO BE GROUTED SHALL BE MORTARED. MORTAR SHALL BE STRUCK FLUSH WITH THE INSIDE FACE OF CORES TO BE GROUTED. CORES TO BE GROUTED SHALL BE CLEARED OF ALL MORTAR DROPPINGS AND OTHER DEBRIS PRIOR TO GROUTING. C. THE MAXIMUM HEIGHT OF A GROUT LIFT SHALL BE 4 FEET. D. STEP GROUT POURS 1-1/2 INCHES BELOW THE UPPERMOST PORTION OF THE CAVITY BEING FILLED TO PROVIDE A KEY FOR THE NEXT LIFT OR POUR. E. CONSOLIDATE GROUT BY VIBRATING TWICE WITH A MECHANICAL VIBRATOR EACH LIFT. ONCE IMMEDIATELY AFTER POUR AND ONCE APPROXIMATELY 30 MINUTES AFTER GROUT IS INSTALLED. F. ALL REINFORCING STEEL SHALL BE INSPECTED IN PLACE BEFORE GROUTING AND THERE SHALL BE CONTINUOUS INSPECTION DURING THE GROUTING OPERATION.				STAIRS AND HAND RAILS															
	9. UNLESS OTHERWISE NOTED, CENTER ALL VERTICAL REINFORCING IN CMU CORE AND HOLD IN POSITION WITH CAGING DEVICES.				1. ALL STAIRS AND HANDRAILS SHALL BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF THE PROJECT LOCATION BASED ON THE FOLLOWING DESIGN CRITERIA AND CALCULATIONS SHALL BE SIGNED AND SEALED: A. STAIR STRINGERS, TREADS AND RISERS SHALL BE DESIGNED TO SUPPORT 100 PSF LIVE LOAD. B. INDIVIDUAL STAIR TREADS SHALL BE DESIGNED TO SUPPORT A 300 POUND CONCENTRATED LOAD PLACED IN A POSITION THAT WOULD CAUSE MAXIMUM STRESS. C. THE TOP RAIL OF HANDRAILS SHALL BE DESIGNED TO WITHSTAND A LOAD OF 50 PLF APPLIED HORIZONTALLY AT RIGHT ANGLES, OR A 200 POUND CONCENTRATED LOAD APPLIED IN ANY DIRECTION. D. INTERMEDIATE RAILS, PANEL FILLERS AND THEIR CONNECTIONS SHALL BE DESIGNED TO WITHSTAND A LOAD OF 50 PSF APPLIED HORIZONTALLY AT RIGHT ANGLES OVER THE ENTIRE TRIBUTARY AREA, INCLUDING OPENINGS AND SPACES BETWEEN RAILS. E. ALL STAIRS AND HAND RAIL CONNECTIONS TO THE PRIMARY STRUCTURE SHALL BE DESIGNED AND DETAILED BY THE STAIR MANUFACTURER.															
	10. THE MINIMUM LENGTH OF LAP FOR REINFORCING IN MASONRY WALLS UNLESS OTHERWISE NOTED SHALL BE 48 BAR DIAMETERS. THESE LAPS SHALL BE LOCATED AND SPACED IN ACCORDANCE WITH THE SPECIFICATIONS.																			
	11. REFERENCE THE SPECIFICATIONS FOR HORIZONTAL JOINT REINFORCING SIZE AND SPACING.																			
	12. ALL BOND BEAMS SHALL BE CONTINUOUS AND SHALL BE FILLED WITH GROUT AND CONTINUOUS REINFORCEMENT AS SHOWN ON THE DRAWINGS OR AS FOLLOWS U.N.O.: 6" WIDE BOND BEAM : (1) #6 REBAR 8" AND 10" WIDE BOND BEAM : (2) #6 REBAR 12" WIDE BOND BEAM : (2) #6 REBAR																			
	13. FOR BOND BEAM LINTEL REINFORCEMENT REQUIREMENTS, SEE TYPICAL DETAILS OR SECTIONS CUT ON PLANS.																			
	14. PROVIDE CONTROL JOINTS IN CONCRETE MASONRY WALLS AT 25'-0" O.C. MAXIMUM UNLESS NOTED OTHERWISE. ALL JOINTS SHALL BE LOCATED IN ACCORDANCE WITH NCMATEK 10-2C "CONTROL JOINTS FOR CONCRETE MASONRY WALLS - EMPIRICAL METHOD."																			
	15. DISCONTINUE REINFORCING STEEL AT CONTROL JOINTS AND PROVIDE REINFORCEMENT AT CORNERS AND INTERSECTIONS AS SHOWN IN THE TYPICAL DETAILS.																			
	16. REINFORCE AND GROUT CORES AT EACH JAMB OF MASONRY OPENINGS AS FOLLOWS: UP TO 9'-0" OPENING : (1) #6 REBAR 9'-0" TO 16'-0" OPENING : (2) #6 REBAR																			
	17. BEAMS AND LINTELS SHALL BEAR A MINIMUM OF 8 INCHES ONTO SUPPORTING MASONRY, UNLESS NOTED OTHERWISE. BEARING FOR ALL BEAMS, LINTELS, JOISTS, ETC. SHALL BE GROUTED SOLID A MINIMUM OF TWO COURSES BELOW BEARING ELEVATION, UNLESS NOTED OTHERWISE.																			

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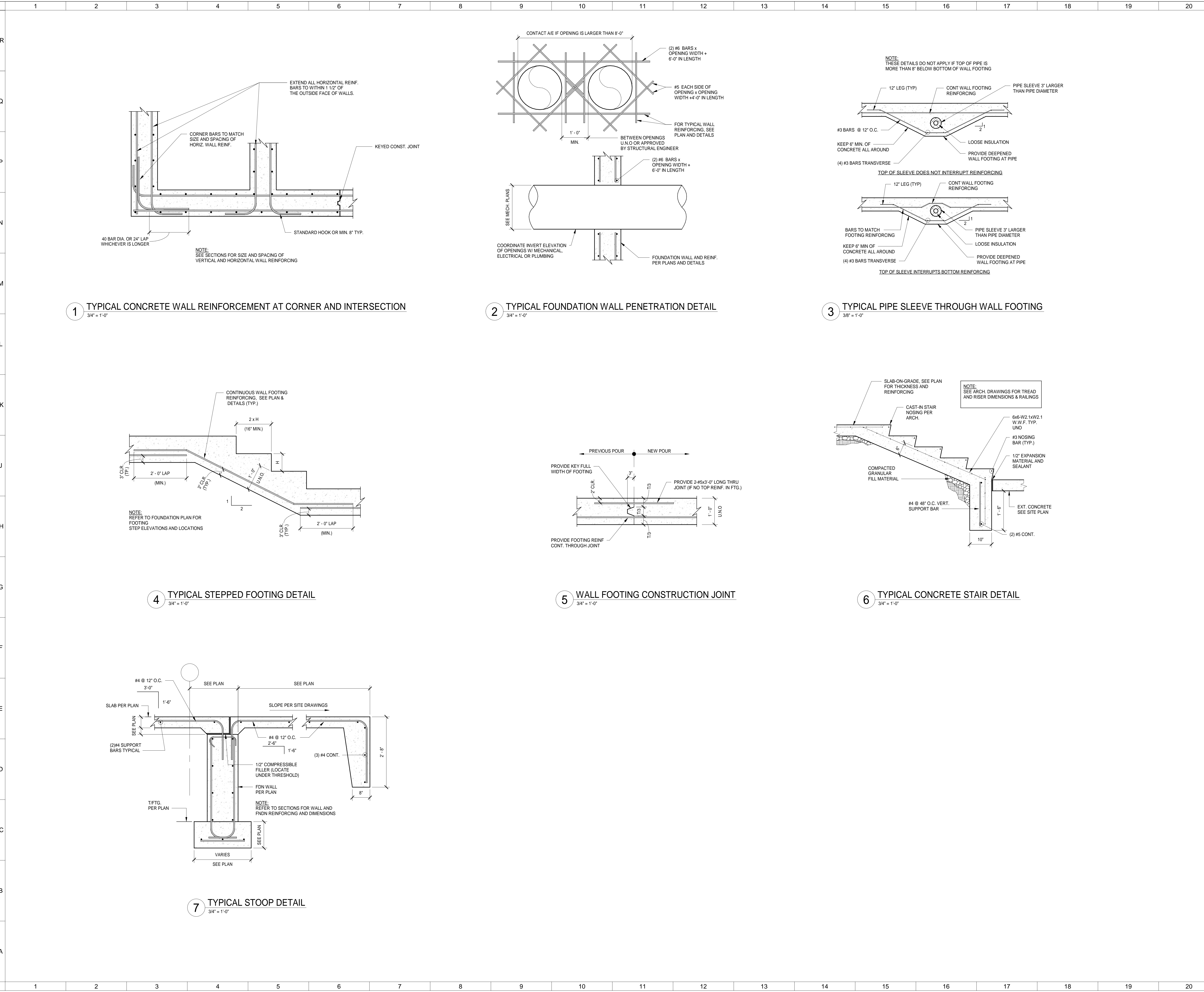
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GENERAL NOTES

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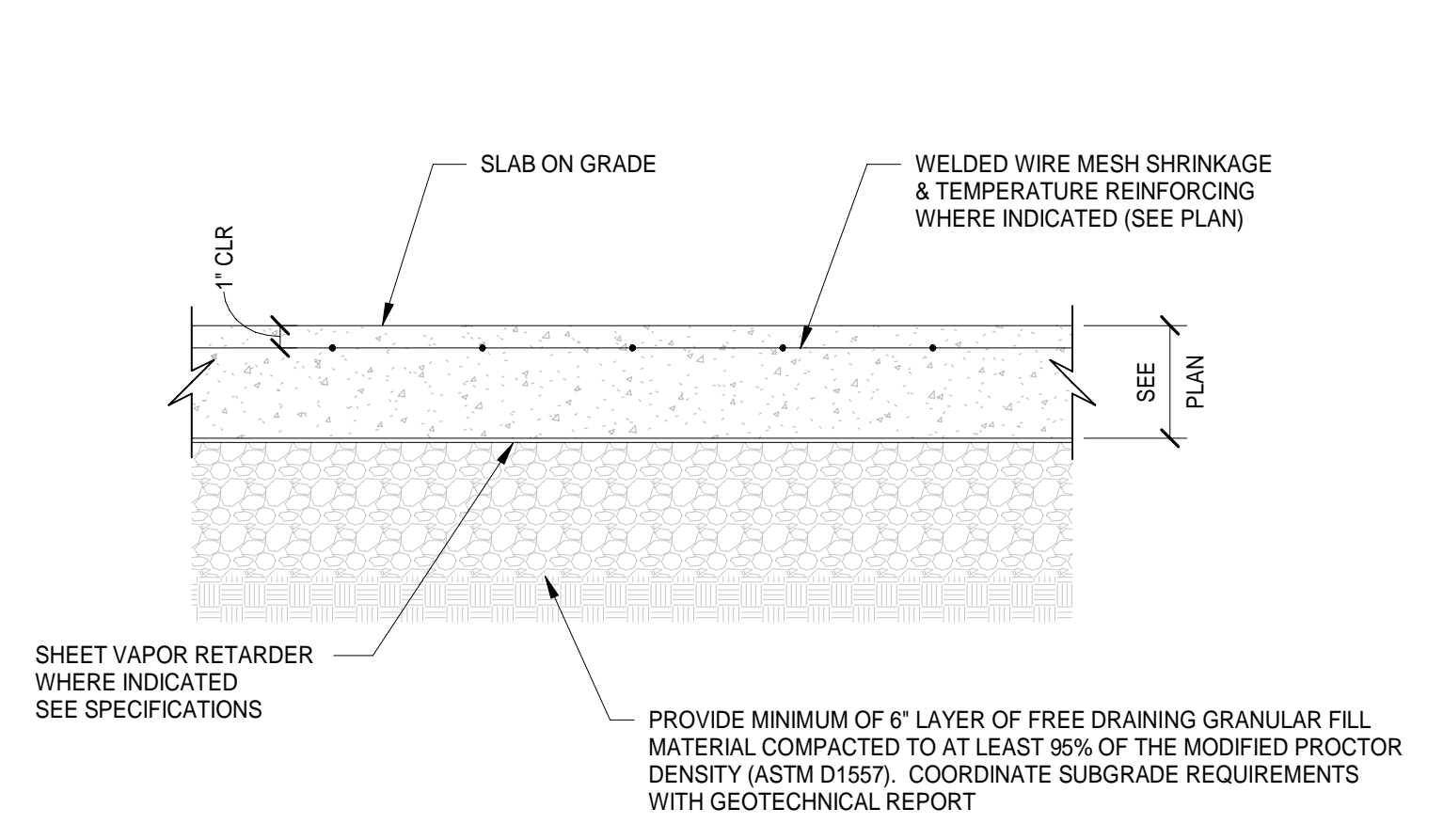
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FOUNDATION SCHEDULE AND TYPICAL DETAILS

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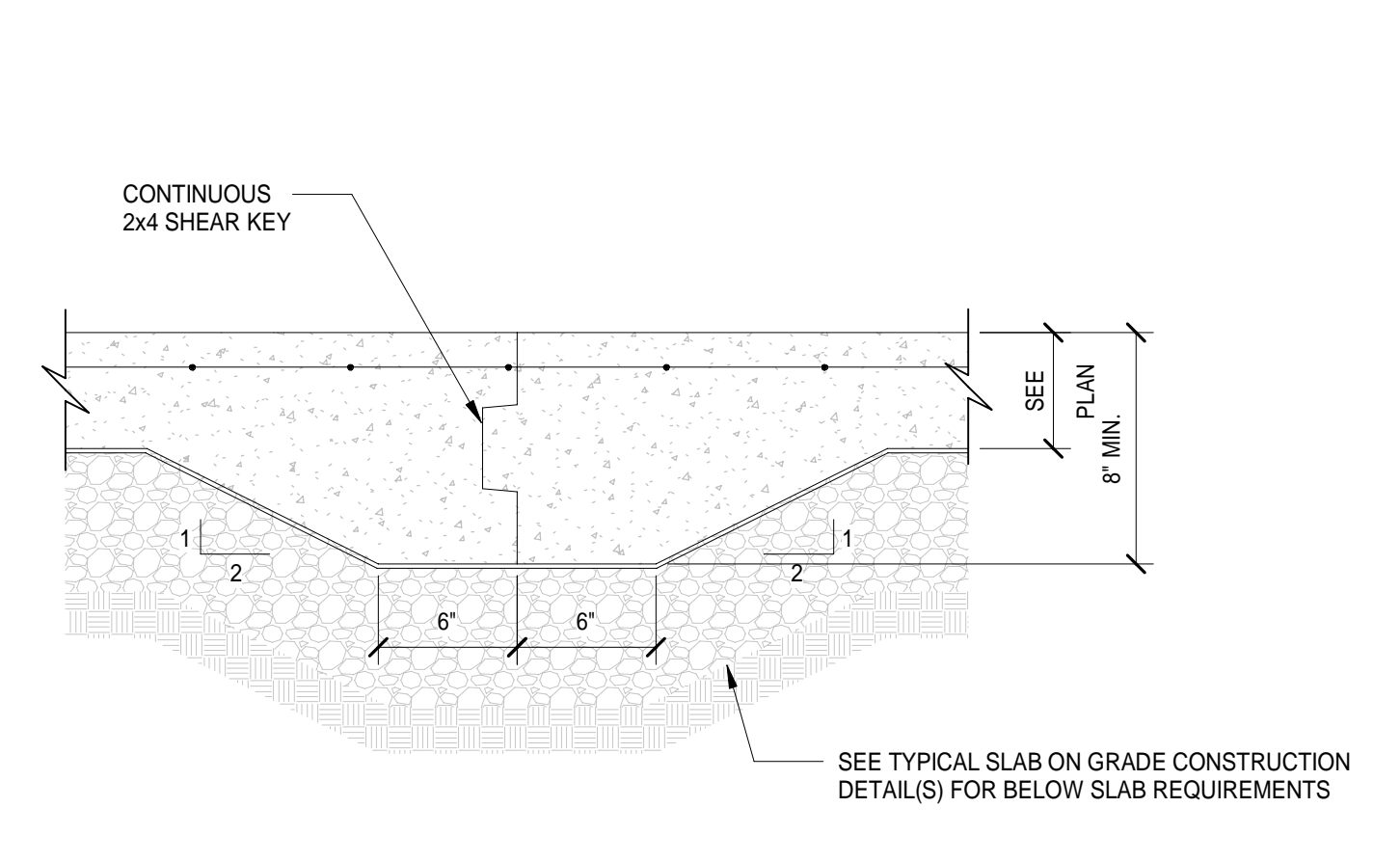
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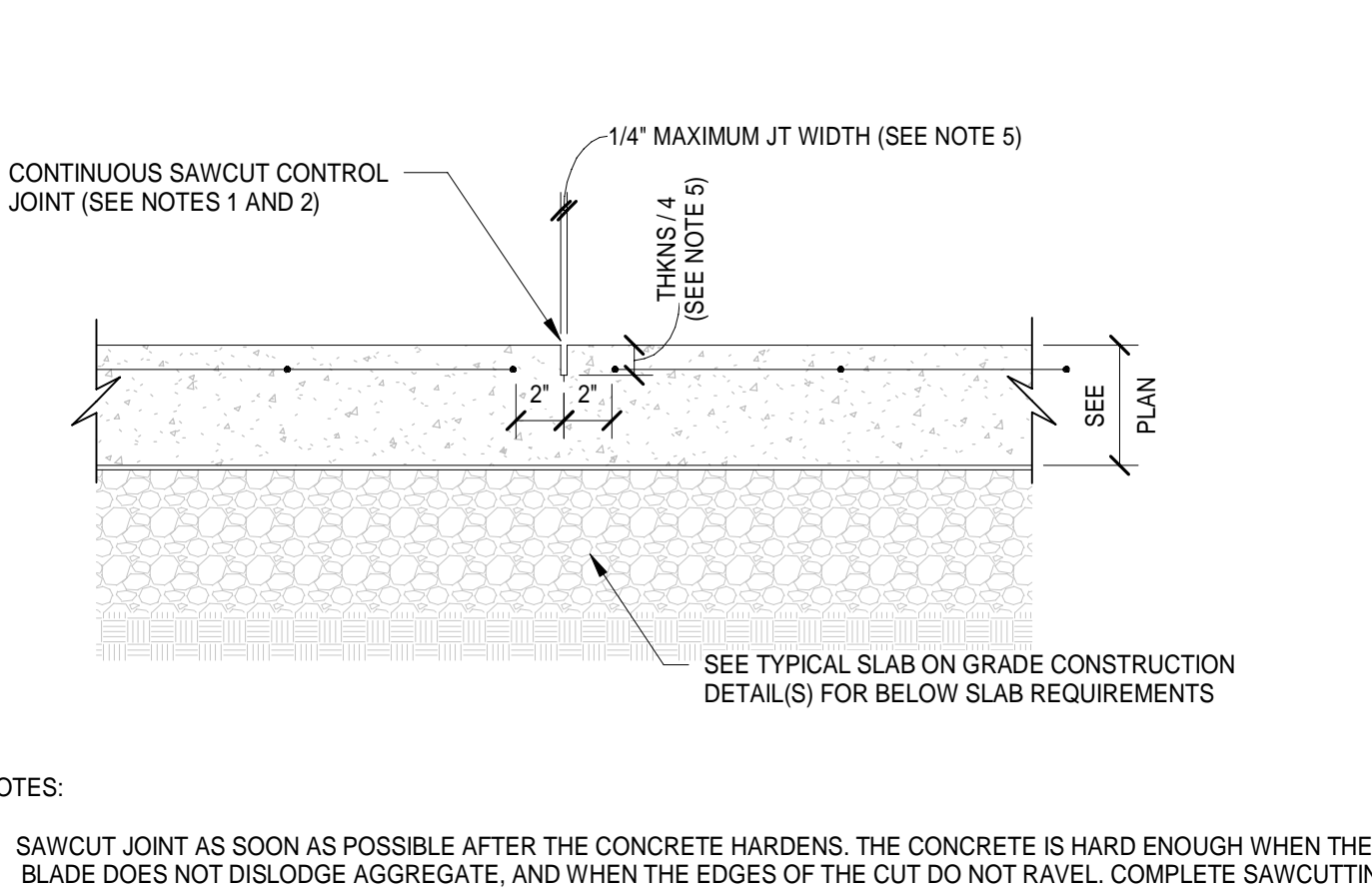
- NOTES:**
- SEE CONCRETE GENERAL NOTES AND SPECIFICATION FOR SLAB FINISH AND CURING REQUIREMENTS
 - SEE SPECIFICATION FOR SUBGRADE MATERIAL AND COMPACTION REQUIREMENTS.

1 TYPICAL SLAB ON GRADE CONSTRUCTION
1 1/2" = 1'-0"



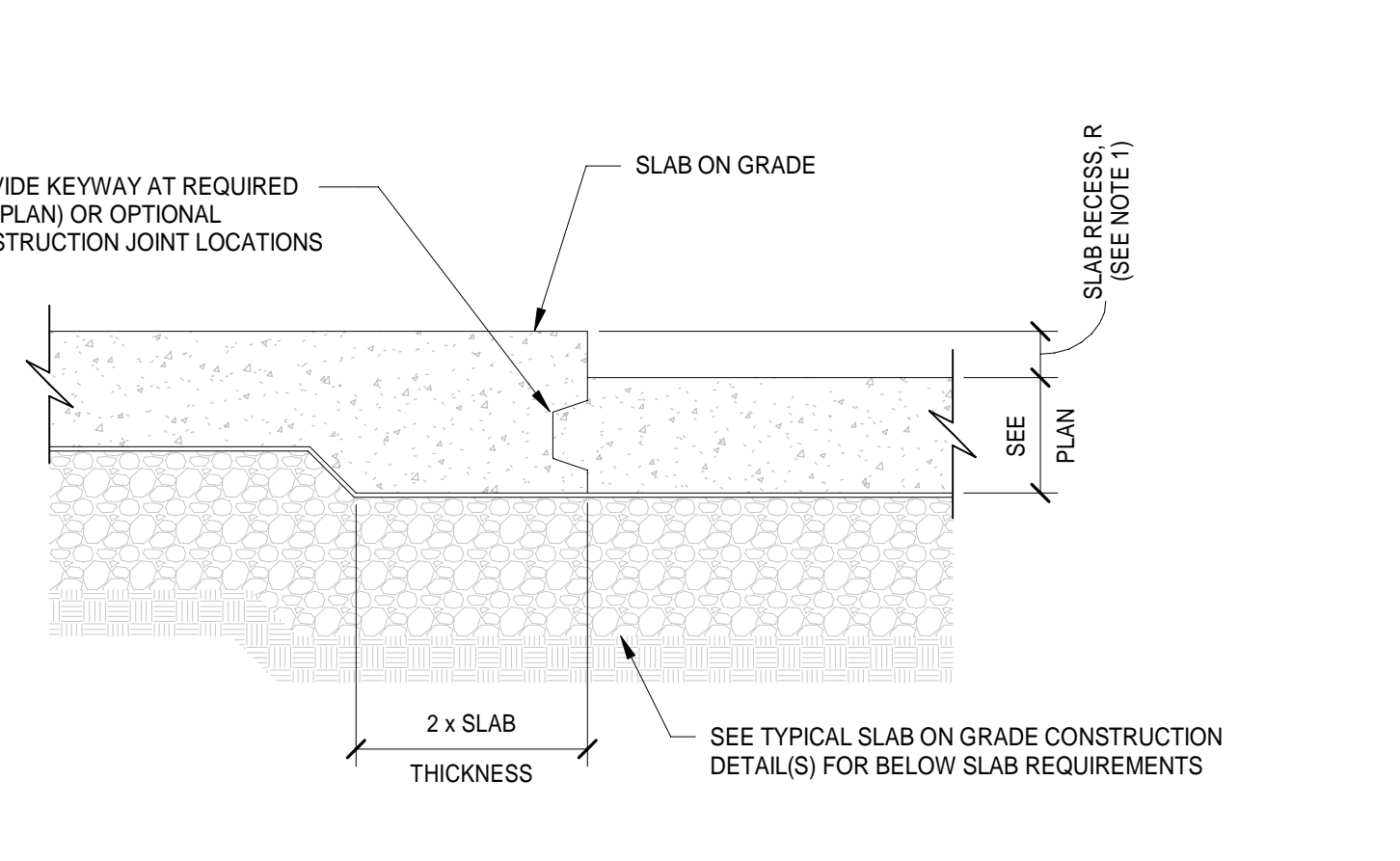
- NOTES:**
- CONTRACTOR SHALL COORDINATE CONSTRUCTION JOINTS SUCH THAT THEY COINCIDE WITH CONTROL JOINT LOCATIONS SHOWN ON PLANS. SEE PLANS FOR LOCATIONS WHERE FULL-DEPTH CONSTRUCTION JOINTS ARE REQUIRED.
 - APPLY LIQUID BONDBREAKER TO FULL DEPTH OF CONSTRUCTION JOINT.
 - PREPARE AND SEAL JOINT AS SPECIFIED IN THE PROJECT MANUAL.

2 TYPICAL SLAB ON GRADE CONSTRUCTION JOINT
1 1/2" = 1'-0"



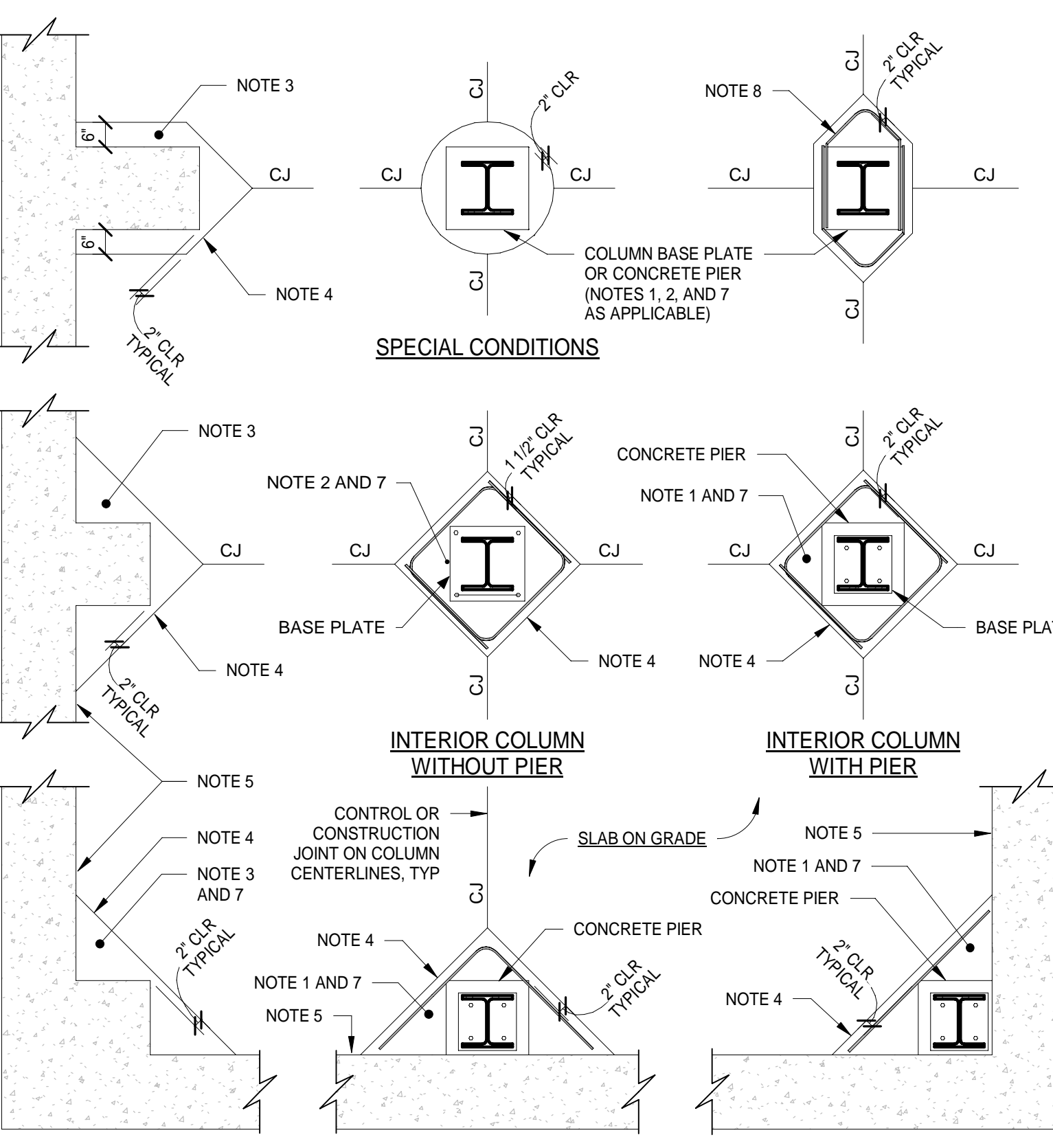
- NOTES:**
- SAWCUT JOINT AS SOON AS POSSIBLE AFTER THE CONCRETE HARDENS. THE CONCRETE IS HARD ENOUGH WHEN THE SLAB DOES NOT DISLODGE AGGREGATE, AND WHEN THE EDGES OF THE CUT DO NOT RAVEL. COMPLETE SAWCUTTING BEFORE SHRINKAGE STRESSES BECOME SUFFICIENT TO PRODUCE CRACKING.
 - PREPARE AND SEAL JOINT AS SPECIFIED IN THE PROJECT MANUAL.
 - CURLING OF THE SLAB ON GRADE WILL OCCUR AT CONTROL JOINT LOCATIONS. FOR SLABS WITH FLOOR COVERINGS, GRINDING MAY BE REQUIRED FOR PROPER INSTALLATION OF FLOOR COVERING.
 - LAYOUT CONTROL JOINT LOCATIONS BEFORE SLAB CONSTRUCTION AND DISCONTINUE ANY SLAB REINFORCING AT JOINTS.

3 TYPICAL SLAB ON GRADE CONTROL JOINT
1 1/2" = 1'-0"



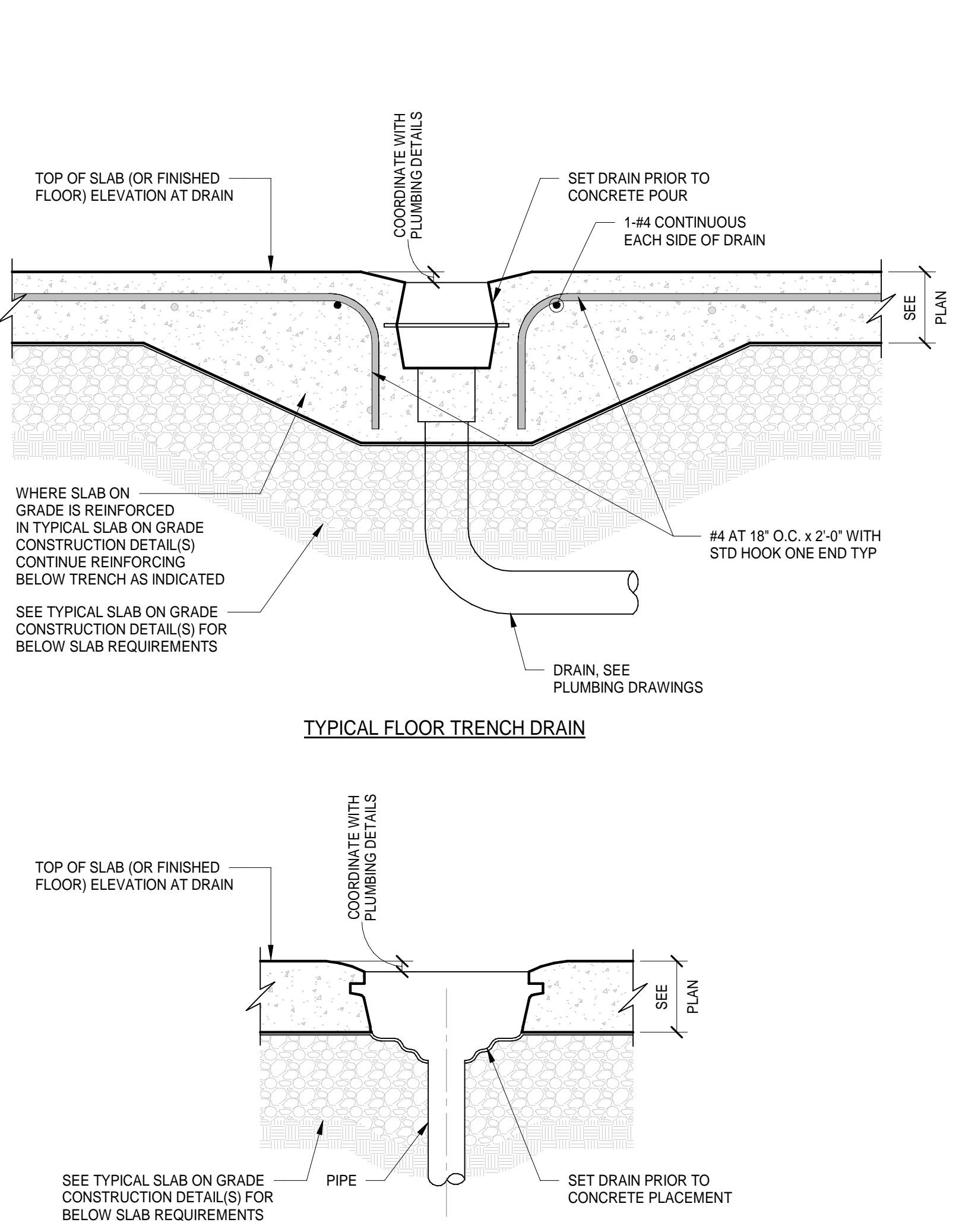
- NOTES:**
- SEE PLAN FOR SLAB RECESS LOCATIONS AND DIMENSIONS.

4 TYPICAL SLAB ON GRADE DEPRESSION
1 1/2" = 1'-0"



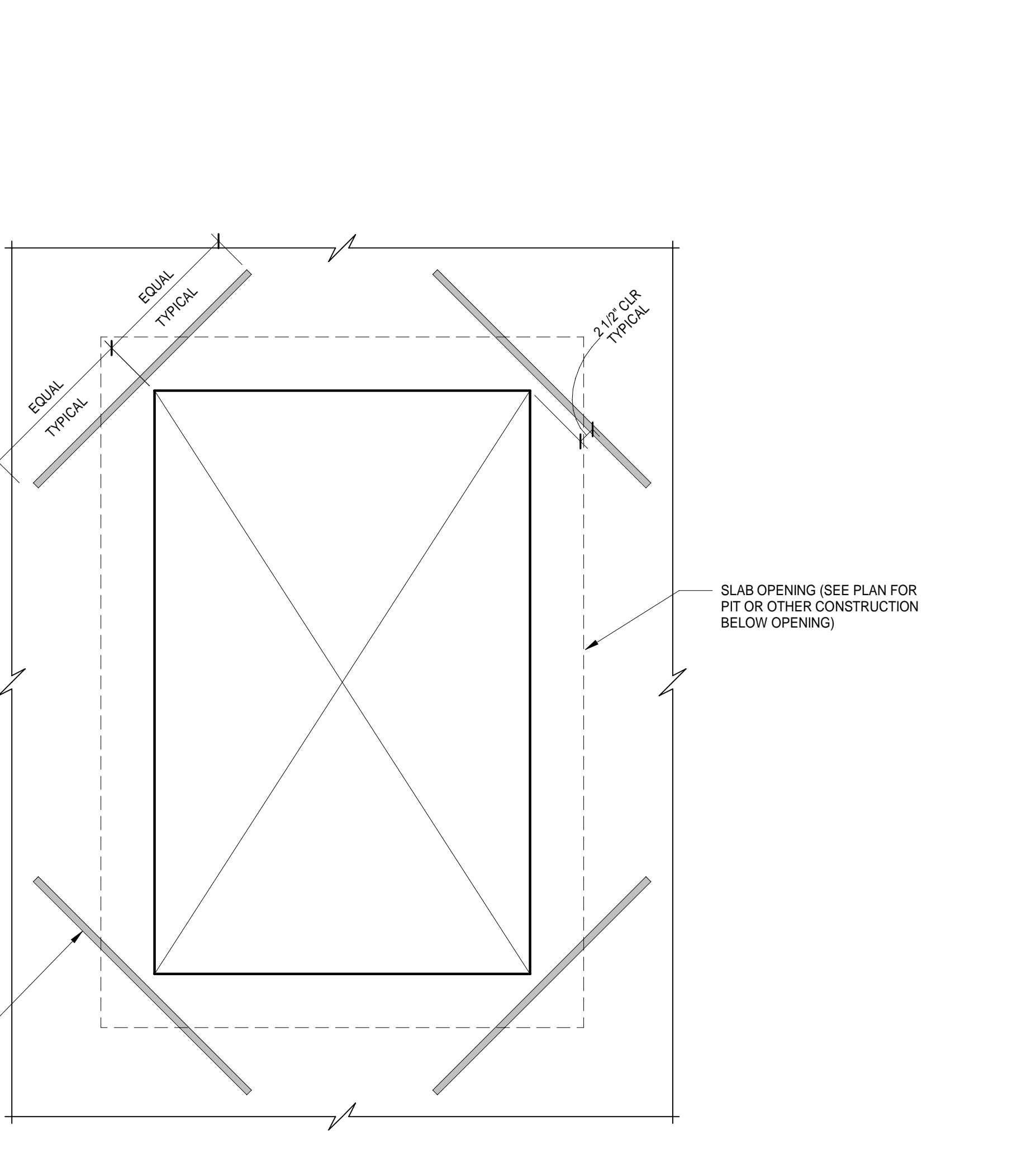
- NOTES:**
- COLUMN ISOLATION SECTION: DEPTH OF CONCRETE ISOLATION SECTION TO EXTEND TO TOP OF CONCRETE PIER.
 - COLUMN ISOLATION SECTION: DEPTH OF CONCRETE ISOLATION SECTION TO EXTEND TO TOP OF FOOTING.
 - COLUMN ISOLATION SECTION: DEPTH OF CONCRETE ISOLATION SECTION TO MATCH THICKNESS OF ADJACENT SLAB ON GRADE.
 - PROVIDE BONDBREAKER BETWEEN COLUMN ISOLATION SECTIONS AND SLAB ON GRADE, UNLESS OTHERWISE NOTED. SEE PLAN FOR LOCATIONS WHERE ROUND ISOLATION JOINTS ARE REQUIRED.
 - PROVIDE BONDBREAKER BETWEEN WALL OR GRADE BEAM AND SLAB ON GRADE, UNLESS OTHERWISE NOTED.
 - 'CJ' DENOTES SAWCUT CONTROL JOINT IN SLAB ON GRADE. SEE TYPICAL SLAB ON GRADE CONTROL JOINT DETAIL.
 - AT BRACED-BAY COLUMNS, ENLARGE ISOLATION SECTION AS REQUIRED SUCH THAT PORTION OF BRACING THAT PENETRATES SLAB IS COMPLETELY WITHIN ISOLATION SECTION.
 - PROVIDE (1) #4 REINFORCING IN ISOLATION SLAB AS INDICATED. LOCATE REINFORCING WITH 2' CLEAR TO TOP OF SLAB. DETAIL REINFORCING TO MATCH ISOLATION SLAB GEOMETRY, WITH STANDARD LAP LENGTHS AS REQUIRED AT BAR SPLICES (REDUCE LENGTHS AS REQUIRED BY ISOLATION SLAB GEOMETRY).

5 TYPICAL COLUMN ISOLATION JOINT
3/8" = 1'-0"



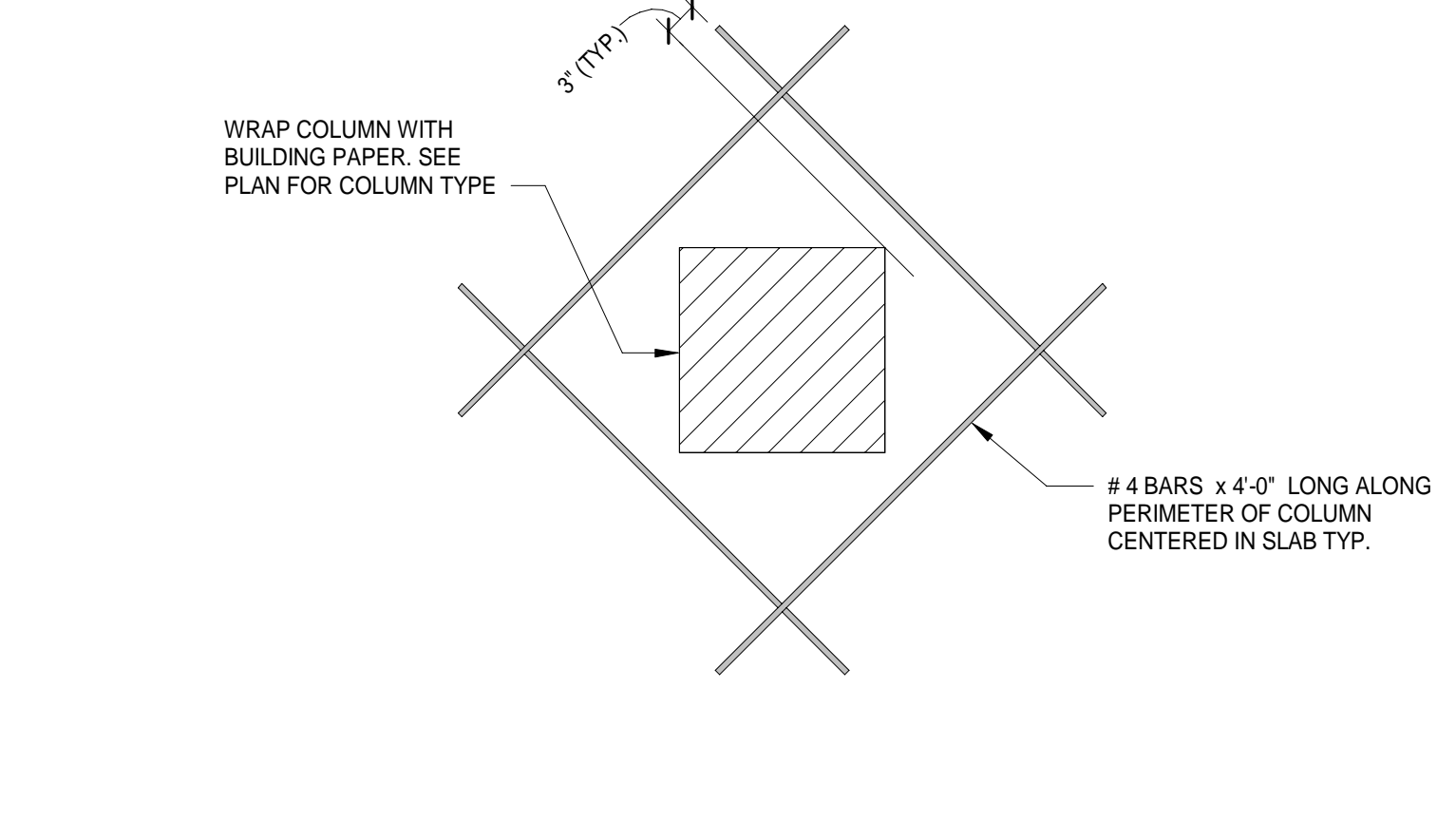
- NOTES:**
- WHERE SLAB ON GRADE IS REINFORCED IN TYPICAL SLAB ON GRADE CONSTRUCTION DETAIL(S) CONTINUE REINFORCING BELOW TRENCH AS INDICATED.
 - SEE TYPICAL SLAB ON GRADE CONSTRUCTION DETAIL(S) FOR BELOW SLAB REQUIREMENTS.

6 TYPICAL FLOOR AND TRENCH DRAIN
1 1/2" = 1'-0"

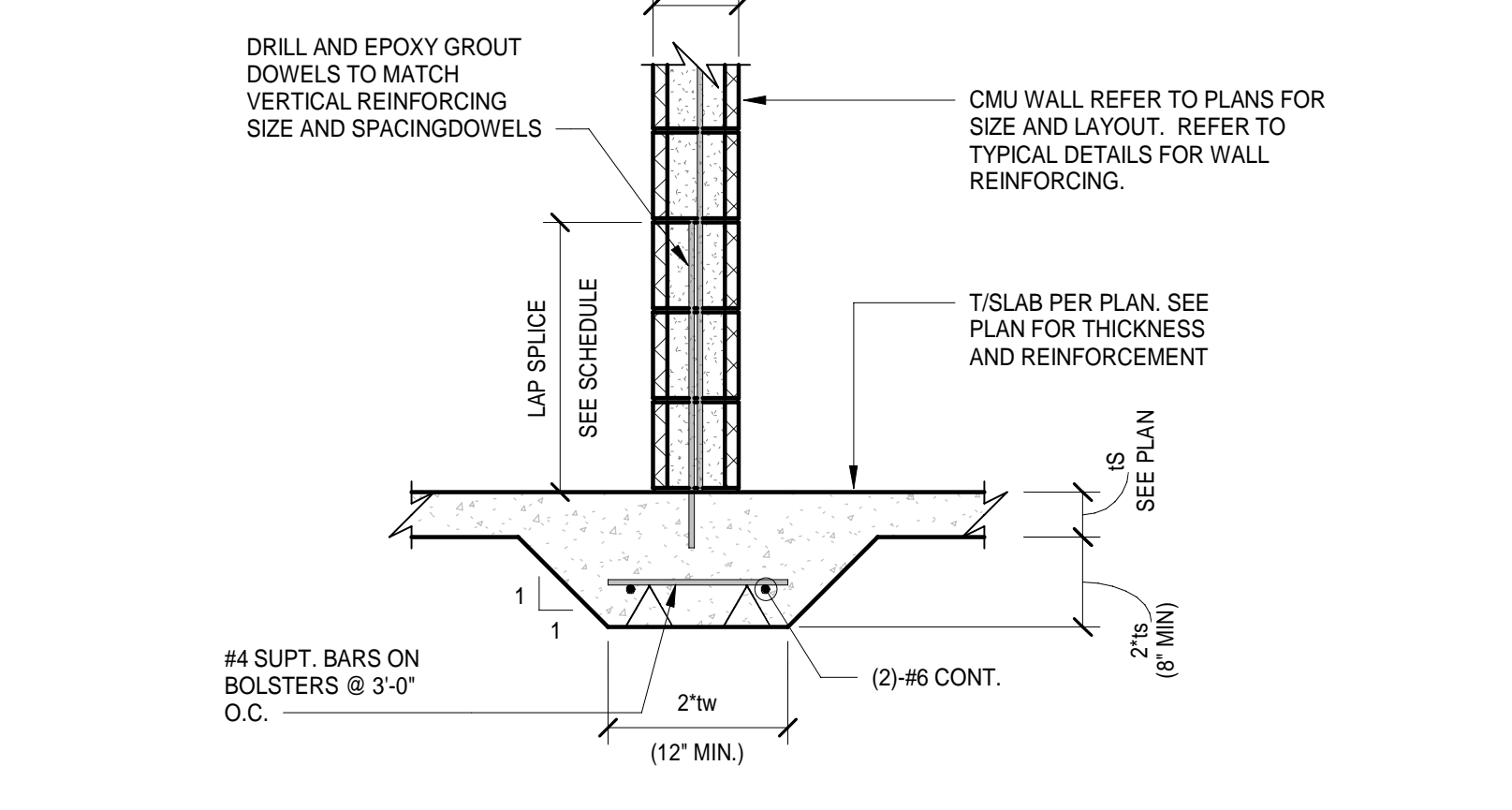


- NOTES:**
- 1'-5 x 4'-0" EACH CORNER, TYP LOCATE REINFORCING WITH 2' CLR TO TOP OF SLAB.

7 TYPICAL OPENING IN SLAB ON GRADE
3/4" = 1'-0"



8 TYPICAL SLAB ON- GRADE REINF. AT COLS. WITHOUT CONTROL JOINT
3/4" = 1'-0"



9 TYPICAL CMU WALL ON SLAB ON GRADE
3/4" = 1'-0"

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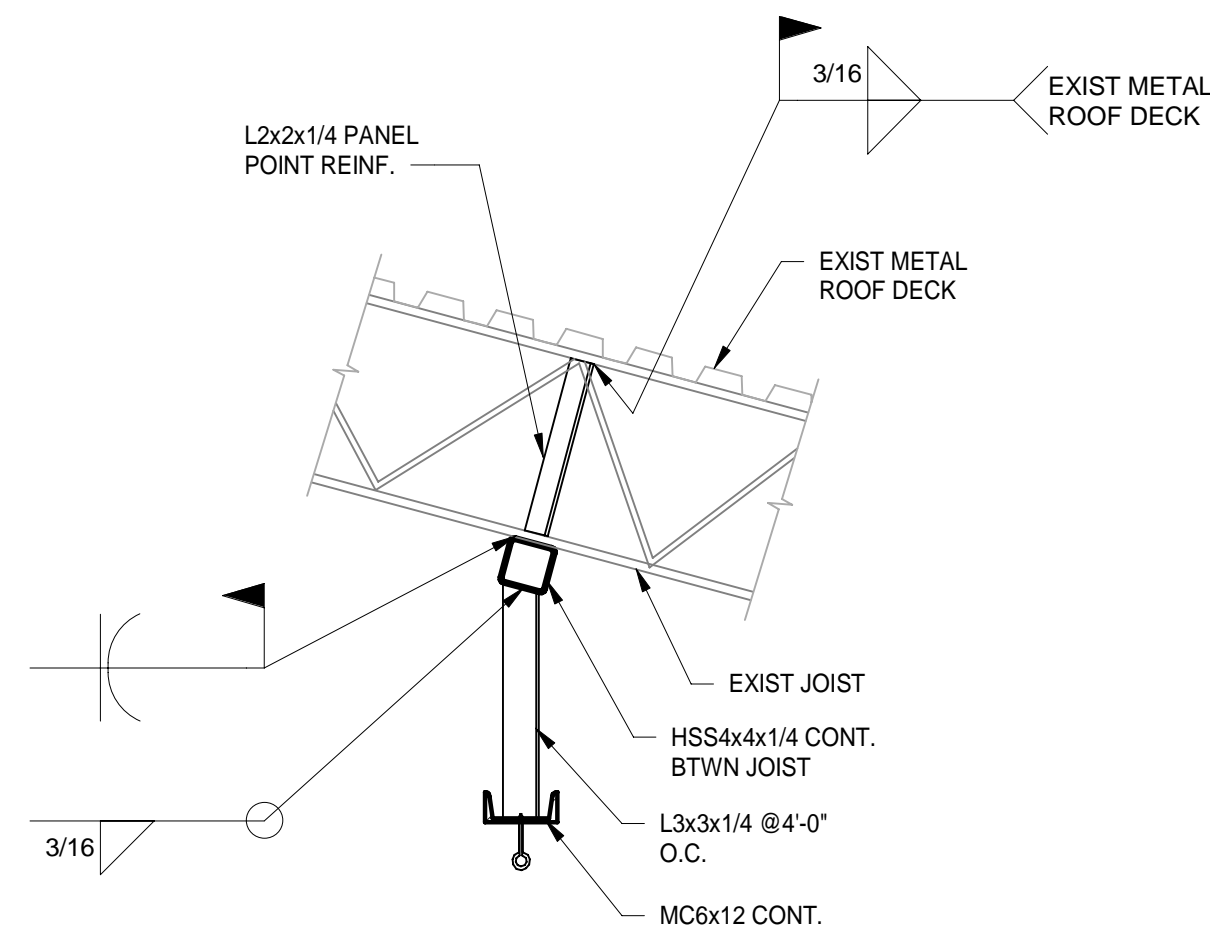
TYPICAL SLAB ON GRADE REINFORCING DETAILS

Comm. No.	Date
22105.00	08.08.2023
Drawn	Drawing No.
JCB	S004
Checked	CES

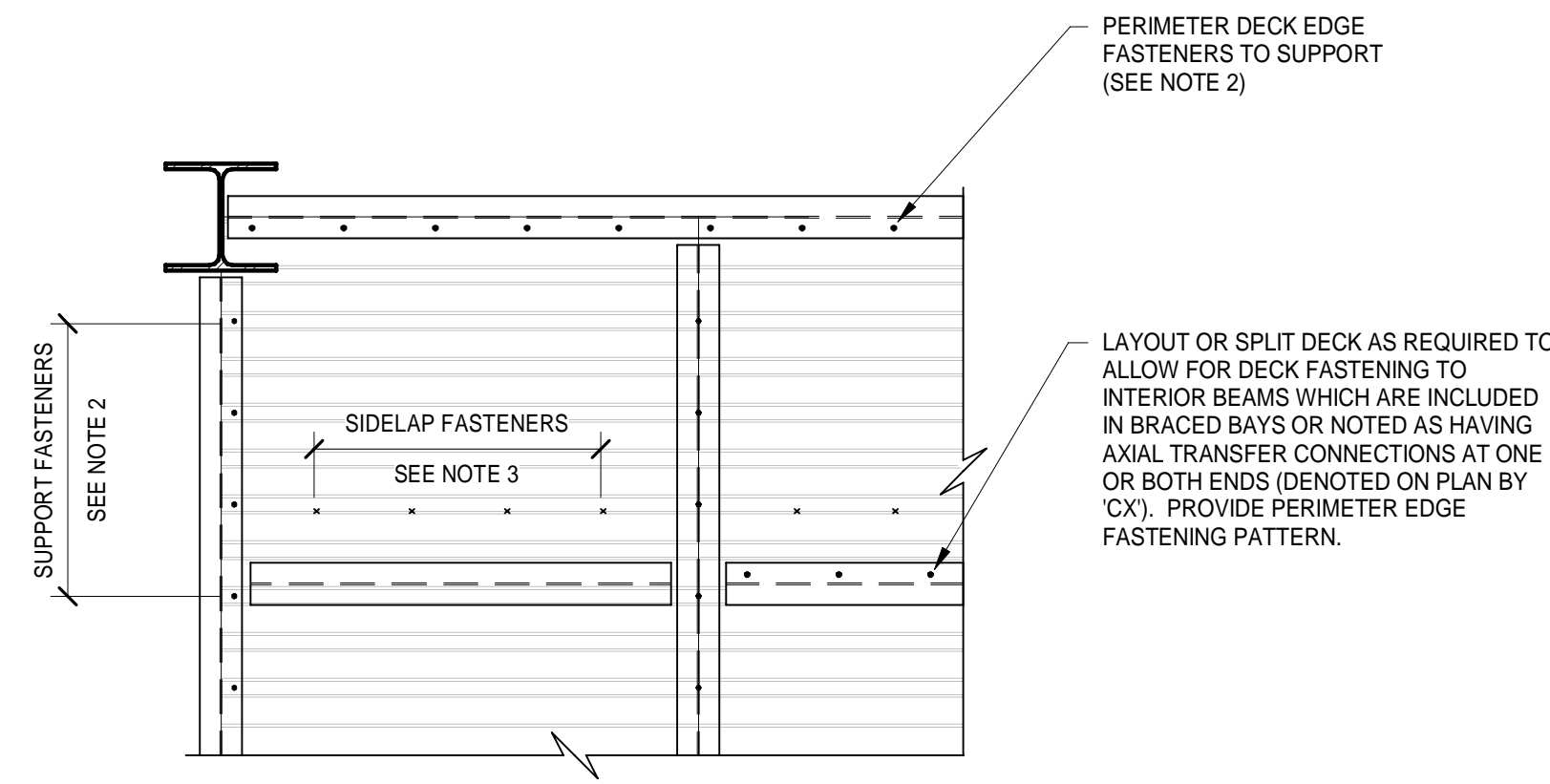
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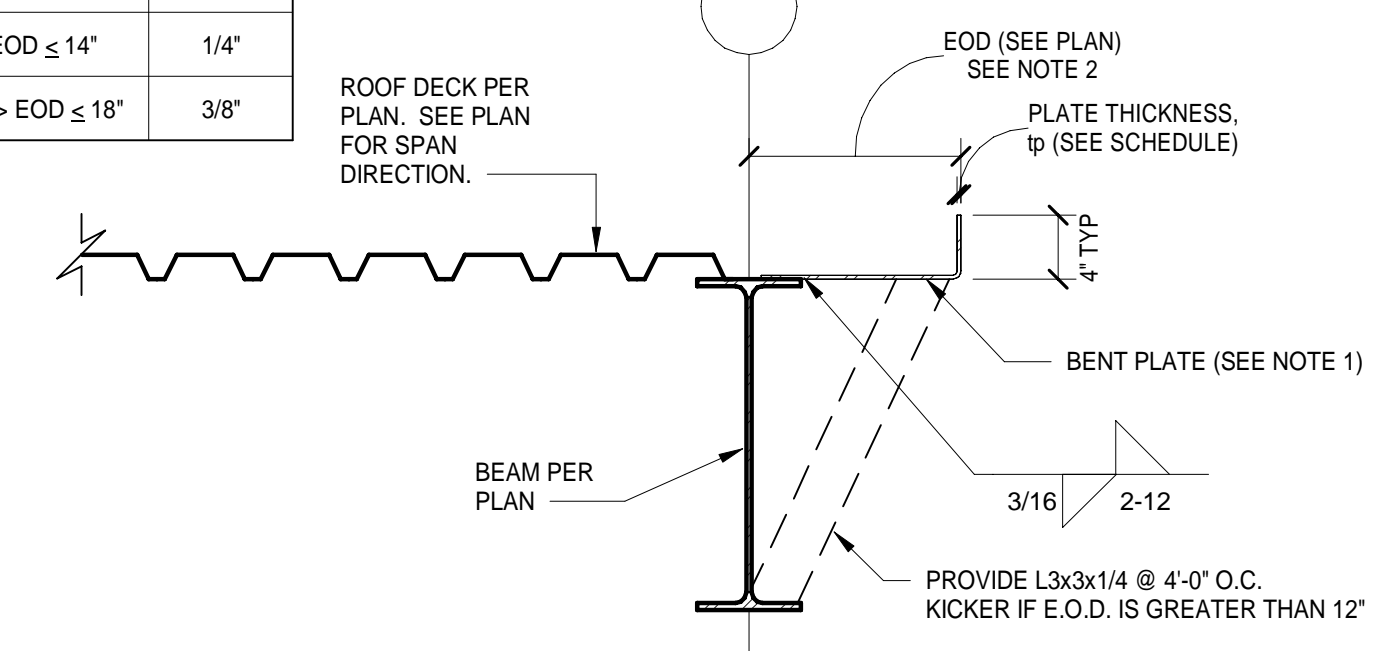
1 TYPICAL SWING CHAIR SUPPORT
3/4" = 1'-0"



- NOTES:**
- SEE GENERAL NOTES AND COMPOSITE STEEL DECKING SPECIFICATION SECTION FOR ADDITIONAL INFORMATION PERTAINING TO STEEL ROOF DECKING AND ITS ATTACHMENTS.
 - STEEL ROOF DECK FASTENERS TO STEEL FRAME SHALL BE 5/8" DIA. (MIN) PUDDLE WELDS.
 - STEEL ROOF DECK SIDELAP FASTENERS SHALL BE #10 SELF-DRILLING (TEK) SCREWS, MINIMUM. PROVIDE SIDE LAP FASTENERS AT 1/3 POINTS OR 3'-0" WHICHEVER IS LESSER.

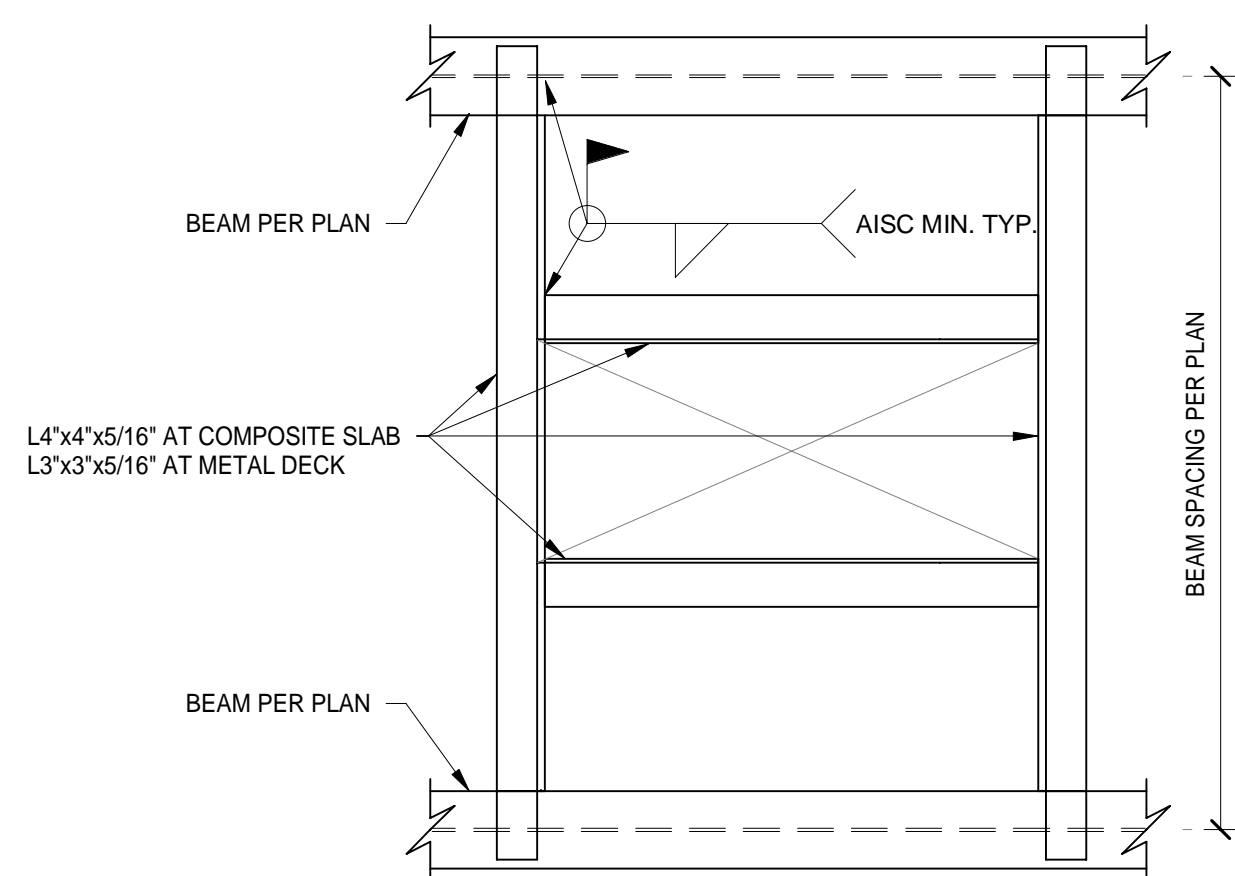
2 TYPICAL ROOF DECK FASTENING REQUIREMENTS
1/2" = 1'-0"

EDGE OF DECK DIMENSION	tp MIN
EOD ≤ 14'	1/4"
14' > EOD ≤ 18'	3/8"



- NOTES:**
- BENT PLATE THICKNESS SHOWN IN SCHEDULE IS THE VALUE TO BE USED WHEN PLATE THICKNESS IS NOT OTHERWISE NOTED IN PLAN OR DETAILS. WHEN PLATE THICKNESS LARGER THAN SCHEDULED THICKNESS IS SPECIFIED, USE THE LARGER THICKNESS WHERE DETAIL OR PLAN NOTE DESIGNATION IS APPLICABLE.
 - BENT PLATE AT EDGE OF DECK SHALL BE FIELD INSTALLED. THE "EOD" DIMENSION REFERENCED IN PLAN IS A NOMINAL DIMENSION. DUE TO TOLERANCES IN FABRICATION AND ERECTION, THE STEEL BEAM/GIRDER MAY NOT BE EXACTLY PARALLEL TO AND CENTERED ON THE GRIDLINE DEPICTED IN THE DRAWINGS. THE BENT PLATE SHALL BE FIELD ALIGNED WITH THE ARCHITECTURAL BUILDING LINE TAKING INTO ACCOUNT ALL TOLERANCES IN FABRICATION AND ERECTION.

3 TYPICAL ROOF EDGE DETAIL (EOD UP TO 1'-6")
1" = 1'-0"



- NOTES:**
- PROVIDE STEEL FRAME AROUND ALL OPENINGS WITH ANY DIMENSION 12" OR LARGER.
 - VERIFY SIZE AND LOCATION OF OPENINGS WITH THE VARIOUS TRADES. PROVIDE STEEL FRAME AROUND THE GROUP OF ANY TWO OR MORE PIPE PENETRATIONS WITH LESS THAN 12" CLEAR BETWEEN THE PENETRATIONS. VERIFY SIZE AND LOCATION OF THE PENETRATIONS WITH THE VARIOUS TRADES.
 - SUBMIT FRAME LAYOUTS AS COORDINATED WITH OTHER TRADES FOR SIZES AND LOCATIONS FOR A/E APPROVAL.
 - PROVIDE STEEL FRAME AROUND ALL ROOF DRAINS REQUIRING METAL SUMP PAN. FOR NUMBER AND LOCATIONS OF ROOF DRAINS, SEE PLUMBING & ARCHL DWGS.

4 TYPICAL FRAMED OPENING DETAIL
3/4" = 1'-0"

GENERAL NOTES:

KEY PLAN:

No.	Revisions / Submissions	Date

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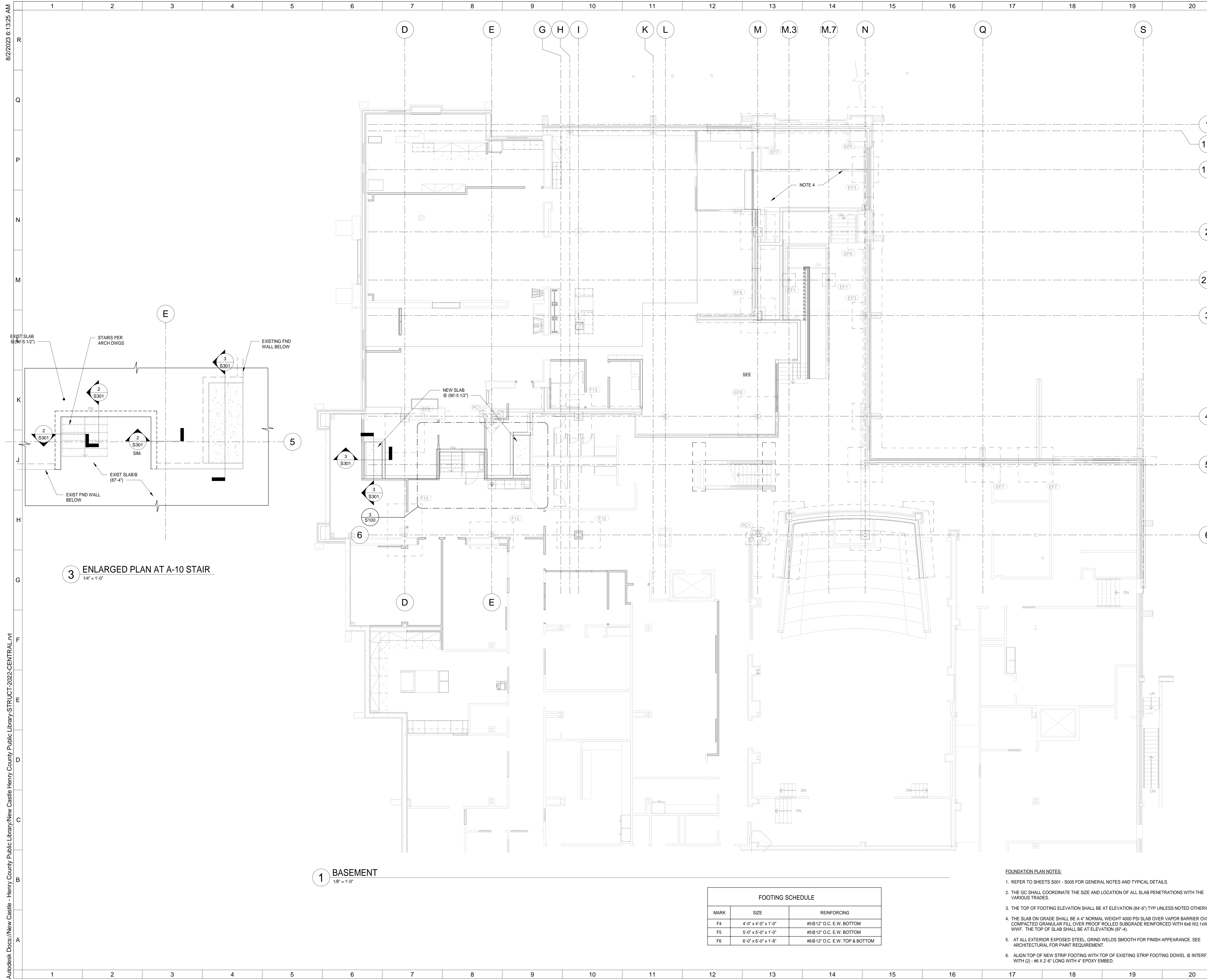
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TYPICAL STEEL CONNECTION DETAILS

	Comm. No.	Date
	22105.00	08.08.2023
	Drawn	JCB
	Checked	CES
Drawing No.		S005
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SHEET NOTES:

1

1.1

1.4

2

2.5

3

GENERAL NOTES:

4

5

6

KEY PLAN:

No.	Revisions / Submissions	Date

No.	Revisions / Submissions	Date

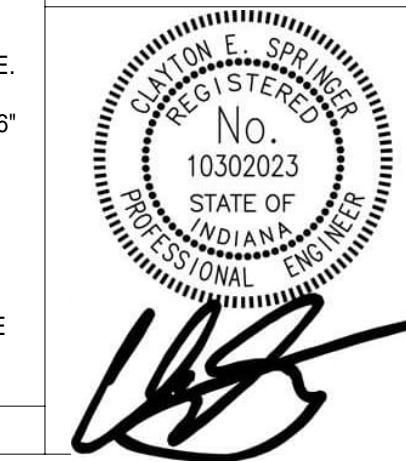
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BASEMENT PLAN

Comm. No.	22105.00	Date	08.08.2023
Drawn	JCB	Drawing No.	S100
Checked	CES		



[Signature]

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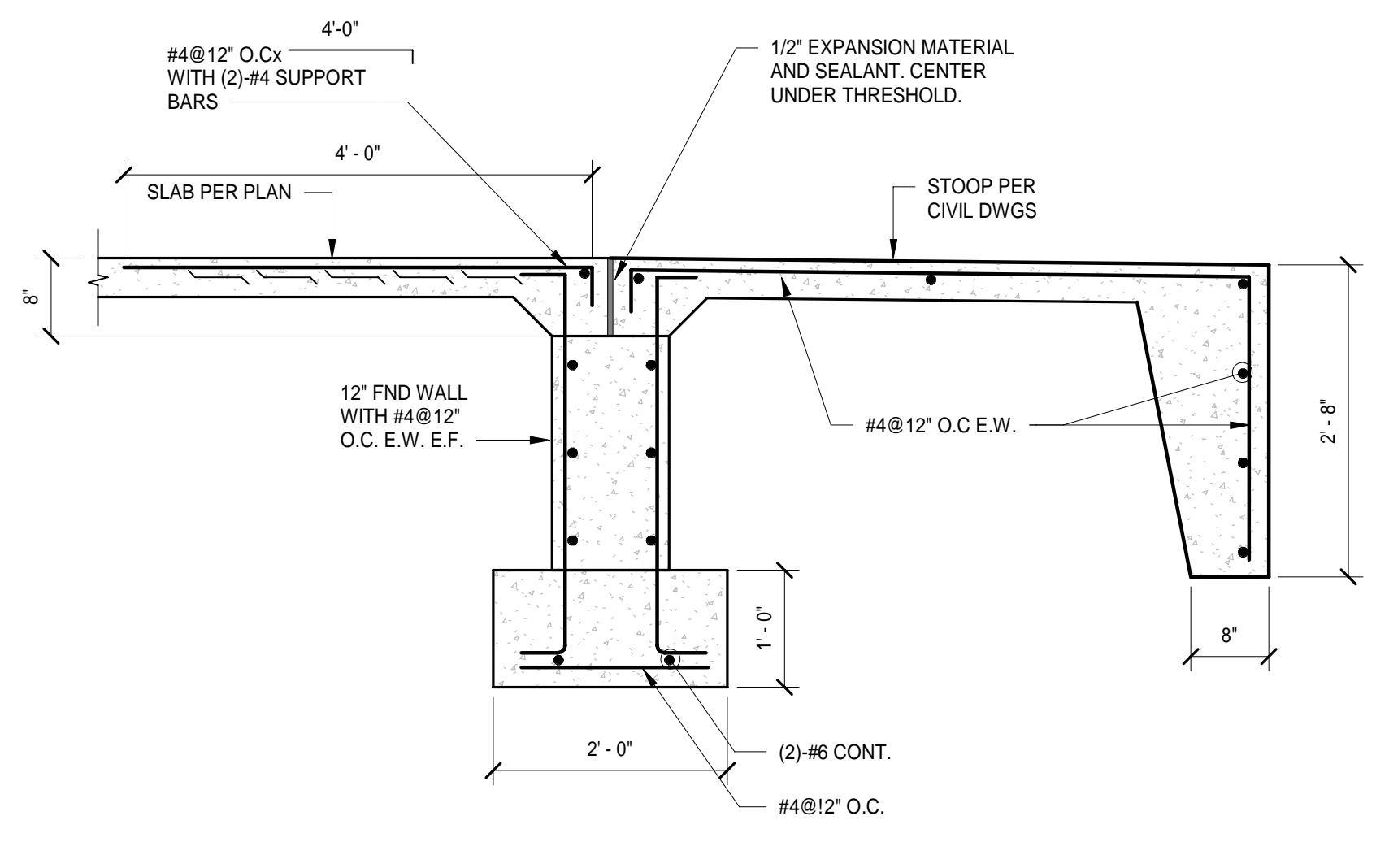
3 ENLARGED PLAN AT A-10 STAIR
1/4" = 1'-0"

1 BASEMENT
1/8" = 1'-0"

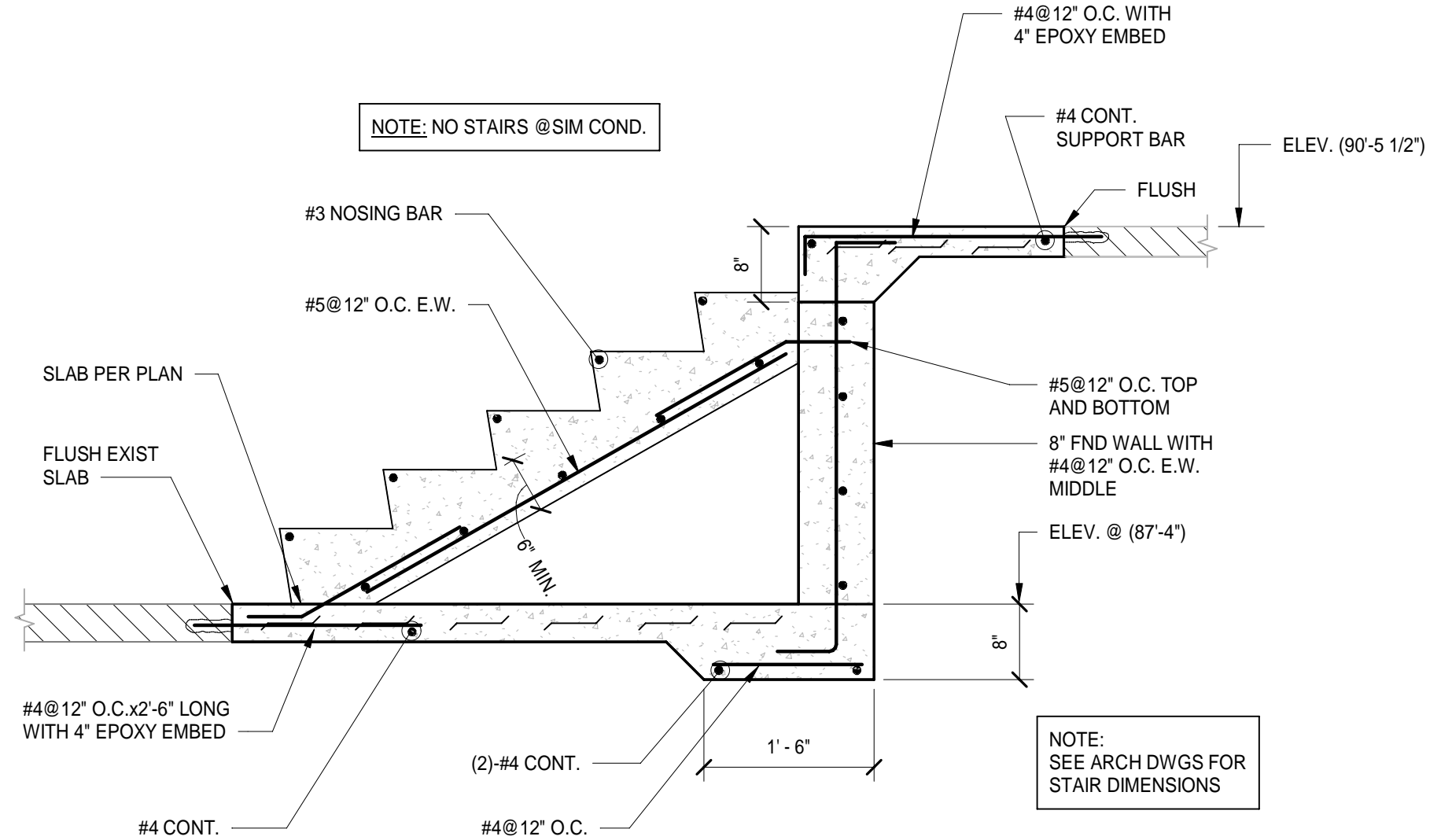
FOOTING SCHEDULE		
MARK	SIZE	REINFORCING
F4	4'-0" x 4'-0" x 1'-0"	#5@12" O.C. E.W. BOTTOM
F5	5'-0" x 5'-0" x 1'-0"	#5@12" O.C. E.W. BOTTOM
F6	6'-0" x 6'-0" x 1'-8"	#6@12" O.C. E.W. TOP & BOTTOM

- FOUNDATION PLAN NOTES:**
- REFER TO SHEETS S001 - S005 FOR GENERAL NOTES AND TYPICAL DETAILS.
 - THE GC SHALL COORDINATE THE SIZE AND LOCATION OF ALL SLAB PENETRATIONS WITH THE VARIOUS TRADES.
 - THE TOP OF FOOTING ELEVATION SHALL BE AT ELEVATION (84'-8") TYP UNLESS NOTED OTHERWISE.
 - THE SLAB ON GRADE SHALL BE A 4" NORMAL WEIGHT 4000 PSI SLAB OVER VAPOR BARRIER OVER 6" COMPACTED GRANULAR FILL OVER PROOF ROLLED SUBGRADE REINFORCED WITH 6x6 W2.1xW2.1 WWF. THE TOP OF SLAB SHALL BE AT ELEVATION (87'-4").
 - AT ALL EXTERIOR EXPOSED STEEL, GRIND WELDS SMOOTH FOR FINISH APPEARANCE. SEE ARCHITECTURAL FOR PAINT REQUIREMENT.
 - ALIGN TOP OF NEW STRIP FOOTING WITH TOP OF EXISTING STRIP FOOTING DOWEL @ INTERFACE WITH (2) - #6 X 2'-6" LONG WITH 4" EPOXY EMBED.

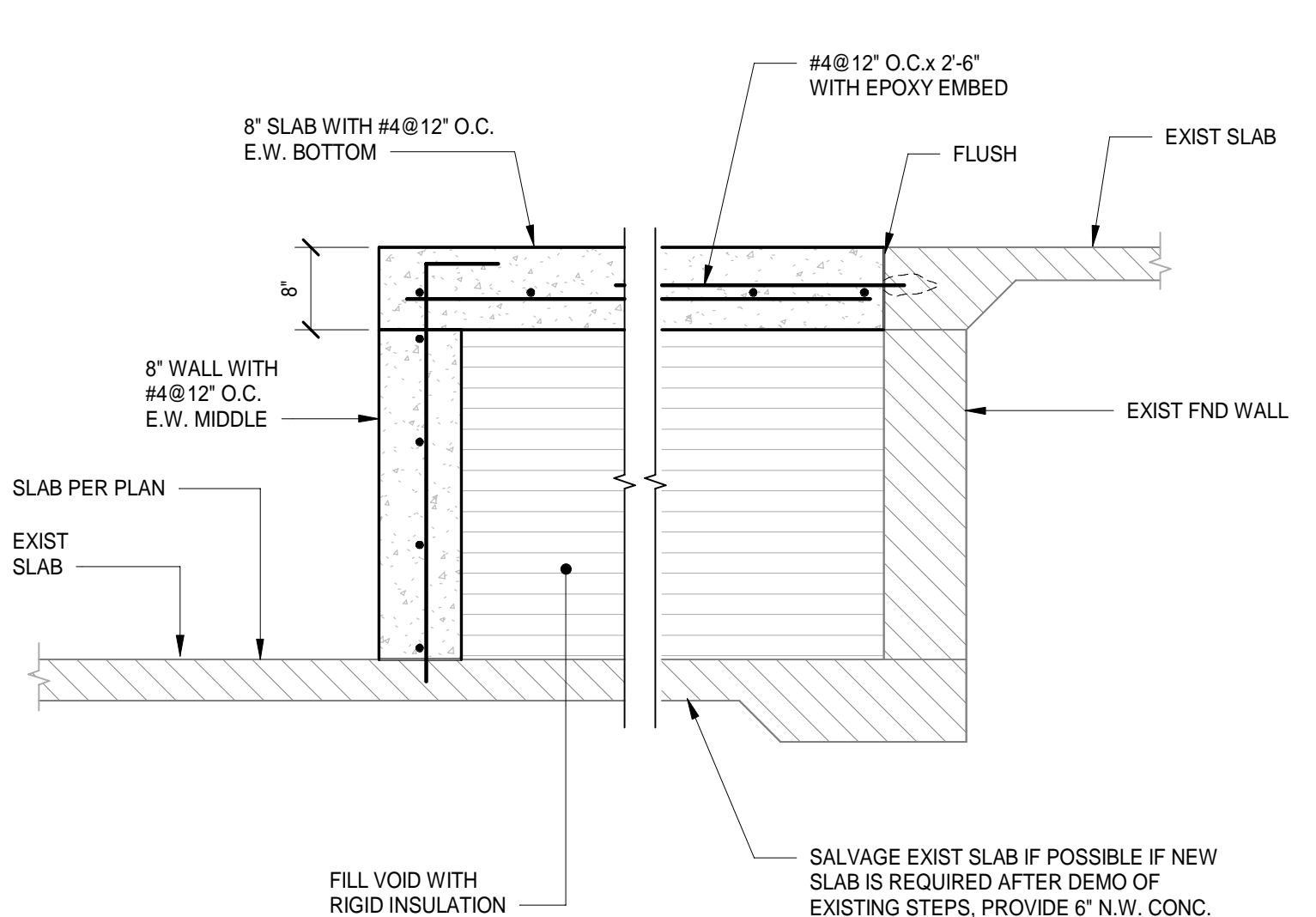
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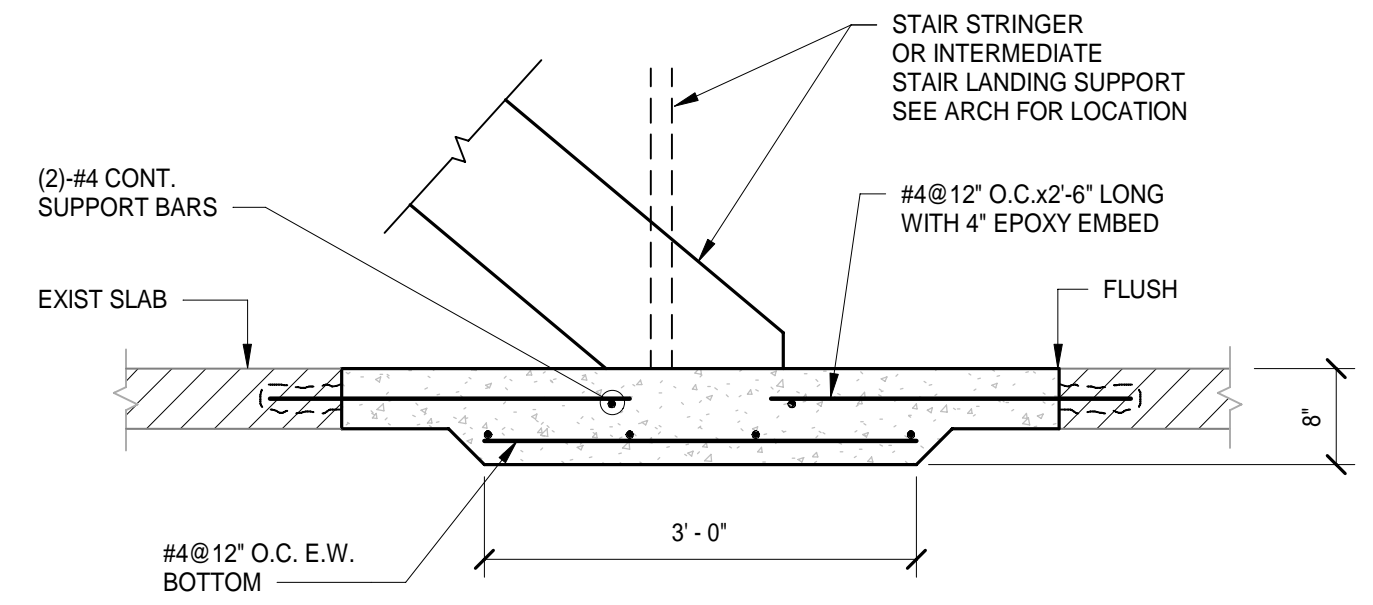
1 SECTION
3/4" = 1'-0"



2 SECTION
3/4" = 1'-0"



3 SECTION
3/4" = 1'-0"



4 SECTION
3/4" = 1'-0"

SHEET NOTES:

GENERAL NOTES:

KEY PLAN:

No.	Revisions / Submissions	Date

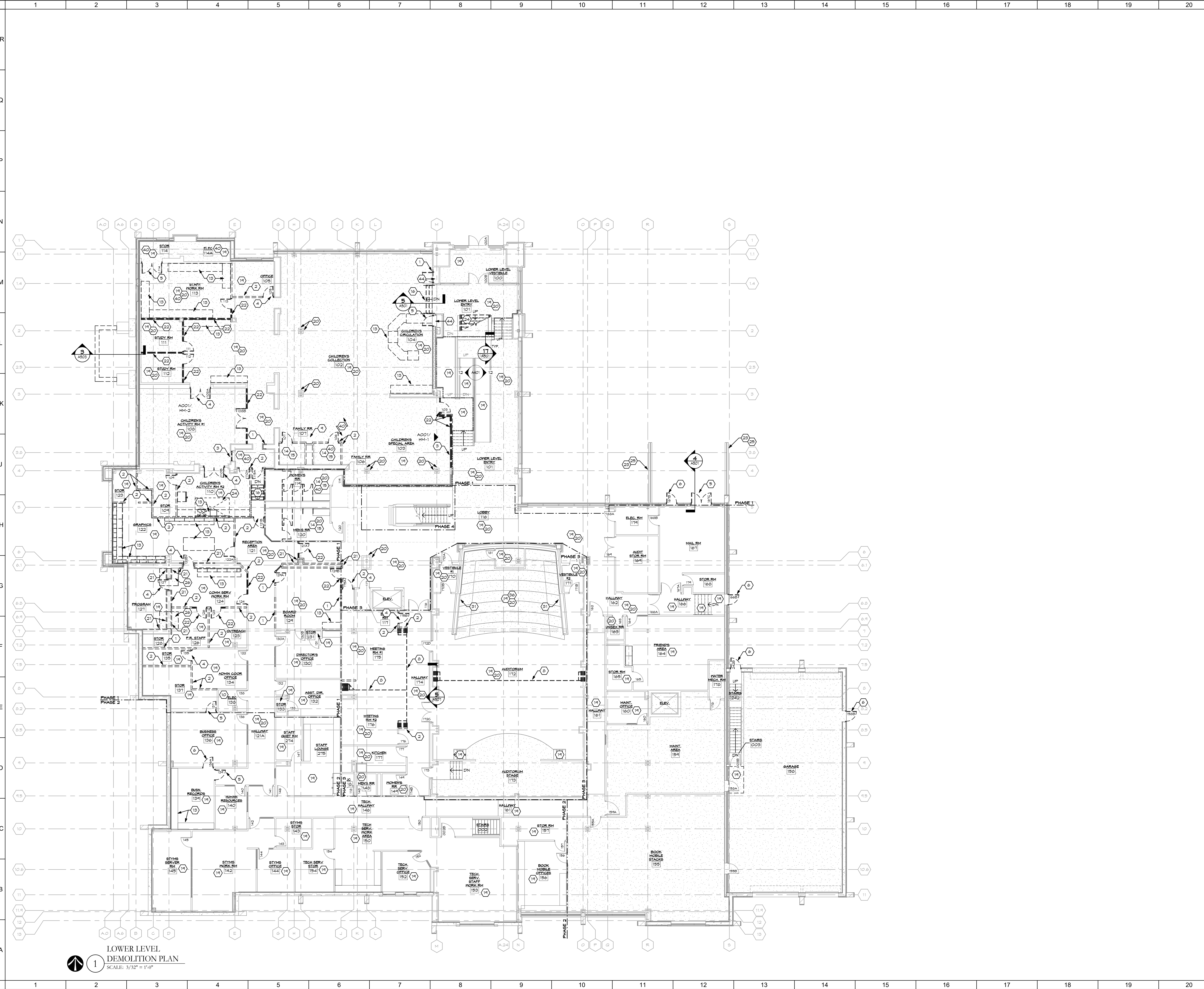
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SECTIONS AND DETAILS

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	Drawn	Drawing No.
	JCB	S301
Checked	CES	



SHEET NOTES: TYPICAL FOR ALL DEMO PLAN SHEETS. ALL NOTES MAY NOT BE USED.

1. REMOVE PORTION OF EXISTING WALL. SEE NEW CONSTRUCTION PLANS.
2. REMOVE EXISTING WALL COMPLETELY.
3. REMOVE EXISTING WINDOWS COMPLETELY.
4. REMOVE EXISTING DOOR, FRAME AND HARDWARE.
5. REMOVE EXISTING DOOR. INFILL WALL WITH CONSTRUCTION TO MATCH EXISTING ON BOTH SIDES. SEE NEW CONSTRUCTION PLANS.
6. REMOVE EXISTING DOOR. PROVIDE NEW DOOR PER DOOR SCHEDULE AND DETAILS.
7. REMOVE PORTION OF EXISTING WALL AS REQUIRED FOR NEW DOOR OPENING. SEE NEW CONSTRUCTION PLANS & DOOR DETAILS.
8. REMOVE EXISTING OPERABLE WALL COMPLETELY, INCLUDING TRACK AND ATTACHMENT TO STRUCTURAL STEEL.
9. REMOVE EXISTING DRINKING FOUNTAINS. SEE PLUMBING DRAWINGS. (NOT USED)
10. TEMPORARY CONSTRUCTION BARRIER.
11. REMOVE EXISTING ELECTRICAL EQUIPMENT. SEE ELECTRICAL DRAWINGS.
12. REMOVE EXISTING CASEWORK AND COUNTERTOP.
13. REMOVE EXISTING CASEWORK AND COUNTERTOP.
14. REMOVE EXISTING FLOOR TILE.
15. REMOVE EXISTING FLOOR # WALL TILE.
16. REMOVE EXISTING STAIRS COMPLETELY, INCLUDING ALL SUPPORTS, WALLS, STRINGERS AND RAILINGS.
17. REMOVE EXISTING RAMP COMPLETELY, INCLUDING ALL SUPPORTS, WALLS AND RAILINGS.
18. SALVAGE CASEWORK TO REUSE IN NEW CONSTRUCTION. SEE NEW CONSTRUCTION PLANS.
19. REMOVE ALL FLOOR COVERINGS, WALL BASE & PREP FLOOR FOR NEW FLOORINGS.
20. REMOVE ALL WALL COVERINGS & PREP WALLS TO LEVEL 4 FINISH. PRIME & TAC-COAT FINISH PAINT. SEE FINISH SCHEDULE.
21. REMOVE EXISTING CONCRETE WALL COMPLETELY. PATCH CONCRETE SLAB AS NEEDED.
22. REMOVE EXISTING STOREFRONT GLAZING SYSTEM AND WALL COMPLETELY.
23. EXISTING RAILING TO REMAIN.
24. REMOVE EXISTING STAIRS COMPLETELY, INCLUDING ALL STRINGERS AND RAILINGS. SEE NEW PLANS FOR PARTIAL REMOVAL OF THE WALLS AND SUPPORTS.
25. EXISTING RETAINING WALL TO REMAIN.
26. REMOVE EXISTING FLOOR SLAB.
27. REMOVE EXISTING RAILING COMPLETELY. SALVAGE EXISTING RAILING TO BE USED FOR RENOVATION AT FLOOR INFILL AT RAMP.
28. REMOVE EXISTING FLOOR SLAB AS REQUIRED FOR NEW WORK. SEE NEW CONSTRUCTION PLANS.
29. (NOT USED)
30. (NOT USED)
31. REMOVE CARPET FROM WALL SURFACE. PREP WALL TO LEVEL 4 AND PREPARE TO RECEIVE NEW FINISH.
32. (NOT USED)
33. (NOT USED)
34. (NOT USED)
35. (NOT USED)
36. (NOT USED)
37. (NOT USED)
38. (NOT USED)
39. (NOT USED)
40. REMOVE EXISTING SLAB AS REQUIRED FOR PLUMBING WORK. SEE PLUMBING DWGS.
41. REMOVE EXISTING BOOK DROP. PATCH BRICK TO MATCH ADJACENT.
42. REMOVE EXISTING WINDOW. INFILL WALL WITH CONSTRUCTION TO MATCH EXISTING ON BOTH SIDES. SEE NEW CONSTRUCTION PLANS.
43. (NOT USED)
44. REMOVE SLIDING DOOR AND ANY RELATED HARDWARE. INFILL WALL WITH CONSTRUCTION TO MATCH EXISTING ON BOTH SIDES. SEE NEW CONSTRUCTION PLANS.

GENERAL NOTES:

- A. REFER TO SPECIFICATION SECTION - CUTTING AND PATCHING FOR REQUIREMENTS PRIOR TO, DURING AND AFTER CUTTING AND PATCHING AND FOR TEMPORARY PROTECTION OF EXISTING WORK TO REMAIN.
- B. REFER TO SPECIFICATION SECTION - SELECTIVE DEMOLITION FOR RELATED REQUIREMENTS PRIOR TO, DURING AND AFTER SELECTIVE DEMOLITION.
- C. WHERE MECHANICAL, ELECTRICAL OR PLUMBING EQUIPMENT, SYSTEMS OR FIXTURES ARE INDICATED FOR REMOVAL. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS AND SPECIFICATIONS FOR DETAILS OF DEMOLITION AND NEW WORK.
- D. WHERE STRUCTURAL ELEMENTS ARE INDICATED FOR DEMOLITION REFER TO STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR DETAILS OF DEMOLITION AND NEW WORK. ALL STRUCTURAL DEMOLITION REQUIRES TEMPORARY SHORING AND PROTECTION OF EXISTING STRUCTURE TO REMAIN.
- E. PATCHING OF EXISTING MATERIALS SHALL MATCH EXISTING IN-PLACE ADJACENT SURFACES.
- F. WHERE FLOOR FINISHES ARE INDICATED FOR REMOVAL, WORK SHALL INCLUDE COMPLETE REMOVAL OF EXISTING ADHESIVES DOWN TO FLOOR SUBSTRATE AND PREPARATION OF THAT SUBSTRATE TO RECEIVE NEW FINISHES INDICATED.
- G. WHERE WALL BASE IS INDICATED FOR REMOVAL, THE WORK SHALL INCLUDE COMPLETE REMOVAL OF ADHESIVES AND FASTENERS DOWN TO EXISTING SUBSTRATE. WORK SHALL ALSO INCLUDE PATCHING A PREPARATION OF SUBSTRATE TO RECEIVE NEW FINISHES INDICATED.
- H. WHERE WALL MOUNTED ITEMS, EQUIPMENT AND ACCESSORIES ARE INDICATED FOR REMOVAL, WORK SHALL INCLUDE ALL RELATED ANCHORS AND ADHESIVES. EXISTING SUBSTRATE SHALL BE PATCHED AND REPAIRED TO RECEIVE NEW FINISHES OR NEW WALL MOUNTED ITEMS AS INDICATED.
- I. FIRE RATINGS OF EXISTING MATERIALS SHALL BE MAINTAINED UPON COMPLETION OF DEMOLITION WORK.
- J. WHERE MECHANICAL, ELECTRICAL OR PLUMBING WORK REQUIRES DEMOLITION OF EXISTING WALLS, CEILING, FLOORS OR ROOFS, CONTRACTOR SHALL MAINTAIN EXISTING FIRE RATINGS AFTER COMPLETION OF WORK. PATCH AND REPAIR ALL MATERIALS TO MEET FIRE RATINGS INDICATED. MAINTAIN WATER TIGHTNESS AT ALL TIMES PER TEMPORARY PROTECTION METHODS INDICATED IN THE SPECIFICATIONS.
- K. WHERE DEMOLITION NOTES INDICATE REMOVAL FOR MODIFICATION AND REINSTALLATION IN NEW WORK, CONTRACTOR SHALL CAREFULLY REMOVE PACK AND STORE THESE ITEMS TO PREVENT DAMAGE UNTIL TIME TO MODIFY WORK AND REINSTALL. CONTRACTOR TO NOTIFY ARCHITECT IF ANY OF THESE MATERIALS ARE DAMAGED DURING REMOVAL AND STORAGE.
- L. WHERE WALL COVERINGS ARE INDICATED FOR REMOVAL, WORK SHALL INCLUDE REMOVAL OF ANY WALL TRIM AND REPLACED AFTER WALL COVERINGS REMOVAL.

RE-VID DOCUMENTS		08.08.2023
No.	Revisions / Submissions	Date

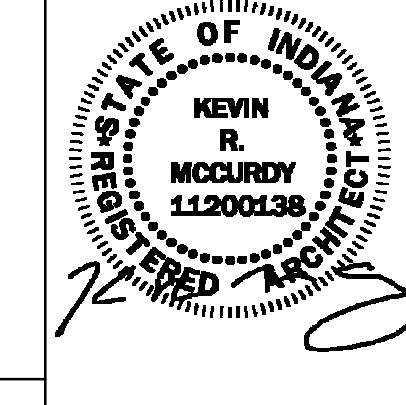
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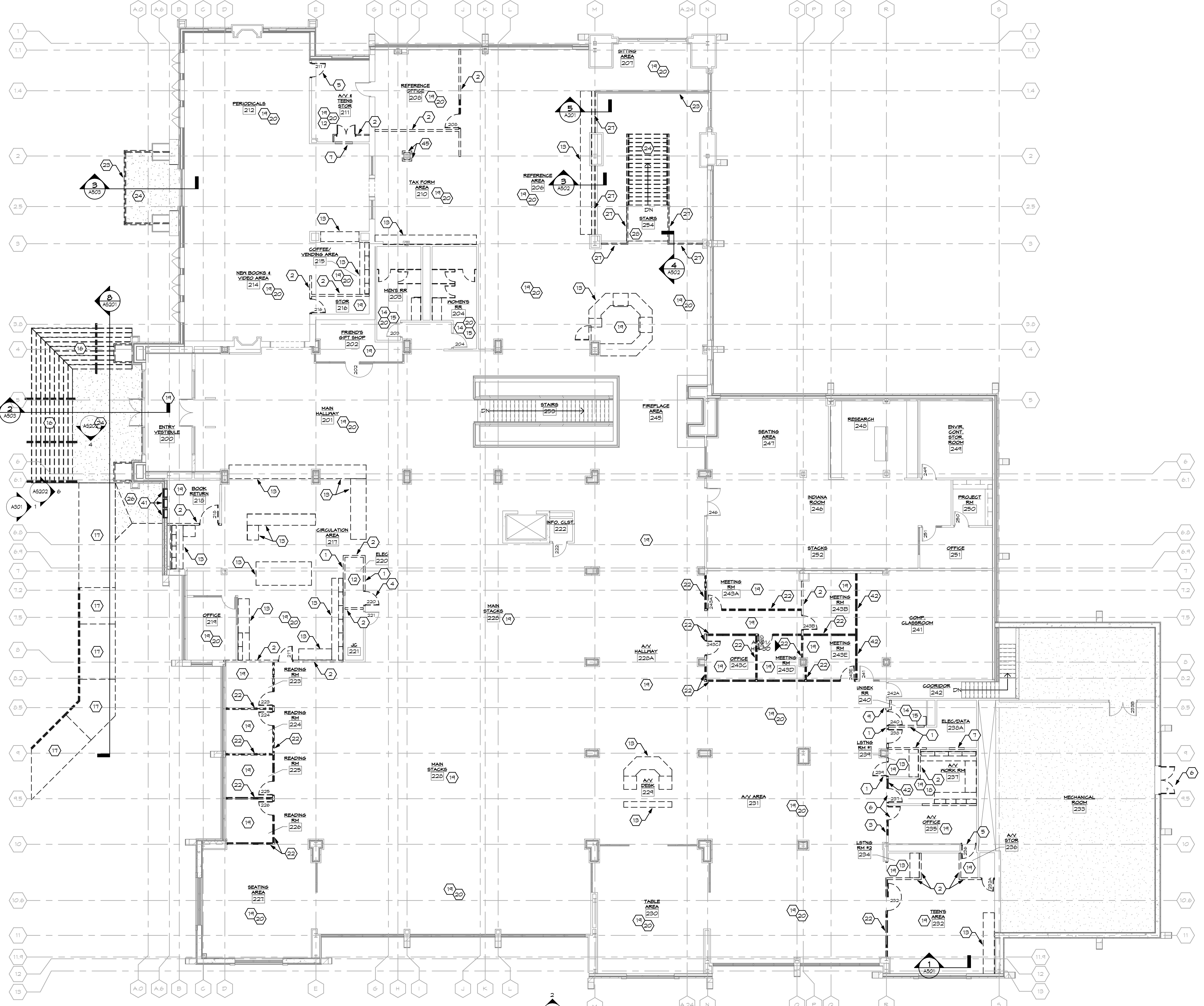
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LOWER LEVEL DEMOLITION PLAN

Comm. No.	Date
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M.K.S.	AD101
Checked	G.A.D.



LOWER LEVEL DEMOLITION PLAN
SCALE: 3/32" = 1'-0"



1 UPPER LEVEL DEMOLITION PLAN
 SCALE: 3/32" = 1'-0"

SHEET NOTES: TYPICAL FOR ALL DEMO PLAN SHEETS. ALL NOTES MAY NOT BE USED.

1. REMOVE PORTION OF EXISTING WALL. SEE NEW CONSTRUCTION PLANS.
2. REMOVE EXISTING WALL COMPLETELY.
3. REMOVE EXISTING WINDOWS COMPLETELY.
4. REMOVE EXISTING DOOR, FRAME AND HARDWARE.
5. REMOVE EXISTING DOOR. INFILL WALL WITH CONSTRUCTION TO MATCH EXISTING ON BOTH SIDES. SEE NEW CONSTRUCTION PLANS.
6. REMOVE EXISTING DOOR. PROVIDE NEW DOOR PER DOOR SCHEDULE AND DETAILS.
7. REMOVE PORTION OF EXISTING WALL AS REQUIRED FOR NEW DOOR OPENING. SEE NEW CONSTRUCTION PLANS & DOOR DETAILS.
8. REMOVE EXISTING OPERABLE WALL COMPLETELY, INCLUDING TRACK AND ATTACHMENT TO STRUCTURAL STEEL.
9. REMOVE EXISTING DRINKING FOUNTAINS. SEE PLUMBING DRAWINGS. (NOT USED)
10. TEMPORARY CONSTRUCTION BARRIER.
11. REMOVE EXISTING ELECTRICAL EQUIPMENT. SEE ELECTRICAL DRAWINGS.
12. REMOVE EXISTING CASEWORK AND COUNTERTOP.
13. REMOVE EXISTING CASEWORK AND COUNTERTOP.
14. REMOVE EXISTING CASEWORK AND COUNTERTOP.
15. REMOVE EXISTING FLOOR # WALL TILE.
16. REMOVE EXISTING STAIRS COMPLETELY, INCLUDING ALL SUPPORTS, WALLS, STRINGERS AND RAILINGS.
17. REMOVE EXISTING RAMP COMPLETELY, INCLUDING ALL SUPPORTS, WALLS AND RAILINGS.
18. SALVAGE CASEWORK TO REUSE IN NEW CONSTRUCTION. SEE NEW CONSTRUCTION PLANS.
19. REMOVE ALL FLOOR COVERINGS, WALL BASE & PREP FLOOR FOR NEW FLOORINGS.
20. REMOVE ALL WALL COVERINGS & PREPARE WALLS TO LEVEL 4 FINISH. PRIME & TACO-COAT FINISH PAINT. SEE FINISH SCHEDULE.
21. REMOVE EXISTING CONCRETE WALL COMPLETELY. PATCH CONCRETE SLAB AS NEEDED.
22. REMOVE EXISTING STOREFRONT GLAZING SYSTEM AND WALL COMPLETELY.
23. EXISTING RAILING TO REMAIN.
24. REMOVE EXISTING STAIRS COMPLETELY, INCLUDING ALL STRINGERS AND RAILINGS. SEE NEW PLANS FOR PARTIAL REMOVAL OF THE WALLS AND SUPPORTS.
25. EXISTING RETAINING WALL TO REMAIN.
26. REMOVE EXISTING FLOOR SLAB.
27. REMOVE EXISTING RAILING COMPLETELY. SALVAGE EXISTING RAILING TO BE USED FOR REINSTALLATION AT FLOOR INFILL AT RAMP.
28. REMOVE EXISTING FLOOR SLAB AS REQUIRED FOR NEW WORK. SEE NEW CONSTRUCTION PLANS.
29. (NOT USED)
30. (NOT USED)
31. REMOVE CARPET FROM WALL SURFACE. PREP WALL TO LEVEL 4 AND PREPARE TO RECEIVE NEW FINISH.
32. (NOT USED)
33. (NOT USED)
34. (NOT USED)
35. (NOT USED)
36. (NOT USED)
37. (NOT USED)
38. (NOT USED)
39. (NOT USED)
40. REMOVE EXISTING SLAB AS REQUIRED FOR PLUMBING WORK. SEE PLUMBING DWGS.
41. REMOVE EXISTING BOOK DROP. PATCH BRICK TO MATCH ADJACENT.
42. REMOVE EXISTING WINDOW. INFILL WALL WITH CONSTRUCTION TO MATCH EXISTING ON BOTH SIDES. SEE NEW CONSTRUCTION PLANS.
43. (NOT USED)
44. REMOVE SLIDING DOOR AND ANY RELATED HARDWARE. INFILL WALL WITH CONSTRUCTION TO MATCH EXISTING ON BOTH SIDES. SEE NEW CONSTRUCTION PLANS.

GENERAL NOTES:

- A. REFER TO SPECIFICATION SECTION - CUTTING AND PATCHING FOR REQUIREMENTS PRIOR TO, DURING AND AFTER CUTTING AND PATCHING AND FOR TEMPORARY PROTECTION OF EXISTING WORK TO REMAIN.
- B. REFER TO SPECIFICATION SECTION - SELECTIVE DEMOLITION FOR RELATED REQUIREMENTS PRIOR TO, DURING AND AFTER SELECTIVE DEMOLITION.
- C. WHERE MECHANICAL, ELECTRICAL OR PLUMBING EQUIPMENT, SYSTEMS OR FIXTURES ARE INDICATED FOR REMOVAL. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS AND SPECIFICATIONS FOR DETAILS OF DEMOLITION AND NEW WORK.
- D. WHERE STRUCTURAL ELEMENTS ARE INDICATED FOR DEMOLITION REFER TO STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR DETAILS OF DEMOLITION AND NEW WORK. ALL STRUCTURAL DEMOLITION REQUIRES TEMPORARY SHORING AND PROTECTION OF EXISTING STRUCTURE TO REMAIN.
- E. PATCHING OF EXISTING MATERIALS SHALL MATCH EXISTING IN-PLACE ADJACENT SURFACES.
- F. WHERE FLOOR FINISHES ARE INDICATED FOR REMOVAL, WORK SHALL INCLUDE COMPLETE REMOVAL OF EXISTING ADHESIVES DOWN TO FLOOR SUBSTRATE AND PREPARATION OF THAT SUBSTRATE TO RECEIVE NEW FINISHES INDICATED.
- G. WHERE WALL BASE IS INDICATED FOR REMOVAL, THE WORK SHALL INCLUDE COMPLETE REMOVAL OF ADHESIVES AND FASTENERS DOWN TO EXISTING SUBSTRATE. WORK SHALL ALSO INCLUDE PATCHING A PREPARATION OF SUBSTRATE TO RECEIVE NEW FINISHES INDICATED.
- H. WHERE WALL MOUNTED ITEMS, EQUIPMENT AND ACCESSORIES ARE INDICATED FOR REMOVAL, WORK SHALL INCLUDE ALL RELATED ANCHORS AND ADHESIVES. EXISTING SUBSTRATE SHALL BE PATCHED AND REPAIRED TO RECEIVE NEW FINISHES OR NEW WALL MOUNTED ITEMS AS INDICATED.
- I. FIRE RATINGS OF EXISTING MATERIALS SHALL BE MAINTAINED UPON COMPLETION OF DEMOLITION WORK.
- J. WHERE MECHANICAL, ELECTRICAL OR PLUMBING WORK REQUIRES DEMOLITION OF EXISTING WALLS, CEILINGS, FLOORS OR ROOFS, CONTRACTOR SHALL MAINTAIN EXISTING FIRE RATINGS AFTER COMPLETION OF WORK. PATCH AND REPAIR ALL MATERIALS TO MEET FIRE RATINGS INDICATED. MAINTAIN WATER TIGHTNESS AT ALL TIMES PER TEMPORARY PROTECTION METHODS INDICATED IN THE SPECIFICATIONS.
- K. WHERE DEMOLITION NOTES INDICATE REMOVAL FOR MODIFICATION AND REINSTALLATION IN NEW WORK, CONTRACTOR SHALL CAREFULLY REMOVE PACK AND STORE THESE ITEMS TO PREVENT DAMAGE UNTIL THE TIME TO MODIFY WORK AND REINSTALL. CONTRACTOR TO NOTIFY ARCHITECT IF ANY OF THESE MATERIALS ARE DAMAGED DURING REMOVAL AND STORAGE.
- L. WHERE WALL COVERINGS ARE INDICATED FOR REMOVAL, WORK SHALL INCLUDE REMOVAL OF ANY WALL TRIM AND REPLACED AFTER WALL COVERINGS REMOVAL.

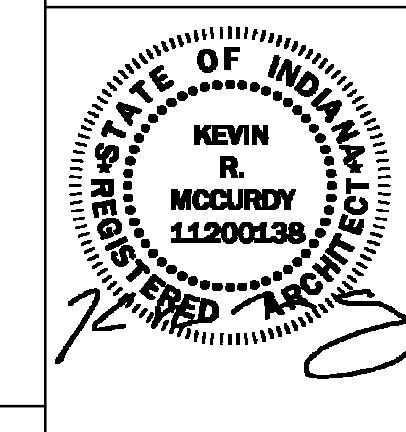
RE-BID DOCUMENTS		08.08.2023
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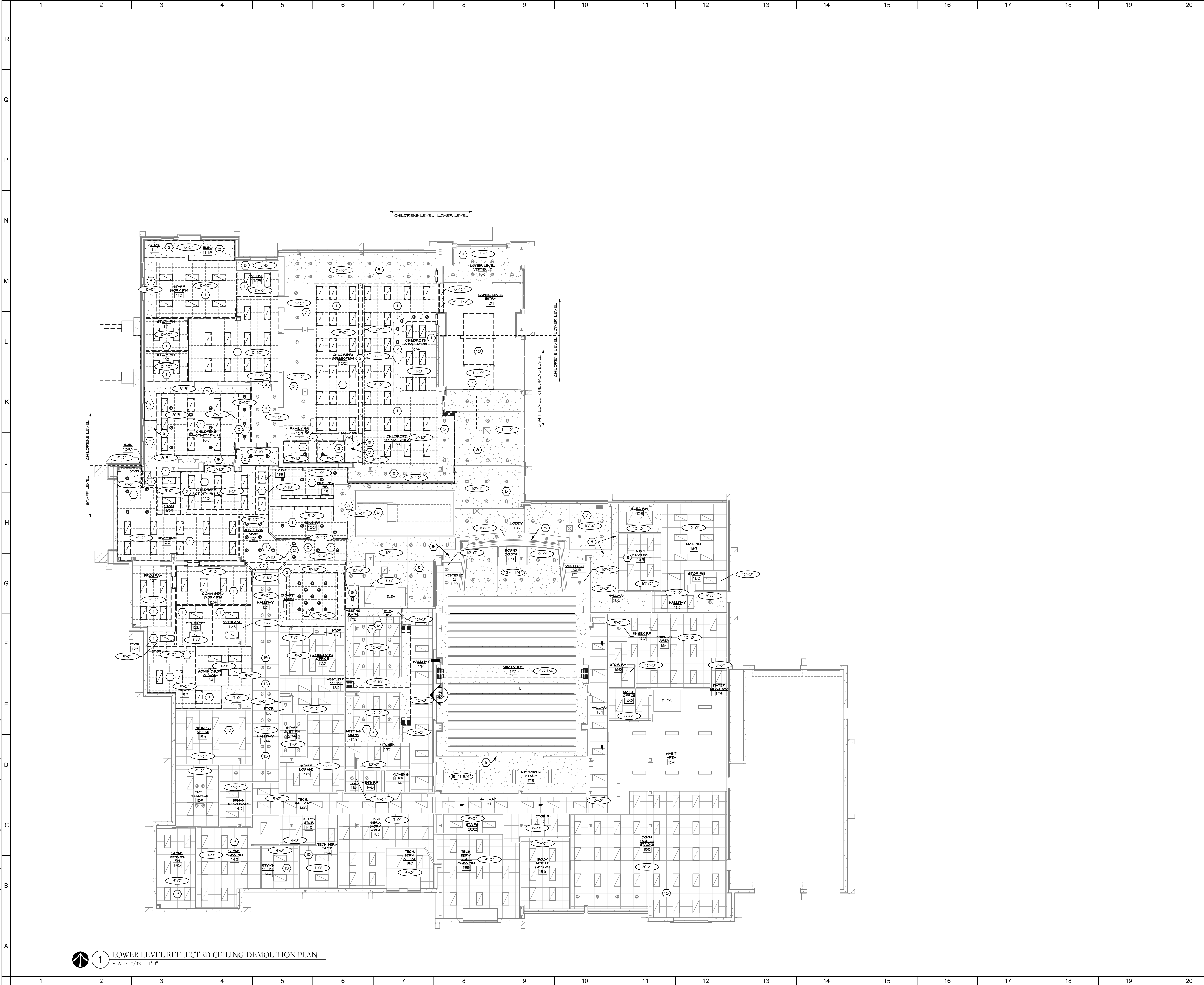
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UPPER LEVEL DEMOLITION PLAN	
Comm. No.	Date
22105.00	08.08.2023
Drawn	Drawing No.
M.K.S.	AD102
Checked	G.A.D.



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SHEET NOTES: TYPICAL FOR ALL DEMO RCP SHEETS. ALL NOTES MAY NOT BE USED.

1. REMOVE EXISTING SUSPENDED CEILING SYSTEM COMPLETELY.
2. REMOVE EXISTING GNB SOFFIT & FRAMING COMPLETELY.
3. REMOVE PORTION OF EXISTING GNB SOFFIT & FRAMING. SEE NEW CONSTRUCTION PLANS.
4. (NOT USED)
5. EXISTING GNB SOFFIT TO REMAIN.
6. REMOVE EXISTING PROJECTOR SCREEN AND ALL COMPONENTS.
7. REMOVE EXISTING EQUIPMENT AND ALL EQUIPMENT HOUSING.
8. EXISTING GNB CEILING TO REMAIN.
9. (NOT USED)
10. REMOVE EXISTING STAIRS COMPLETELY, INCLUDING ALL STRINGERS AND RAILINGS. SEE NEW PLANS FOR PARTIAL REMOVAL OF THE WALLS AND SUPPORTS.
11. TEMPORARY CONSTRUCTION BARRIER.
12. REMOVE PORTION OF EXISTING GNB SOFFIT FOR NEW RECESSED ROLLER SHADE TO BE INSTALLED IN SOFFIT. SEE NEW CONSTRUCTION PLANS.
13. REMOVE AND REPLACE PORTION OF SUSPENDED CEILING SYSTEM AS REQUIRED FOR NEW FME WORK. SEE FME DWGS.

GENERAL NOTES:

- A. SEE PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ALL ASSOCIATED ITEMS.
- B. DISPOSE OF DEMOLITION MATERIALS OFF SITE FOLLOWING ALL APPLICABLE RULES AND REGULATIONS, UNLESS NOTED OTHERWISE.
- C. PROTECT EXISTING-TO-REMAIN ITEMS THROUGHOUT THE PROJECT. REPAIRS TO ANY EXISTING-TO-REMAIN ITEMS DAMAGED BY CONTRACTOR OR SUBCONTRACTORS SHALL BE RESTORED AT CONTRACTORS EXPENSE. REPAIR HSG. HOLES IN GNB TO LEVEL 4 FINISH AND PREP FOR PAINT.
- D. ALL INTERIOR SOFFITS TO REMAIN. IN AREAS BEING REMODELED SHALL BE REPAIRED TO LEVEL 9 FINISH AND PREPARED FOR PAINT.
- E. UNLESS OTHERWISE NOTED, REMOVE VINYL WALL BASE IN ALL AREAS TO RECEIVE NEW FLOOR FINISHES. SEE FINISH PLANS FOR NEW FLOOR FINISH LOCATIONS.
- F. WHETHER INDICATED OR NOT, ALL ROOM SIGNS SHALL BE SALVAGED AND SAVED FOR REINSTALLATION. SIGNS SHALL BE REINSTALLED WHERE DIRECTED BY OWNER.
- G. SEE ROOF PLANS FOR MORE INFORMATION ON EXTERIOR SOFFIT REPAIRS / REFINISHING OF SOFFIT FINISH MATERIAL.
- H. POCHÉ "GRAY" AREAS INDICATE AREA OF NO WORK. THERE MAY BE SOME OVERLAP OF NEW WORK WITH EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO COORDINATE AREAS WHERE OVERLAP OCCURS.

RE-BID DOCUMENTS		08.08.2023
No.	Revisions / Submissions	Date

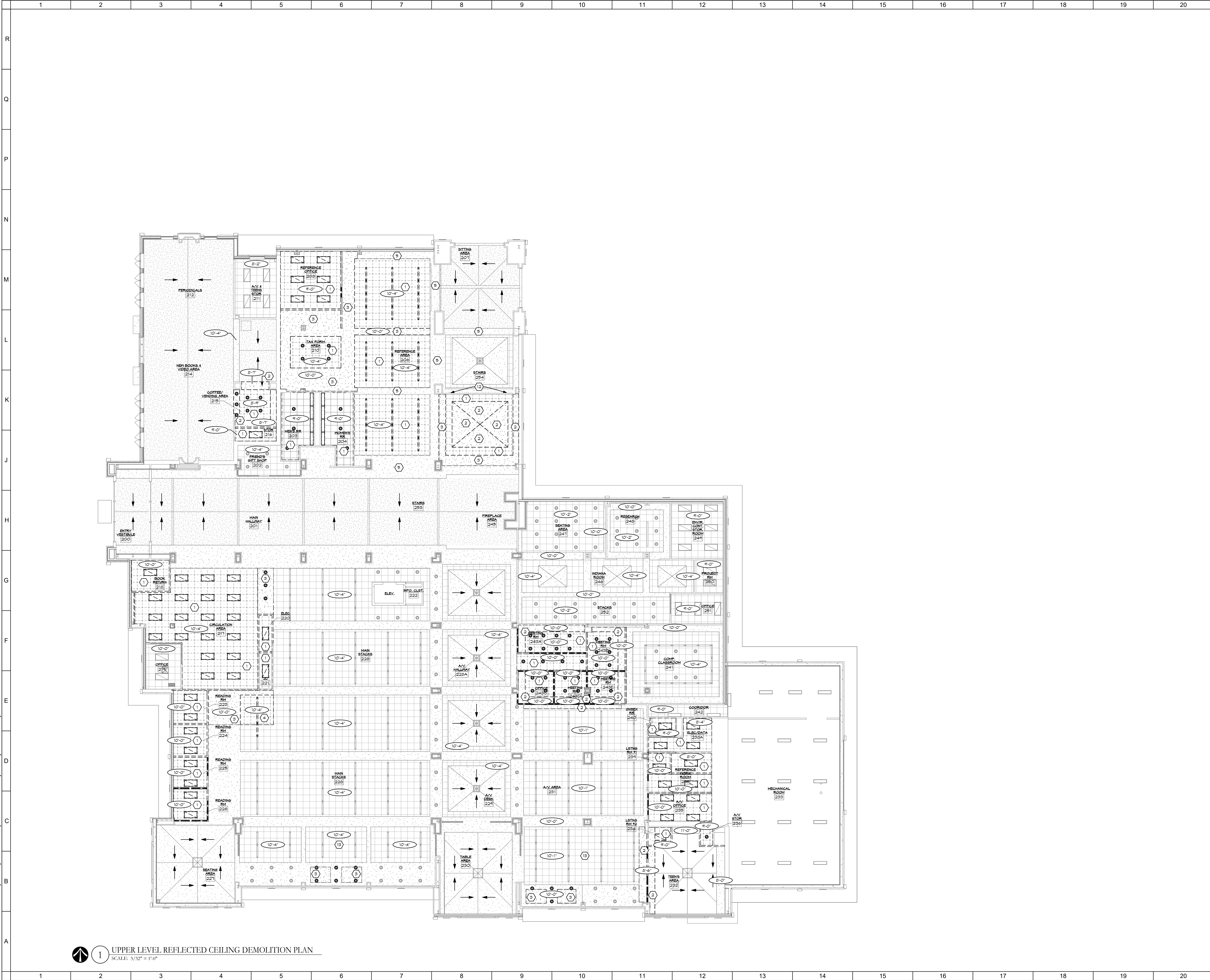
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LOWER LEVEL DEMOLITION REFLECTED CEILING PLAN

	Comm. No.	Date
	22105.00	08.08.2023
Drawn	M.K.S.	Drawing No.
Checked	G.A.D.	AD201



1 UPPER LEVEL REFLECTED CEILING DEMOLITION PLAN
 SCALE: 3/32" = 1'-0"

SHEET NOTES: TYPICAL FOR ALL DEMO RCP SHEETS. ALL NOTES MAY NOT BE USED.

1. REMOVE EXISTING SUSPENDED CEILING SYSTEM COMPLETELY.
2. REMOVE EXISTING GNB SOFFIT & FRAMING COMPLETELY.
3. REMOVE PORTION OF EXISTING GNB SOFFIT & FRAMING. SEE NEW CONSTRUCTION PLANS.
4. (NOT USED)
5. EXISTING GNB SOFFIT TO REMAIN.
6. REMOVE EXISTING PROJECTOR SCREEN AND ALL COMPONENTS.
7. REMOVE EXISTING EQUIPMENT AND ALL EQUIPMENT HOUSING.
8. EXISTING GNB CEILING TO REMAIN.
9. (NOT USED)
10. REMOVE EXISTING STAIRS COMPLETELY, INCLUDING ALL STRINGERS AND RAILINGS. SEE NEW PLANS FOR PARTIAL REMOVAL OF THE WALLS AND SUPPORTS.
11. TEMPORARY CONSTRUCTION BARRIER.
12. REMOVE PORTION OF EXISTING GNB SOFFIT FOR NEW RECESSED ROLLER SHADE TO BE INSTALLED IN SOFFIT. SEE NEW CONSTRUCTION PLANS.
13. REMOVE AND REPLACE PORTION OF SUSPENDED CEILING SYSTEM AS REQUIRED FOR NEW FINE WORK. SEE FINE DWGS.

GENERAL NOTES:

- A. SEE PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ALL ASSOCIATED ITEMS.
- B. DISPOSE OF DEMOLITION MATERIALS OFF SITE FOLLOWING ALL APPLICABLE RULES AND REGULATIONS, UNLESS NOTED OTHERWISE.
- C. PROTECT EXISTING-TO-REMAIN ITEMS THROUGHOUT THE PROJECT. REPAIRS TO ANY EXISTING-TO-REMAIN ITEMS DAMAGED BY CONTRACTOR OR SUBCONTRACTORS SHALL BE RESTORED AT CONTRACTORS EXPENSE. REPAIR HOLE IN GNB TO LEVEL 4 FINISH AND PREP FOR PAINT.
- D. ALL INTERIOR SOFFITS TO REMAIN, IN AREAS BEING REMODELED SHALL BE REPAIRED TO LEVEL 9 FINISH AND PREPARED FOR PAINT.
- E. UNLESS OTHERWISE NOTED, REMOVE VINYL WALL BASE IN ALL AREAS TO RECEIVE NEW FLOOR FINISHES. SEE FINISH PLANS FOR NEW FLOOR FINISH LOCATIONS.
- F. WHETHER INDICATED OR NOT, ALL ROOM SIGNS SHALL BE SALVAGED AND SAVED FOR REINSTALLATION. SIGNS SHALL BE REINSTALLED WHERE DIRECTED BY OWNER.
- G. SEE ROOF PLANS FOR MORE INFORMATION ON EXTERIOR SOFFIT REPAIRS / REFINISHING OF SOFFIT FINISH MATERIAL.
- H. POOR "GRAY" AREAS INDICATE AREA OF NO WORK. THERE MAY BE SOME OVER LAP OF NEW WORK WITH EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO COORDINATE AREAS WHERE OVERLAP OCCURS.

RE-BID DOCUMENTS		08.08.2023
No.	Revisions / Submissions	Date

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INTERIOR & EXTERIOR RENOVATIONS
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UPPER LEVEL DEMOLITION REFLECTED CEILING PLAN	
Comm. No. 22105.00	Date 08.08.2023
Drawn M.K.S.	Drawing No. AD202
Checked G.A.D.	



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H3
J1
J2
J3

33 DOOR - FRAMES, HOLLOW METAL & STEEL
SCALE: 1 1/2" = 1'-0"

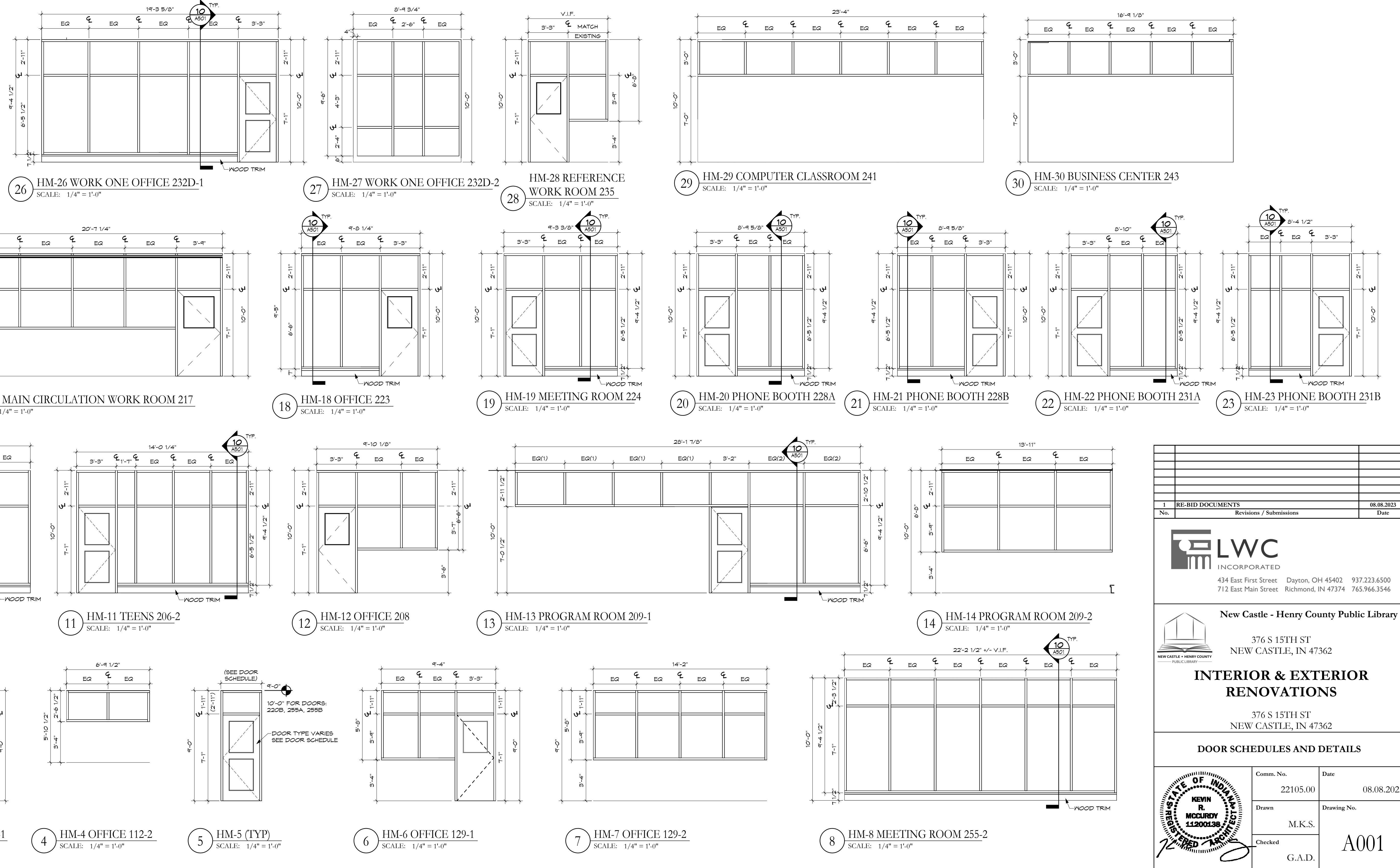
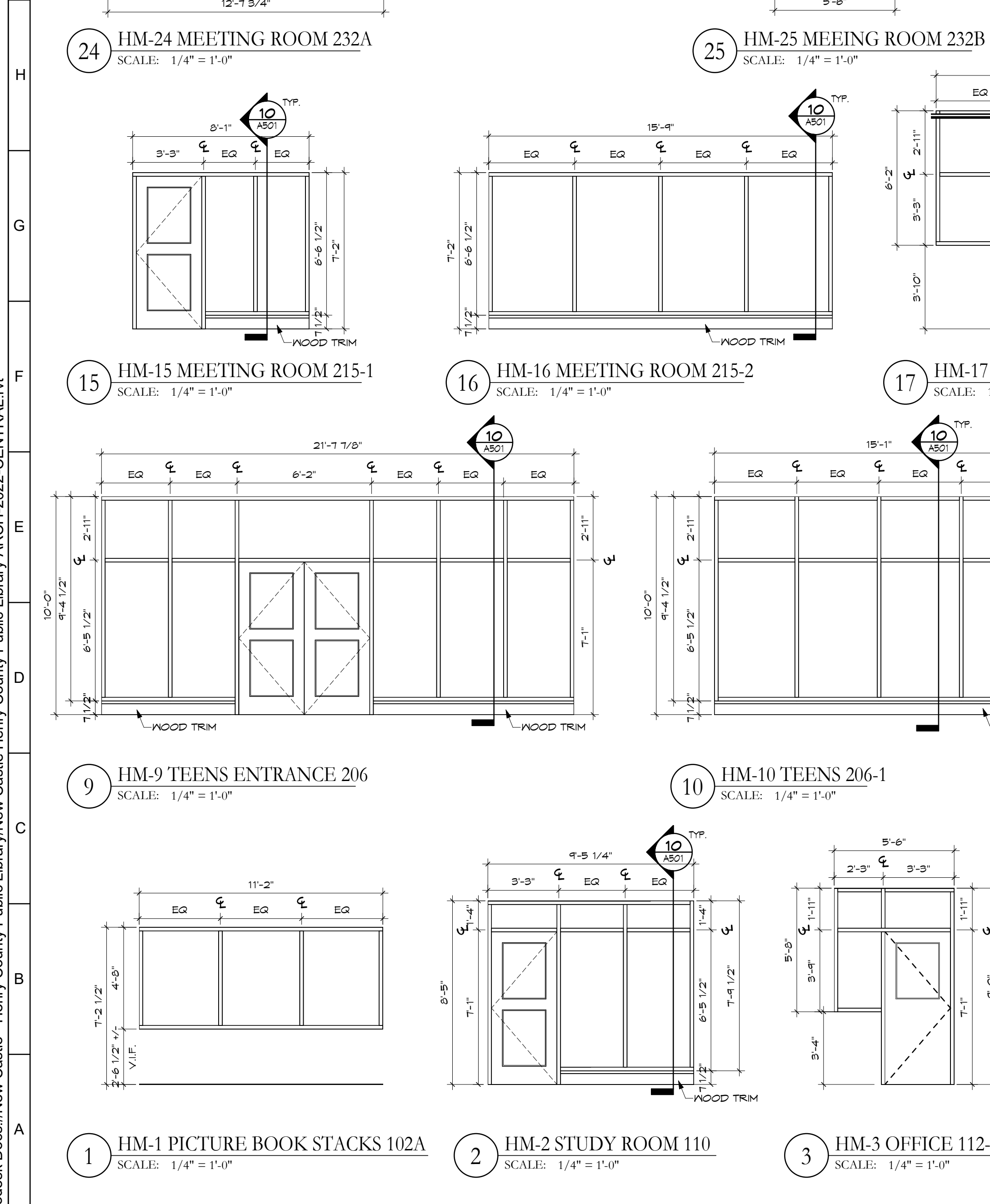
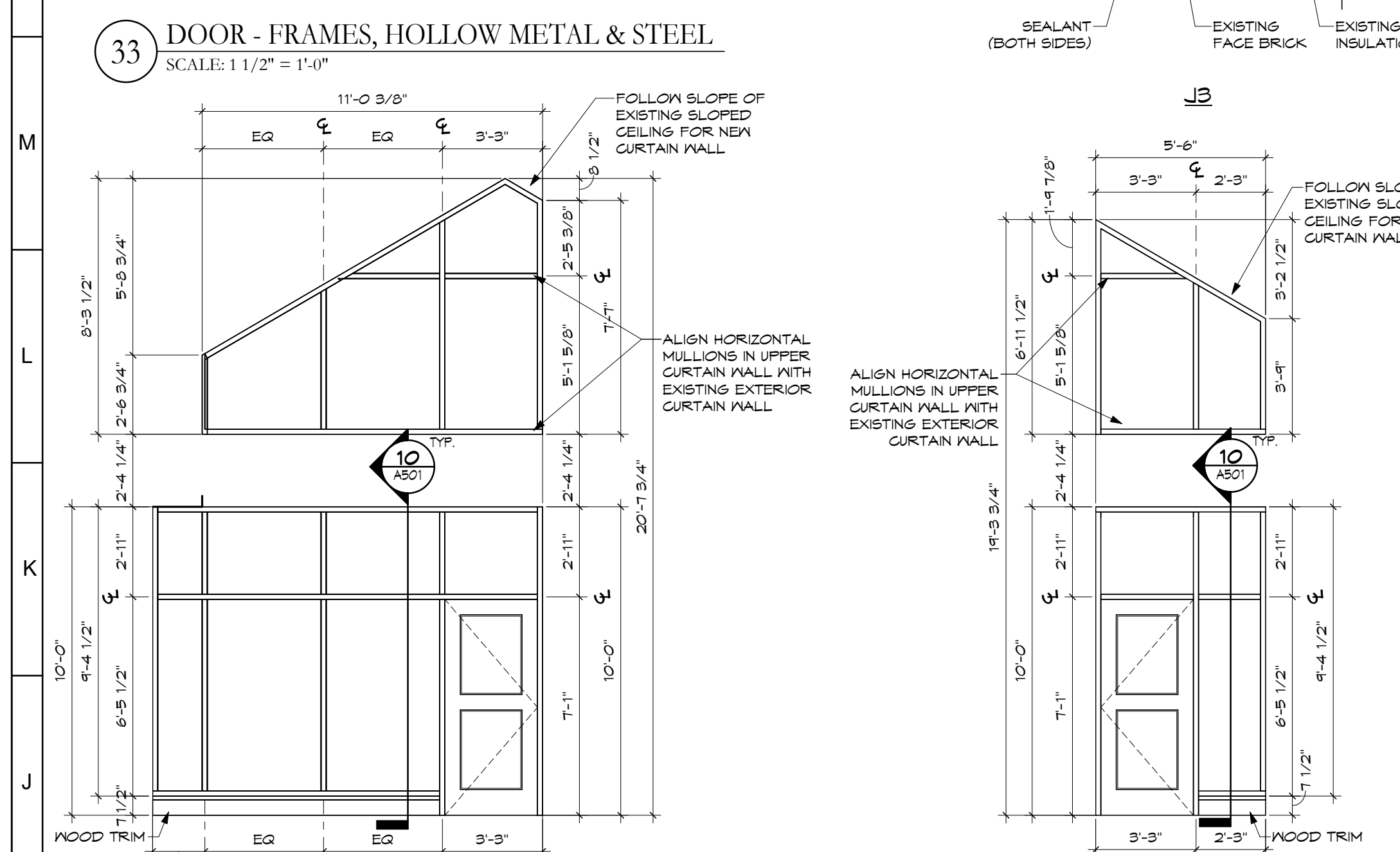
32 DOOR TYPE
SCALE: 1/4" = 1'-0"

31 DOOR FRAME TYPE
SCALE: 1/4" = 1'-0"

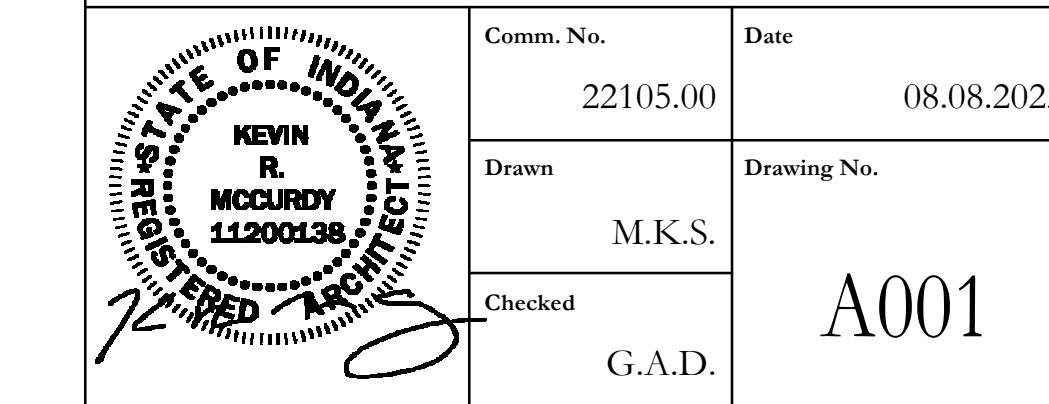
NOTES:
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DOOR SCHEDULE

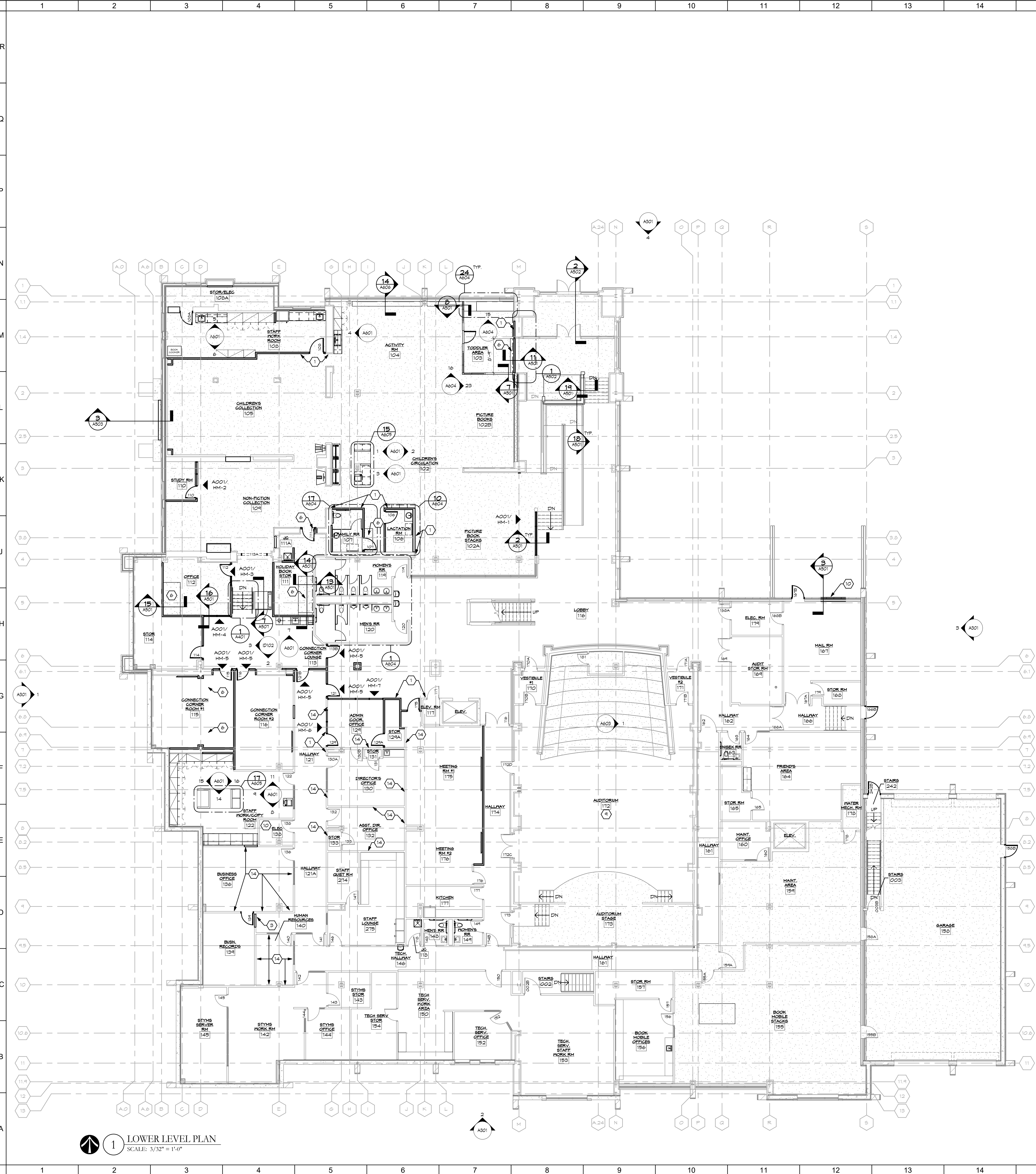
DOOR NO.	EXISTING / NDA	INTERIOR / EXTERIOR	SINGLE / PAIR	WIDTH	HEIGHT	THICKNESS	TYPE	MATERIAL	GLAZING	TYPE	FRAME			HARDWARE	FIRE RATINGS	COMMENTS
											JAMB	DETAILS	HEAD			
106	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D1	ND	N/A	F1	HM	J1	H1	O4	RESTROOM	N/A
107	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D1	ND	N/A	F1	HM	J1	H1	O4	RESTROOM	N/A
108	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D3	ND	TEMPERED	HM-5	HM	J1	H1	O6	STAFF	N/A
108A	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D1	ND	N/A	F1	HM	J1	H1	O6	ELEC/STOR	N/A
110	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D2	ND	TEMPERED	HM-2	HM	J1	H1	O6	STUDY ROOM	N/A
111	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D1	ND	N/A	F1	HM	J1	H1	O6	OFFICE	N/A
112	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D3	ND	TEMPERED	HM-3	HM	J1	H1	O6	OFFICE	N/A
115A	NEP	INT	OPENING	6'-4"	7'-0"	0"	N/A	N/A	N/A	F1	HM	J1	H1	N/A	N/A	N/A
115B	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D2	ND	TEMPERED	HM-5	HM	J1	H1	O6	CHILDREN ENTRANCE	N/A
114	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D1	ND	N/A	F1	HM	J1	H1	O6	STORAGE	N/A
115	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D2	ND	TEMPERED	HM-5	HM	J1	H1	O6	MEETING	N/A
116	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D2	ND	TEMPERED	HM-5	HM	J1	H1	O6	MEETING	N/A
121	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D3	ND	TEMPERED	HM-3	HM	J1	H1	O6	STAFF	N/A
121B	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D3	ND	TEMPERED	HM-5	HM	J1	H1	O6	STAFF	N/A
124	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D3	ND	TEMPERED	HM-6	HM	J1	H1	O6	OFFICE	N/A
124A	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D1	ND	N/A	F1	HM	J1	H1	O6	STORAGE	N/A
134	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D1	ND	N/A	F1	HM	J1	H1	O6	RECORDS	N/A
156B	NEP	EXT	SINGLE	3'-0"	7'-0"	1 3/4"	D1	ALUM	N/A	F1	ALUM	J3	H3	O6	GARAGE	N/A
166B	NEP	EXT	SINGLE	3'-0"	7'-0"	1 3/4"	D4	ALUM	TEMPERED, INSULATED	F1	ALUM	J3	H3	O6	STAFF ENTRANCE	N/A
167B	NEP	EXT	SINGLE	3'-0"	7'-0"	1 3/4"	D1	ALUM	N/A	F1	ALUM	J3	H3	O6	STAFF ENTRANCE	N/A
178	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D1	ND	N/A	F1	HM	J1	H1	O6	MEETING	N/A
206	NEP	INT	PAIR	3'-0"	7'-0"	1 3/4"	D2	ND	TEMPERED	HM-4	HM	J1	H1	O6	TEENS ENTRANCE	N/A
207	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D2	ND	TEMPERED	HM-11	HM	J1	H1	O6	MEETING	N/A
209	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D3	ND	TEMPERED	HM-12	HM	J1	H1	O6	OFFICE	N/A
209A	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D2	ND	TEMPERED	HM-13	HM	J1	H1	O6	MEETING	N/A
210	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D1	ND	N/A	F1	HM	J1	H1	O6	MEETING	N/A
210A	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D2	ND	TEMPERED	HM-1	HM	J1	H1	O6	STORAGE	N/A
211	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D1	ND	N/A	F1	HM	J1	H1	O6	STAFF	N/A
218	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D3	ND	TEMPERED	HM-5	HM	J1	H1	O6	MEETING	N/A
218B	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D1	ND	N/A	F1	HM	J1	H1	O6	MEETING	N/A
223	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D3	ND	TEMPERED	HM-15	HM	J1	H1	O6	OFFICE	N/A
224	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D2	ND	TEMPERED	HM-18	HM	J1	H1	O6	MEETING	N/A
225A	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D2	ND	TEMPERED	HM-20	HM	J1	H1	O6	MEETING	N/A
225B	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D2	ND	TEMPERED	HM-21	HM	J1	H1	O6	MEETING	N/A
231A	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D2	ND	TEMPERED	HM-22	HM	J1	H1	O6	MEETING	N/A
231B	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D2	ND	TEMPERED	HM-23	HM	J1	H1	O6	MEETING	N/A
233A	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D2	ND	TEMPERED	HM-24	HM	J1	H1	O6	MEETING	N/A
233B	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D2	ND	TEMPERED	HM-25	HM	J1	H1	O6	MEETING	N/A
233C	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D1	ND	N/A	F1	HM	J1	H1	O6	MECH	N/A
233D	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D2	ND	TEMPERED	HM-26	HM	J1	H1	O6	MEETING	N/A
233A	NEP	EXT	PAIR	3'-0"	7'-0"	1 3/4"	D1	ALUM	N/A	F1	ALUM	J3	H3	O6	MECH	N/A
235	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D3	ND	TEMPERED	HM-25	HM	J1	H1	O6	STAFF	N/A
237	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D1	ND	N/A	F1	HM	J1	H1	O6	STAFF	N/A
238	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D1	ND	N/A	F1	HM	J1	H1	O6	STAFF	N/A
238A	NEP	INT	OPENING	3'-0"	7'-0"	0"	N/A	N/A	N/A	F1	HM	J1	H1	N/A	N/A	N/A
240	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D1	ND	N/A	F1	HM	J1	H1	O6	ELEC/DATA	N/A
242B	NEP	EXT	SINGLE	3'-0"	7'-0"	1 3/4"	D4	ALUM	TEMPERED, INSULATED	F1	ALUM	J3	H3	O6	RESTROOM	N/A
255A	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D2	ND	TEMPERED	HM-5	HM	J1	H1	O6	MEETING	N/A
255B	NEP	INT	SINGLE	3'-0"	7'-0"	1 3/4"	D2	ND	TEMPERED	HM-5	HM	J1	H1	O6	MEETING	N/A



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INTERIOR & EXTERIOR RENOVATIONS		
376 S 15TH ST NEW CASTLE, IN 47362		
DOOR SCHEDULES AND DETAILS		
Comm. No.	Date	08.08.2023
22105.00		
Drawn	Drawing No.	A001
M.K.S.		
Checked	G.A.D.	



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1 LOWER LEVEL PLAN
SCALE: 3/32" = 1'-0"

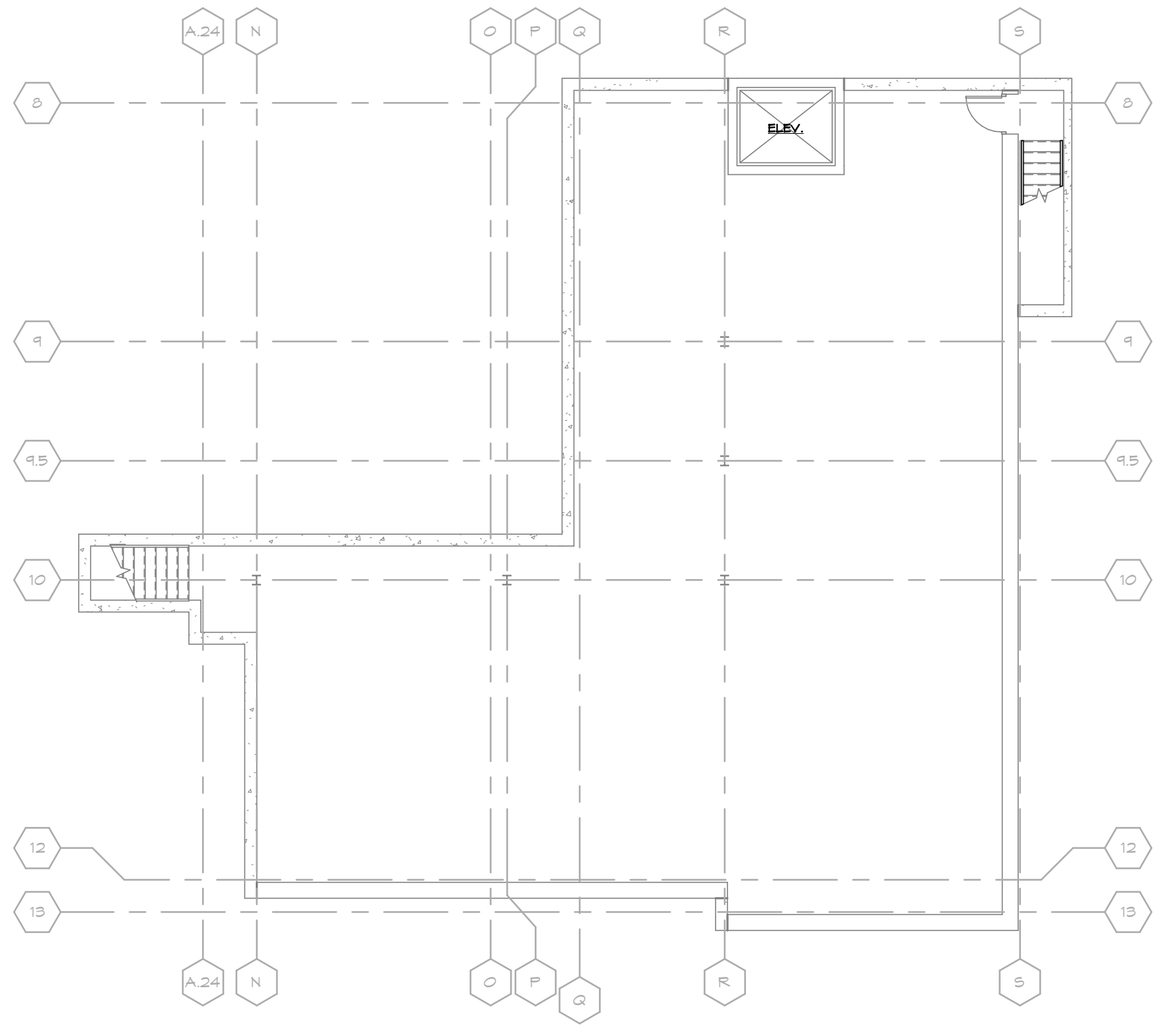
2 BASEMENT LEVEL PLAN
SCALE: 3/32" = 1'-0"

FLOOR PLAN LEGEND
TYPICAL FOR ALL SHEETS.
SEE SHEET 0001 FOR ADDITIONAL SYMBOLS

	CMU
	METAL STUDS WITH DRYWALL AND SOUND ATTENUATION BLANKETS
	CONTROL JOINT (SEE DIMENSIONED FLOOR PLANS FOR LOCATIONS)
	1 HOUR RATED FIRE BARRIER
	2 HOUR RATED FIRE WALL
	CARPET EDGE
	VINYL EDGE
	MARBLE THRESHOLD
	CORNER GUARD

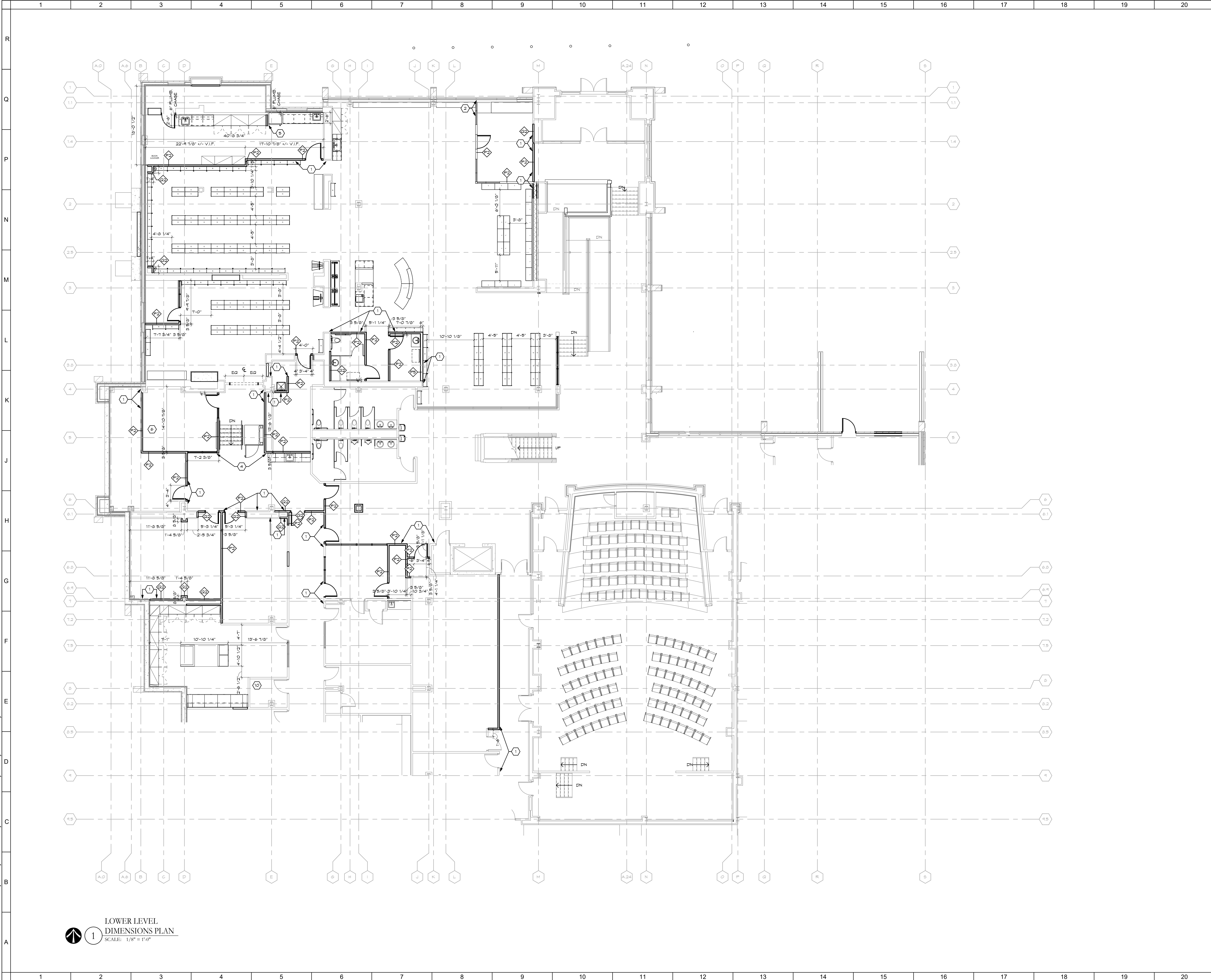
- SHEET NOTES:** TYPICAL FOR ALL NEW YORK PLAN SHEETS. ALL NOTES MAY NOT BE USED.
- ALIGN FACE OF NEW AND EXISTING WALL.
 - (NOT USED)
 - STUD WALL INFILL OF EXISTING DOOR OPENINGS.
 - (NOT USED)
 - DIGITAL DISPLAY.
 - INFILL CONCRETE FLOOR SLAB. SEE STRUCT DWS.
 - (NOT USED)
 - (NOT USED)
 - REFINISH ALL WOOD TRIM.
 - INFILL EXISTING DOOR OPENINGS WITH FACE BRICK, 1/2" GMB SHEATHING, 6" METAL STUDS @ 16" O.C. & 5" GMB TO MATCH EXISTING. PROVIDE FULL THICK BATT INSULATION.
 - TEMPORARY CONSTRUCTION BARRIERS.
 - RFID SCANNER TO REMAIN.
 - NEW GMB ON EXISTING COLUMN WRAP.
 - EXTEND EXISTING WALLS TO DECK. REMOVE DRYWALL ON ONE SIDE TO PLACE IN FULL BATT INSULATION. MATCH CONSTRUCTION WITH EXISTING WALLS ON BOTH SIDES.

- GENERAL NOTES:**
- SEE PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ALL ASSOCIATED ITEMS.
 - SEE FINISH PLANS FOR NEW FLOOR AND WALL FINISHES.
 - ALL DIMENSIONS ARE TO FACE OF FRAMING, UNLESS NOTED OTHERWISE.
 - ALL INTERIOR WALLS SHALL RECEIVE FULL-THICK BATT SOUND INSULATION, UNLESS NOTED OTHERWISE.
 - ALL INTERIOR WALLS SHALL EXTEND TO STRUCTURE ABOVE AND SEAL THERE TO, UNLESS NOTED OTHERWISE.
 - ALL WALLS ARE TYPE "B" UNLESS NOTED OTHERWISE.
 - ALL ITEMS PASSING THROUGH RATED WALLS MUST BE SEALED (WITH MATERIALS APPROVED BY ARCHITECT/ENGINEER) BY THE CONTRACTOR INSTALLING THE ITEMS.
 - FOUR "GRAY" AREAS INDICATE AREAS OF NO WORK. THERE MAY BE SOME OVERLAP OF NEW WORK WITH EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO COORDINATE AREAS WHERE OVERLAP OCCUR.



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INTERIOR & EXTERIOR RENOVATIONS 376 S 15TH ST NEW CASTLE, IN 47362		
LOWER LEVEL PLAN		
Comm. No.	Date	08.08.2023
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○ SHEET NOTES:

- 1. ALIGN FACE OF NEW AND EXISTING WALL.
- 2. CENTER NEW WALL WITH EXISTING MULLION.
- 3. CENTER NEW WALL WITH EXISTING COLUMN.
- 4. (NOT USED)
- 5. ALIGN FACE OF NEW WALL WITH EDGE OF EXISTING GMB CEILING.

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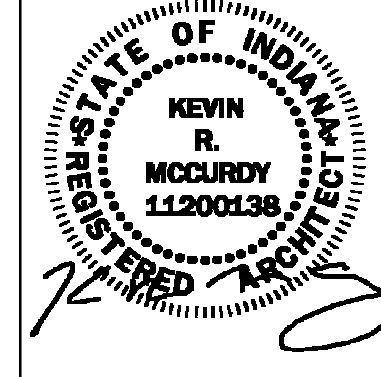
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LOWER LEVEL DIMENSIONS PLAN

Comm. No.	Date
22105.00	08.08.2023
Drawn	Drawing No.
M.K.S.	A101D
Checked	G.A.D.

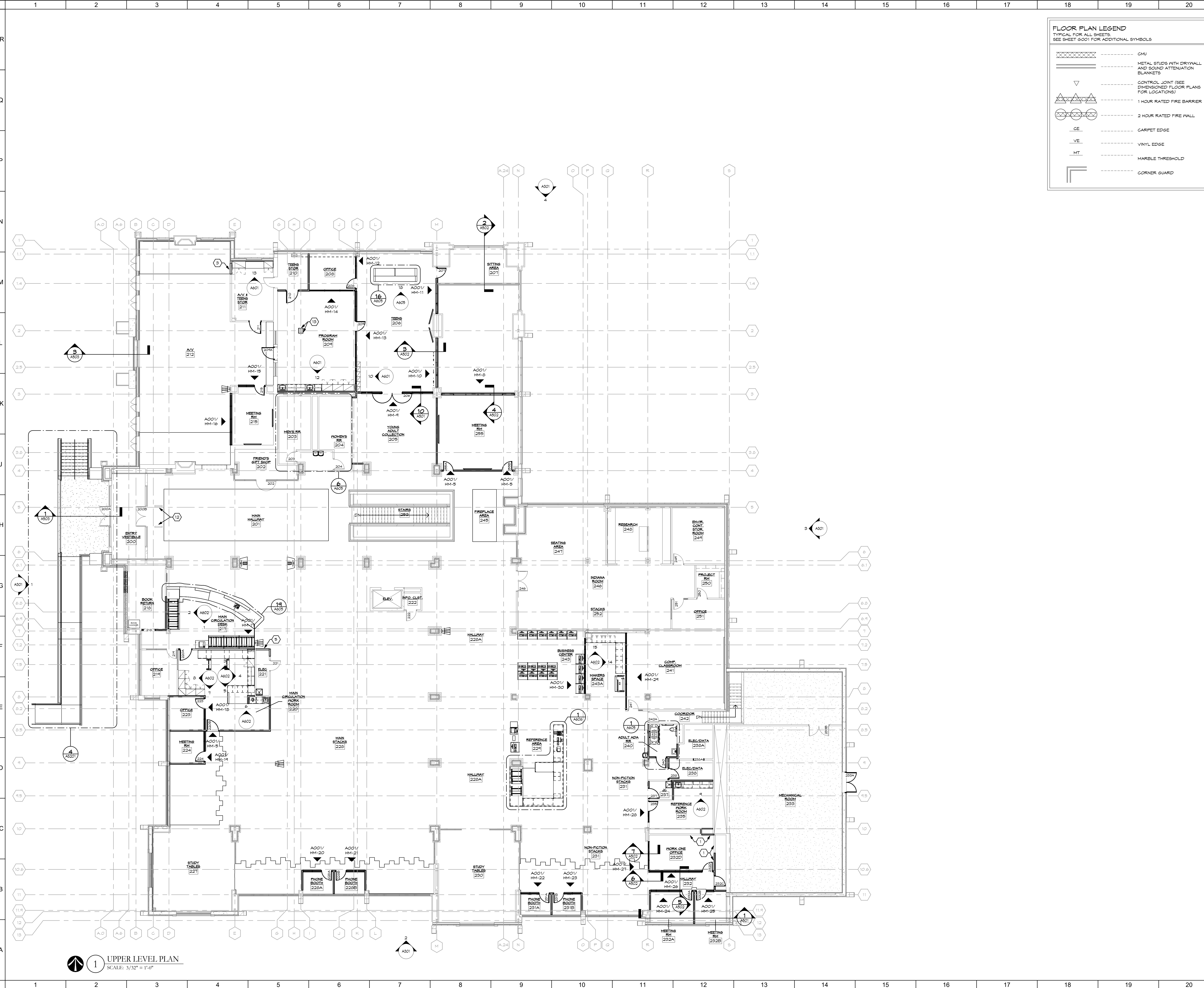
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LOWER LEVEL DIMENSIONS PLAN
SCALE: 1/8" = 1'-0"



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1 UPPER LEVEL PLAN
SCALE: 3/32" = 1'-0"

FLOOR PLAN LEGEND	
TYPICAL FOR ALL SHEETS. SEE SHEET 0001 FOR ADDITIONAL SYMBOLS.	
	CMU
	METAL STUDS WITH DRYWALL AND SOUND ATTENUATION BLANKETS
	CONTROL JOINT (SEE DIMENSIONED FLOOR PLANS FOR LOCATIONS)
	1 HOUR RATED FIRE BARRIER
	2 HOUR RATED FIRE WALL
	CARPET EDGE
	VINYL EDGE
	MARBLE THRESHOLD
	CORNER GUARD

SHEET NOTES: TYPICAL FOR ALL NEW YORK PLAN SHEETS. ALL NOTES MAY NOT BE USED.

1. ALIGN FACE OF NEW AND EXISTING WALL.
2. (NOT USED)
3. STUD WALL INFILL OF EXISTING DOOR OPENING.
4. (NOT USED)
5. DIGITAL DISPLAY.
6. INFILL CONCRETE FLOOR SLAB. SEE STRUCT DYN6.
7. (NOT USED)
8. (NOT USED)
9. REFINISH ALL WOOD TRIM.
10. INFILL EXISTING DOOR OPENING WITH FACE BRICK, 1/2" GMB SHEATHING, 6" METAL STUDS @ 16" O.C., 4 5/8" GMB TO MATCH EXISTING. PROVIDE FULL THICK BATT INSULATION.
11. TEMPORARY CONSTRUCTION BARRIERS.
12. RFID SCANNER TO REMAIN.
13. NEW GMB ON EXISTING COLUMN WRAP.
14. EXTEND EXISTING WALLS TO DECK. REMOVE DRYWALL ON ONE SIDE TO PLACE IN FULL BATT INSULATION. MATCH CONSTRUCTION WITH EXISTING WALLS ON BOTH SIDES.

GENERAL NOTES:

- A. SEE PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ALL ASSOCIATED ITEMS.
- B. SEE FINISH PLANS FOR NEW FLOOR AND WALL FINISHES.
- C. ALL DIMENSIONS ARE TO FACE OF FRAMING, UNLESS NOTED OTHERWISE.
- D. ALL INTERIOR WALLS SHALL RECEIVE FULL-THICK BATT SOUND INSULATION, UNLESS NOTED OTHERWISE.
- E. ALL INTERIOR WALLS SHALL EXTEND TO STRUCTURE ABOVE AND SEAL THERE TO, UNLESS NOTED OTHERWISE.
- F. ALL WALLS ARE TYPE "B" UNLESS NOTED OTHERWISE.
- G. ALL ITEMS PASSING THROUGH RATED WALLS MUST BE SEALED (WITH MATERIALS APPROVED BY ARCHITECT/ENGINEER) BY THE CONTRACTOR INSTALLING THE ITEMS.
- H. POCHÉ "GRAY" AREAS INDICATE AREAS OF NO WORK. THERE MAY BE SOME OVERLAP OF NEW WORK WITH EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO COORDINATE AREAS WHERE OVERLAP OCCUR.

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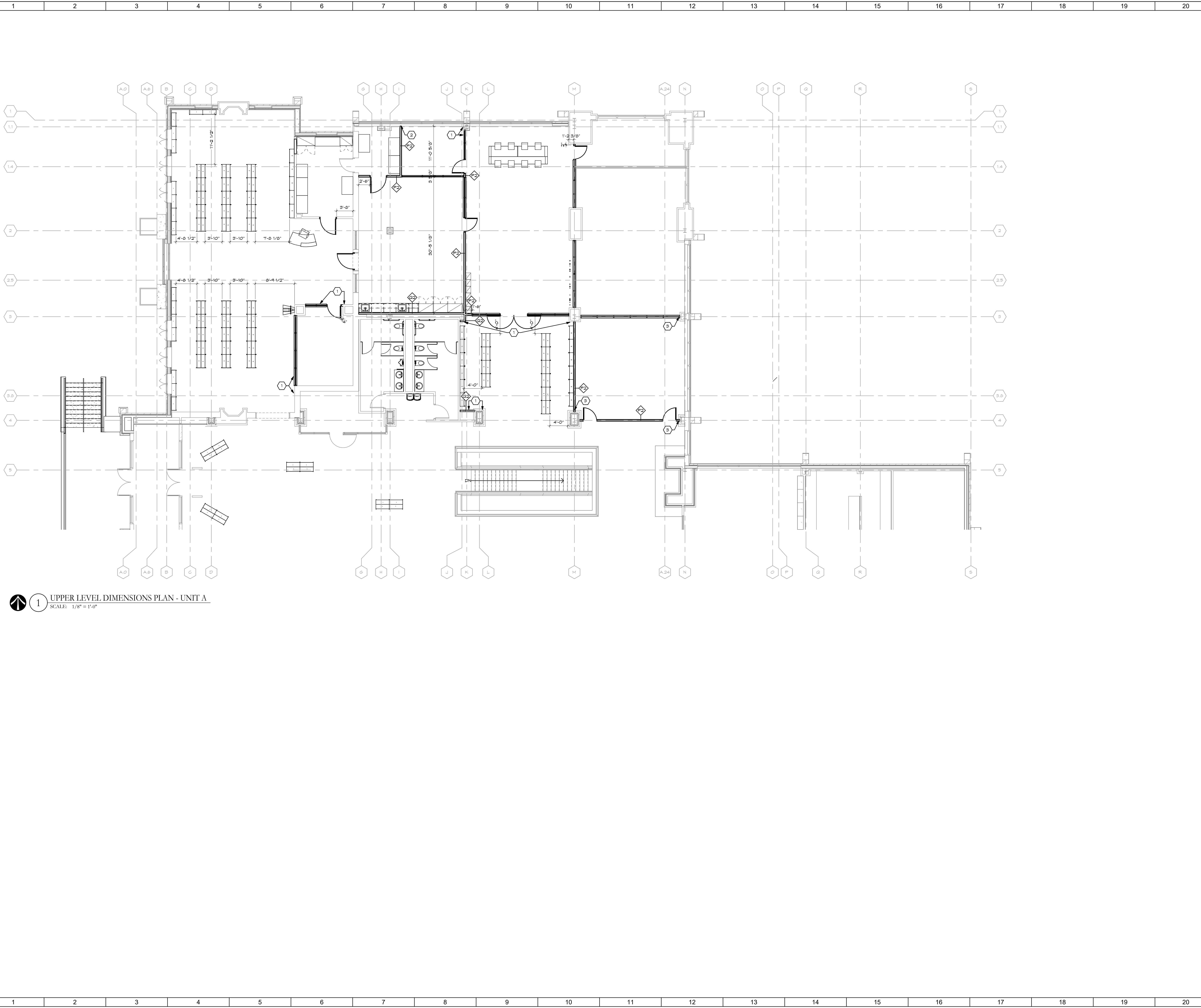
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UPPER LEVEL PLAN

	Comm. No.	Date
	22105.00	08.08.2023
Drawn	M.K.S.	Drawing No.
Checked	G.A.D.	A102
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1 UPPER LEVEL DIMENSIONS PLAN - UNIT A
 SCALE: 1/8" = 1'-0"

SHEET NOTES:

1. ALIGN FACE OF NEW AND EXISTING WALL.
2. CENTER NEW WALL WITH EXISTING MULLION.
3. CENTER NEW WALL WITH EXISTING COLUMN.
4. (NOT USED)
5. ALIGN FACE OF NEW WALL WITH EDGE OF EXISTING GMB CEILING.

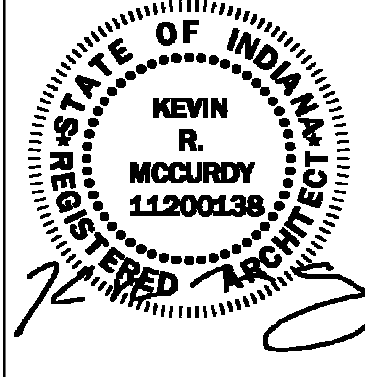
RE-BID DOCUMENTS		08.08.2023
No.	Revisions / Submissions	Date

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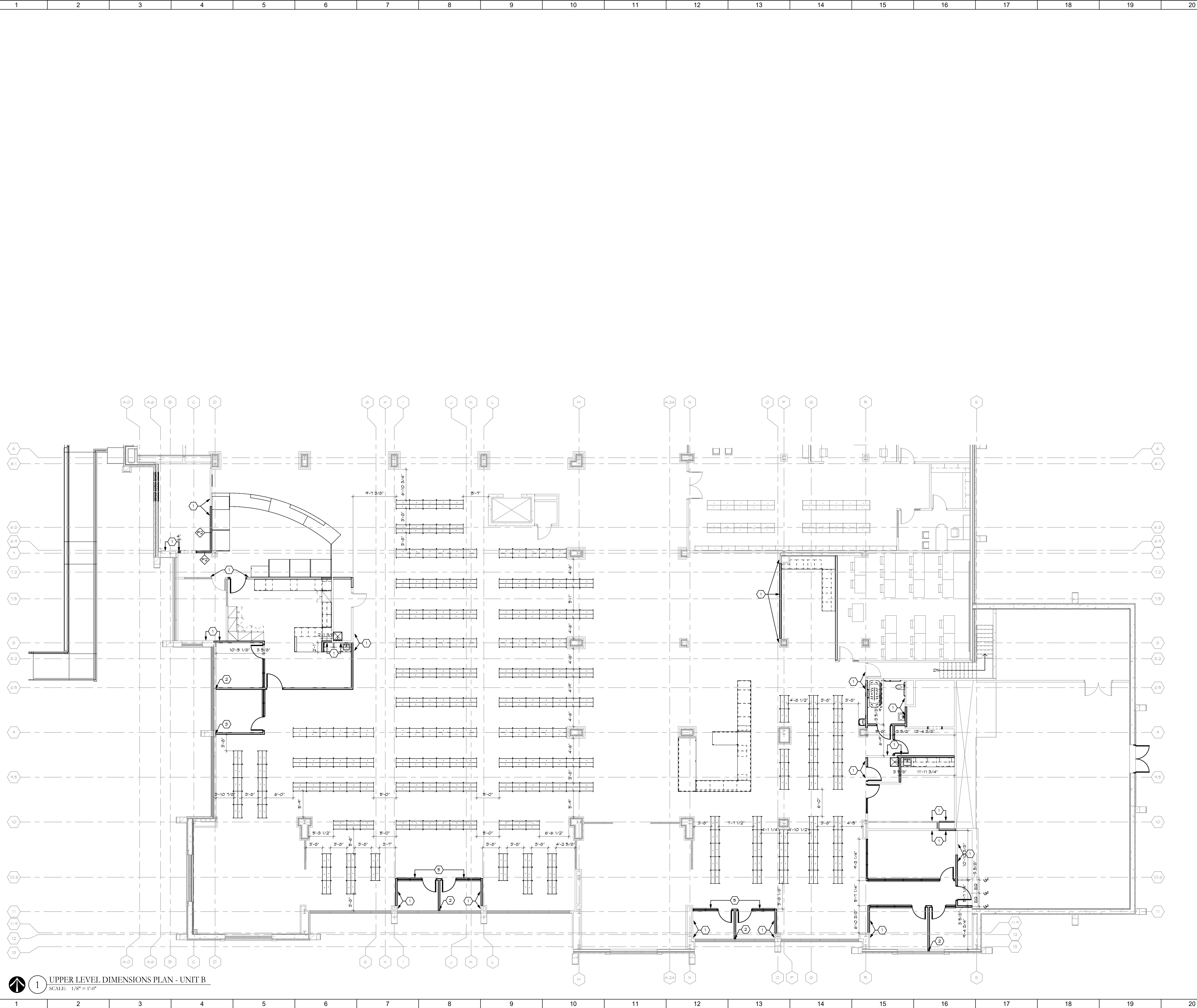
UPPER LEVEL DIMENSIONS PLAN

Comm. No.	Date
22105.00	08.08.2023
Drawn	Drawing No.
M.K.S.	A102.1D
Checked	G.A.D.



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1 UPPER LEVEL DIMENSIONS PLAN - UNIT B
 SCALE: 1/8" = 1'-0"

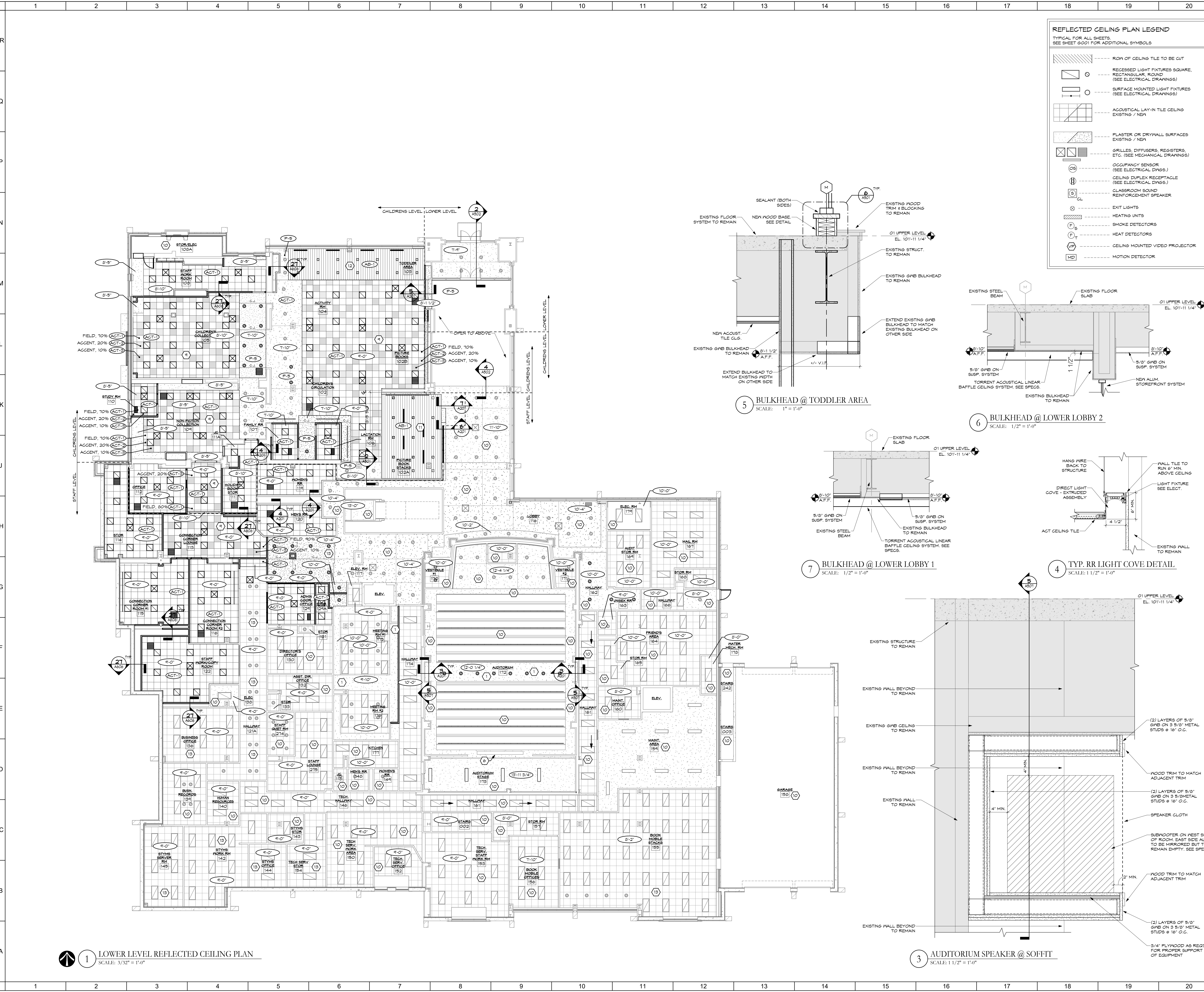
SHEET NOTES:

1. ALIGN FACE OF NEW AND EXISTING WALL.
2. CENTER NEW WALL WITH EXISTING MULLION.
3. CENTER NEW WALL WITH EXISTING COLUMN.
4. (NOT USED)
5. ALIGN FACE OF NEW WALL WITH EDGE OF EXISTING GYM CEILING.

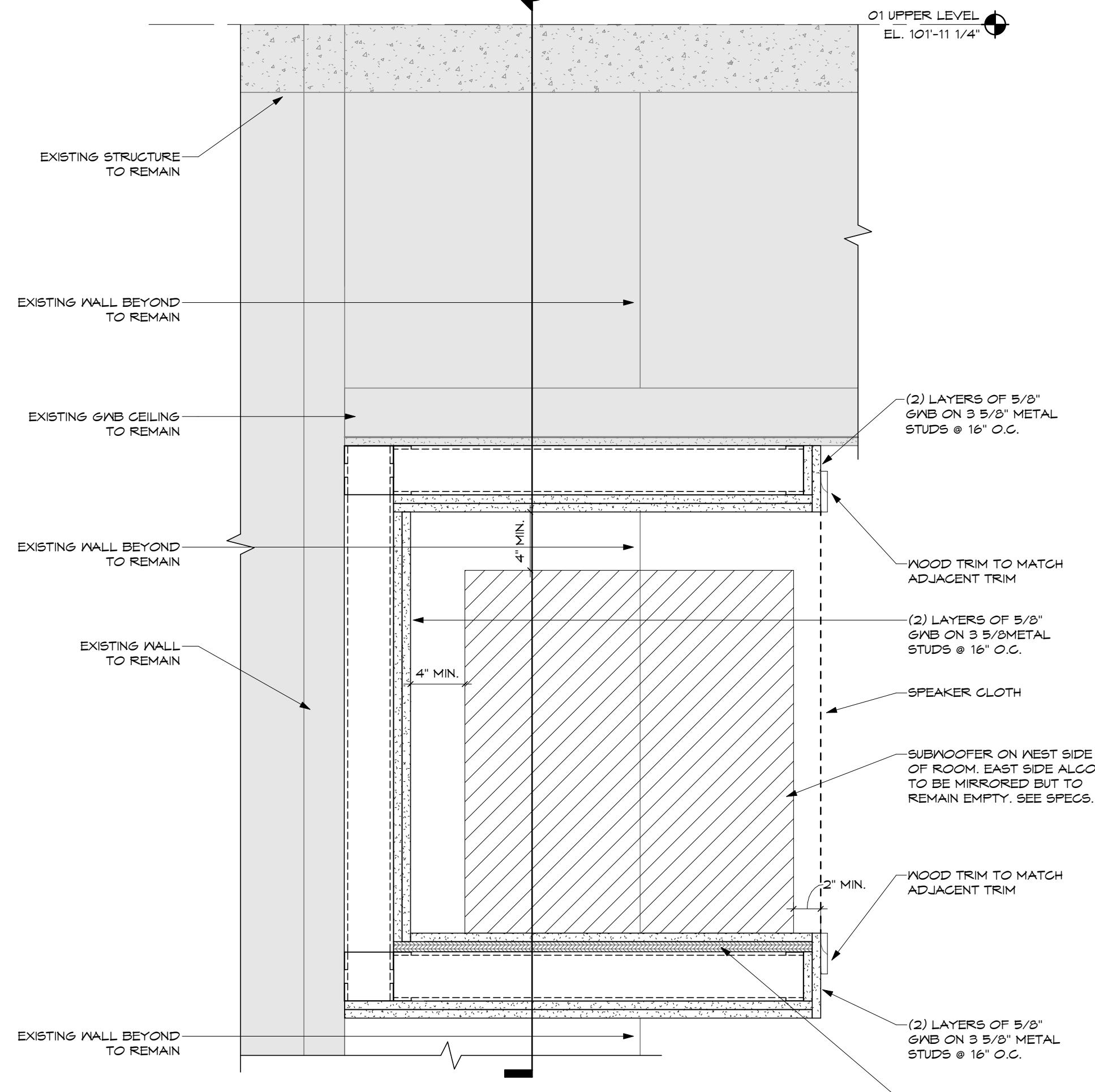
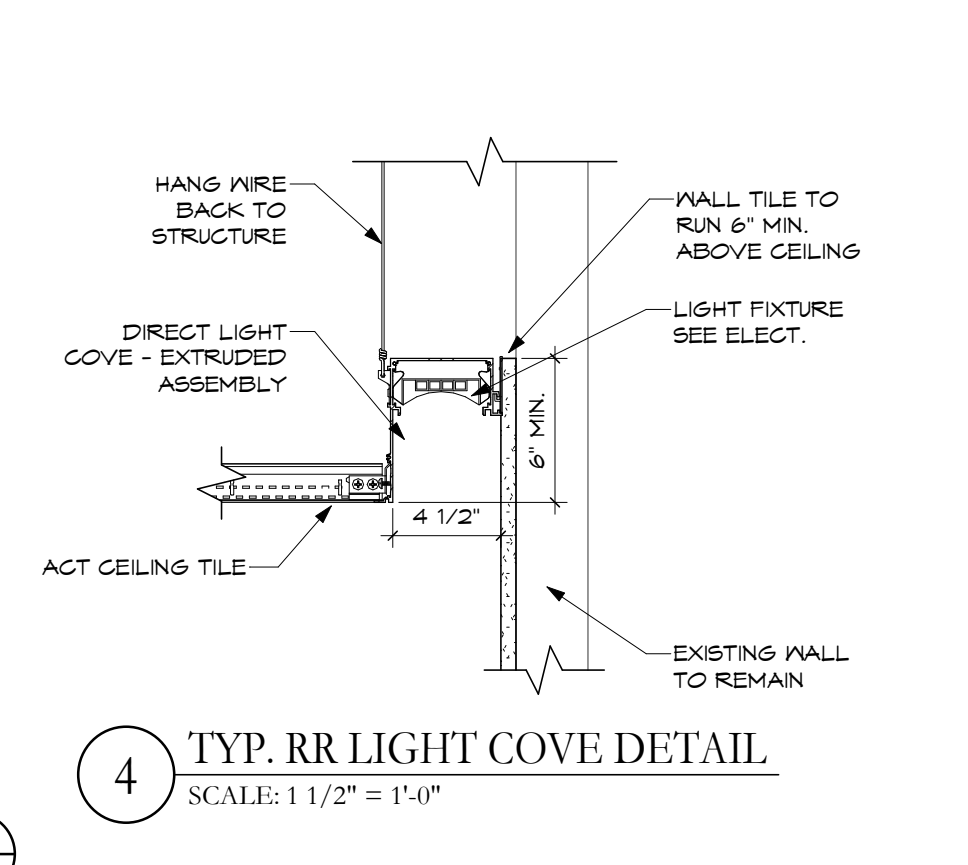
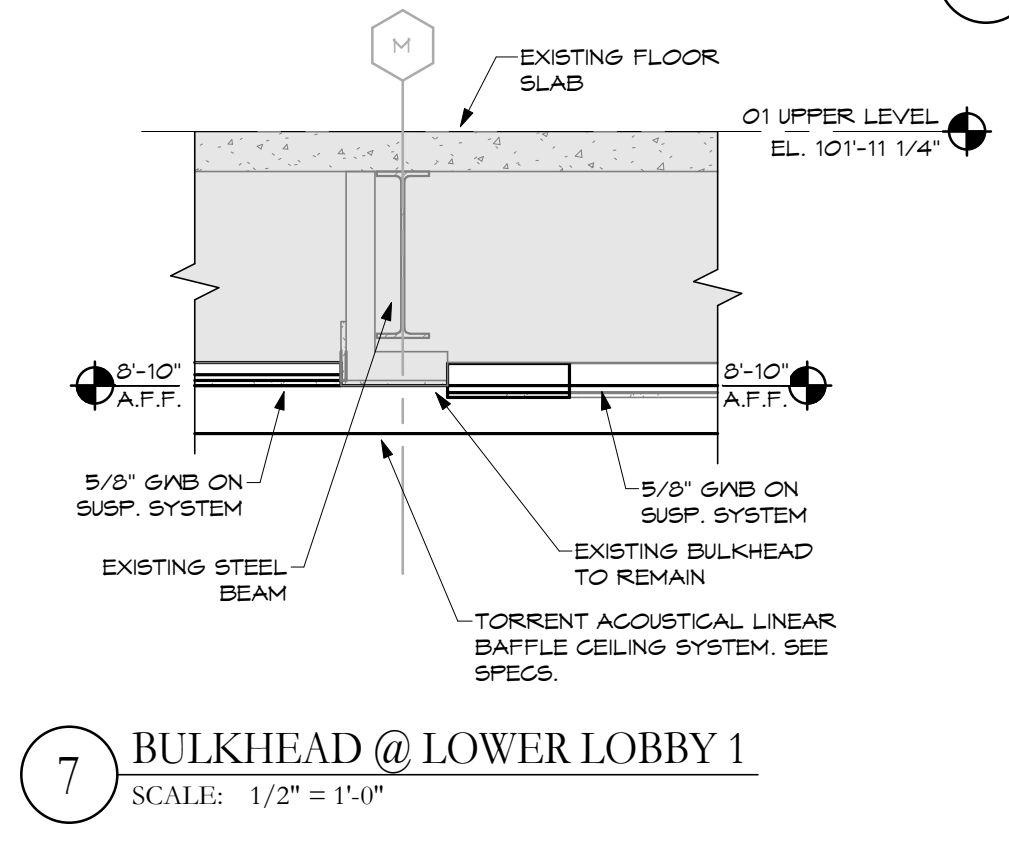
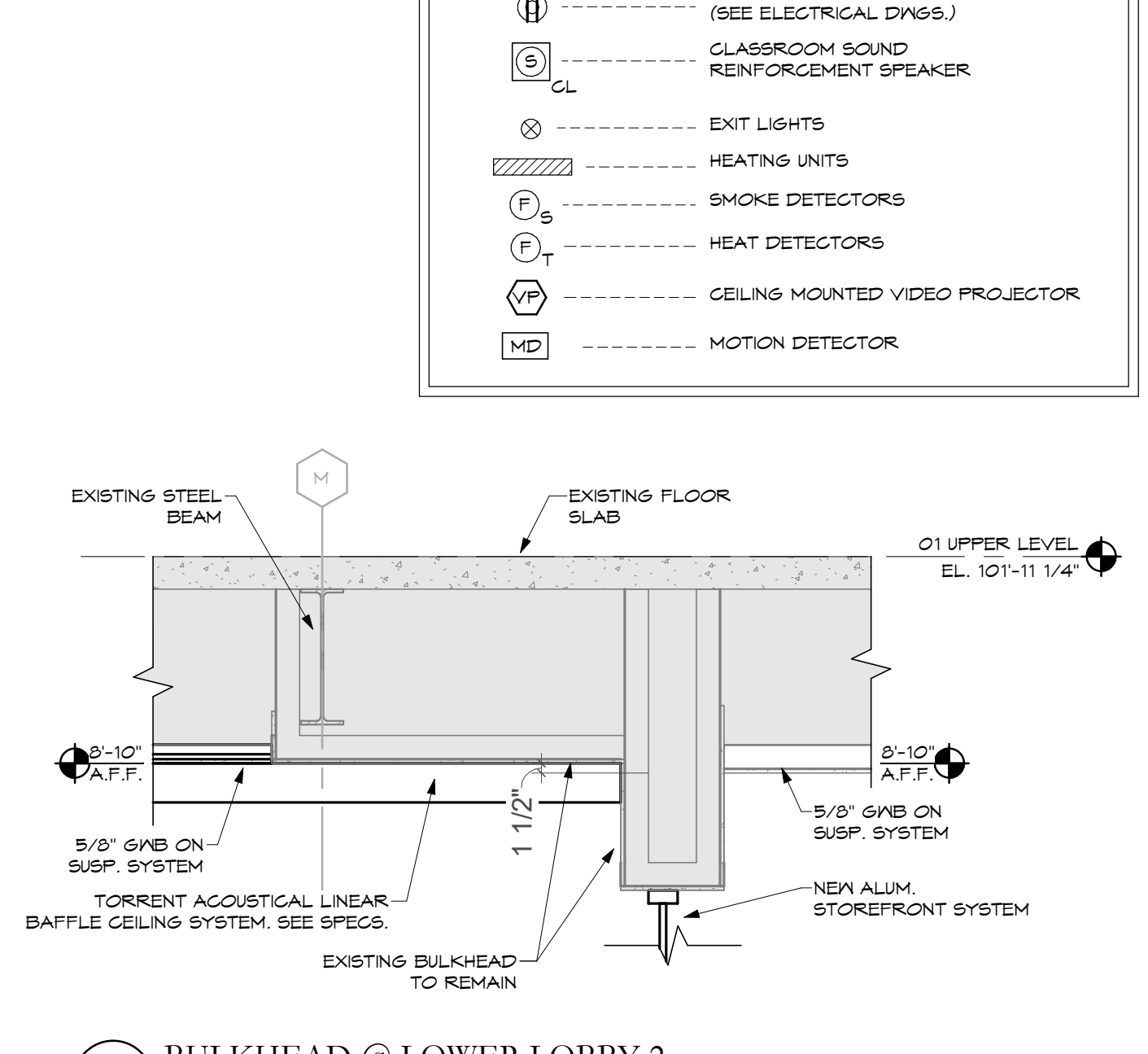
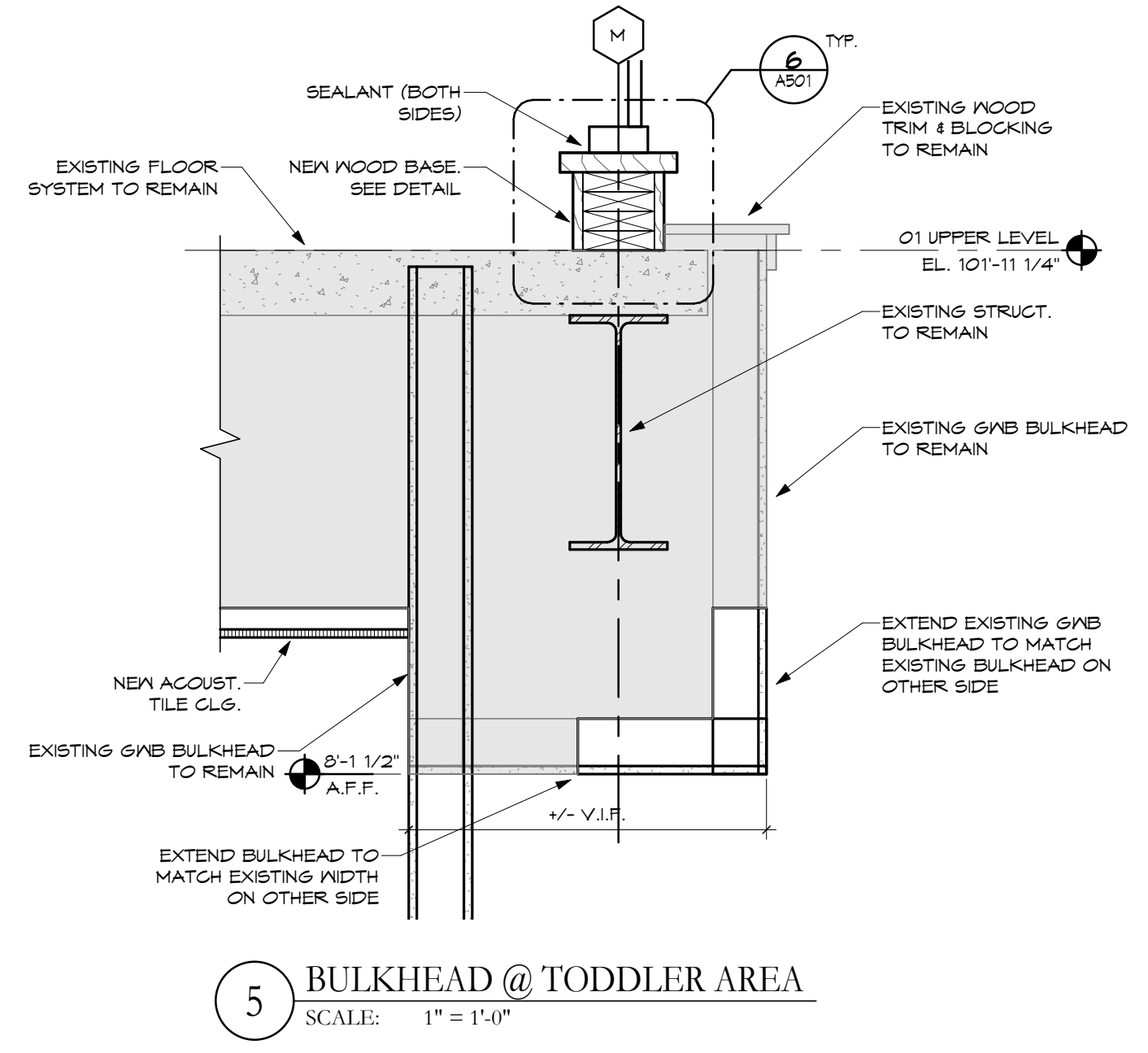
RE-BID DOCUMENTS		08.08.2023
No.	Revisions / Submissions	Date
 LWC INCORPORATED 434 East First Street Dayton, OH 45402 937.223.6500 712 East Main Street Richmond, IN 47374 765.966.3546		
New Castle - Henry County Public Library 376 S 15TH ST NEW CASTLE, IN 47362 INTERIOR & EXTERIOR RENOVATIONS 376 S 15TH ST NEW CASTLE, IN 47362		
UPPER LEVEL DIMENSIONS PLAN		
Comm. No.	22105.00	Date 08.08.2023
Drawn	M.K.S.	Drawing No. A102.2D
Checked	G.A.D.	
		
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1 LOWER LEVEL REFLECTED CEILING PLAN
SCALE: 3/32" = 1'-0"



REFLECTED CEILING PLAN LEGEND
TYPICAL FOR ALL SHEETS. SEE SHEET 0001 FOR ADDITIONAL SYMBOLS.

[Symbol]	ROW OF CELING TILE TO BE CUT
[Symbol]	RECESSED LIGHT FIXTURES SQUARE, RECTANGULAR, ROUND (SEE ELECTRICAL DRAWINGS)
[Symbol]	SURFACE MOUNTED LIGHT FIXTURES (SEE ELECTRICAL DRAWINGS)
[Symbol]	ACOUSTICAL LAY-IN TILE CEILING EXISTING / NEW
[Symbol]	PLASTER OR DRYWALL SURFACES EXISTING / NEW
[Symbol]	GRILLES, DIFFUSERS, REGISTERS, ETC. (SEE MECHANICAL DRAWINGS)
[Symbol]	OCCUPANCY SENSOR (SEE ELECTRICAL DWGS.)
[Symbol]	CEILING DUPLEX RECEPTACLE (SEE ELECTRICAL DWGS.)
[Symbol]	CLASSROOM SOUND REINFORCEMENT SPEAKER
[Symbol]	EXIT LIGHTS
[Symbol]	HEATINGS UNITS
[Symbol]	SMOKE DETECTORS
[Symbol]	HEAT DETECTORS
[Symbol]	CEILING MOUNTED VIDEO PROJECTOR
[Symbol]	MOTION DETECTOR

SHEET NOTES: TYPICAL FOR ALL NEW YORK RCP SHEETS. ALL NOTES MAY NOT BE USED.

- PATCH GYP BOARD SOFFIT AS NEEDED.
- (NOT USED)
- REFINISH EXISTING PLASTER AND EIFS SOFFIT SYSTEMS WITH NEW EIFS COATING SYSTEM.
- (NOT USED)
- (NOT USED)
- NEW RECESSED PROJECTION SCREEN. SEE SPECS.
- ALTERNATE: APPLY ACOUSTICAL TREATMENT TO GNB CEILING. SEE ALTERNATE. SEE SPECS.
- NEW RECESSED ROLLER SHADE. SEE SPECS.
- ACCENT ACTS AND FIELD ACT TO BE RANDOMLY PLACED WITH THE RATIO INDICATED ON LOWER LEVEL REFLECTED CEILING PLAN.
- EXISTING GNBs TO REMAIN.
- NEW GNBs TO BE INSTALLED FOR BAFFLE CEILING ANCHORS. PAINT P-5. SEE RELATED SECTIONS FOR CEILING HEIGHT.
- EXISTING GNBs TO REMAIN FOR BAFFLE CEILING ANCHORS. PAINT P-5.
- REMOVE AND REPLACE PORTION OF SUSPENDED CEILING SYSTEM AS REQUIRED FOR NEW YORK RCP. SEE PVE DWGS.

GENERAL NOTES:

- SEE PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ALL ASSOCIATED ITEMS.
- SEE FINISH PLANS FOR NEW FLOOR AND WALL FINISHES.
- ALL DIMENSIONS ARE TO FACE OF FRAMING, UNLESS NOTED OTHERWISE.
- ALL INTERIOR WALLS SHALL RECEIVE FULL-THICK BATT SOUND INSULATION, UNLESS NOTED OTHERWISE.
- ALL INTERIOR WALLS SHALL EXTEND TO STRUCTURE ABOVE AND SEAL THERE TO, UNLESS NOTED OTHERWISE.
- ALL WALLS ARE TYPE "B" UNLESS NOTED OTHERWISE.
- ALL ITEMS PASSING THROUGH RATED WALLS MUST BE SEALED (WITH MATERIALS APPROVED BY ARCHITECT/ENGINEER) BY THE CONTRACTOR INSTALLING THE ITEMS.
- ROCKE "GRAY" AREAS INDICATE AREAS OF NO WORK. THERE MAY BE SOME OVERLAP OF NEW WORK WITH EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO COORDINATE AREAS WHERE OVERLAP OCCUR.

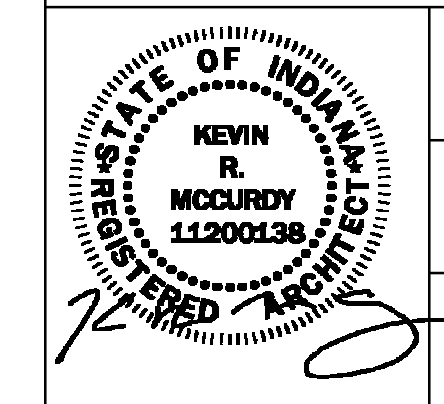
No.	RE-BID DOCUMENTS	Revisions / Submissions	Date
			08.08.2023

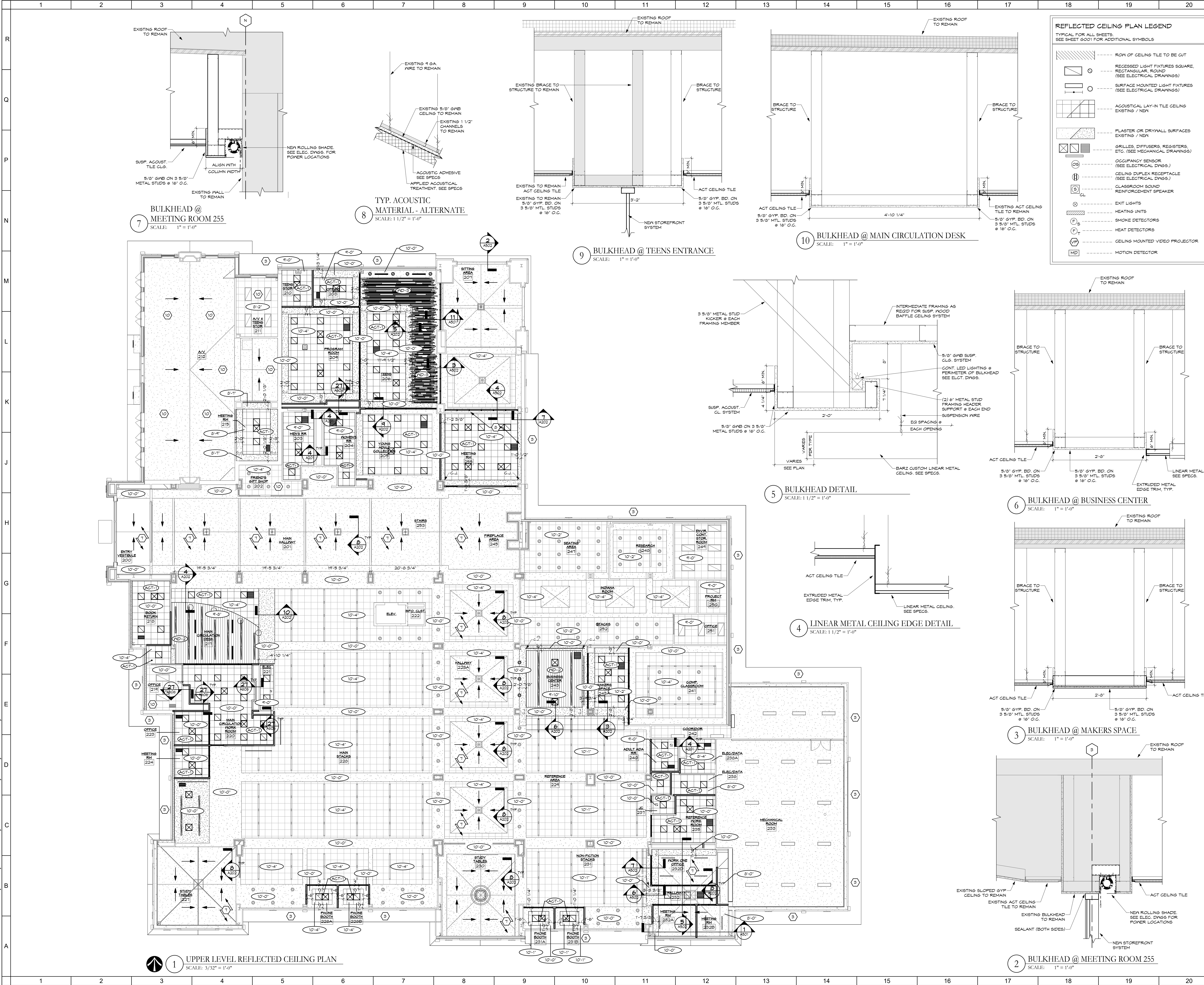
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LOWER LEVEL REFLECTED CEILING PLAN	
Comm. No.	Date
22105.00	08.08.2023
Drawn	Drawing No.
M.K.S.	A201
Checked	
G.A.D.	





REFLECTED CEILING PLAN LEGEND
TYPICAL FOR ALL SHEETS. SEE SHEET 6001 FOR ADDITIONAL SYMBOLS

[Symbol]	ROW OF CEILING TILE TO BE CUT
[Symbol]	RECESSED LIGHT FIXTURES SQUARE, RECTANGULAR, ROUND (SEE ELECTRICAL DRAWINGS)
[Symbol]	SURFACE MOUNTED LIGHT FIXTURES (SEE ELECTRICAL DRAWINGS)
[Symbol]	ACOUSTICAL LAY-IN TILE CEILING EXISTING / NEW
[Symbol]	PLASTER OR DRYWALL SURFACES EXISTING / NEW
[Symbol]	GRILLES, DIFFUSERS, REGISTERS, ETC. (SEE MECHANICAL DRAWINGS)
[Symbol]	OCCUPANCY SENSOR (SEE ELECTRICAL DWGS.)
[Symbol]	CEILING DUPLEX RECEPTACLE (SEE ELECTRICAL DWGS.)
[Symbol]	CLASSROOM SOUND REINFORCEMENT SPEAKER
[Symbol]	EXIT LIGHTS
[Symbol]	HEATING UNITS
[Symbol]	SMOKE DETECTORS
[Symbol]	HEAT DETECTORS
[Symbol]	CEILING MOUNTED VIDEO PROJECTOR
[Symbol]	MOTION DETECTOR

- SHEET NOTES:** TYPICAL FOR ALL NEW YORK RCP SHEETS. ALL NOTES MAY NOT BE USED.
- PATCH GYP BOARD SOFFIT AS NEEDED.
 - (NOT USED)
 - REFINISH EXISTING PLASTER AND EIFS SOFFIT SYSTEMS WITH NEW EIFS COATING SYSTEM.
 - (NOT USED)
 - (NOT USED)
 - NEW RECESSED PROJECTION SCREEN. SEE SPECS.
 - ALTERNATE: APPLY ACOUSTICAL TREATMENT TO GNB CEILING. SEE ALTERNATE. SEE SPECS.
 - NEW RECESSED ROLLER SHADE. SEE SPECS.
 - AGENT ACTS AND FIELD ACT TO BE RANDOMLY PLACED WITH THE RATIO INDICATED ON LOWER LEVEL REFLECTED CEILING PLAN.
 - EXISTING GNB CEILING TO REMAIN.
 - NEW GNB CEILING TO BE INSTALLED FOR BAFFLE CEILING ANCHORS. PAINT P-5. SEE RELATED SECTIONS FOR CEILING HEIGHT.
 - EXISTING GNB CEILING TO REMAIN FOR BAFFLE CEILING ANCHORS. PAINT P-5.
 - REMOVE AND REPLACE PORTION OF SUSPENDED CEILING SYSTEM AS REQUIRED FOR NEW YORK RCP. SEE PNE DWGS.

- GENERAL NOTES:**
- SEE PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ALL ASSOCIATED ITEMS.
 - SEE FINISH PLANS FOR NEW FLOOR AND WALL FINISHES.
 - ALL DIMENSIONS ARE TO FACE OF FRAMING, UNLESS NOTED OTHERWISE.
 - ALL INTERIOR WALLS SHALL RECEIVE FULL-THICK BATT SOUND INSULATION, UNLESS NOTED OTHERWISE.
 - ALL INTERIOR WALLS SHALL EXTEND TO STRUCTURE ABOVE AND SEAL THERE TO, UNLESS NOTED OTHERWISE.
 - ALL WALLS ARE TYPE "B" UNLESS NOTED OTHERWISE.
 - ALL ITEMS PASSING THROUGH RATED WALLS MUST BE SEALED (WITH MATERIALS APPROVED BY ARCHITECT/ENGINEER) BY THE CONTRACTOR INSTALLING THE ITEMS.
 - ALL "GRAY" AREAS INDICATE AREAS OF NO WORK. THERE MAY BE SOME OVERLAP OF NEW WORK WITH EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO COORDINATE AREAS WHERE OVERLAP OCCUR.

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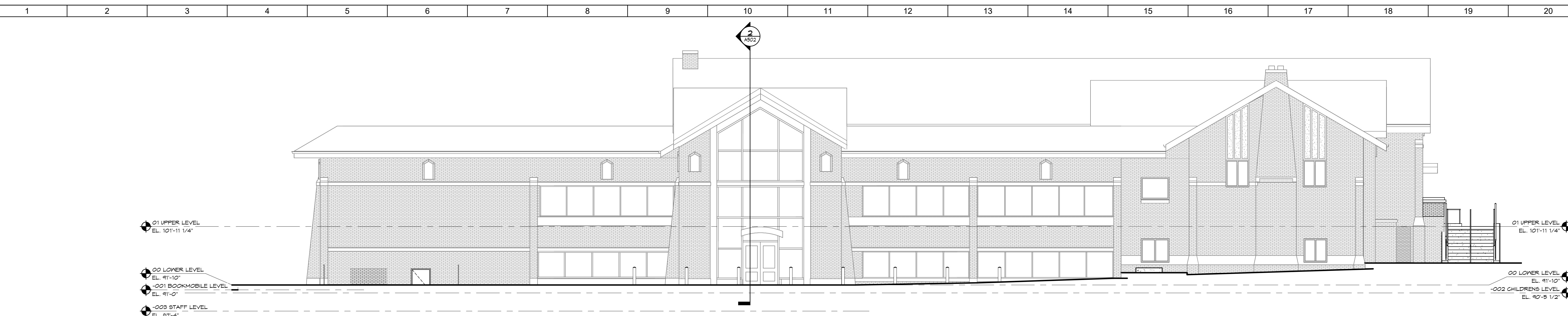
UPPER LEVEL REFLECTED CEILING PLAN

Comm. No.	22105.00	Date	08.08.2023
Drawn	M.K.S.	Drawing No.	A202
Checked	G.A.D.		

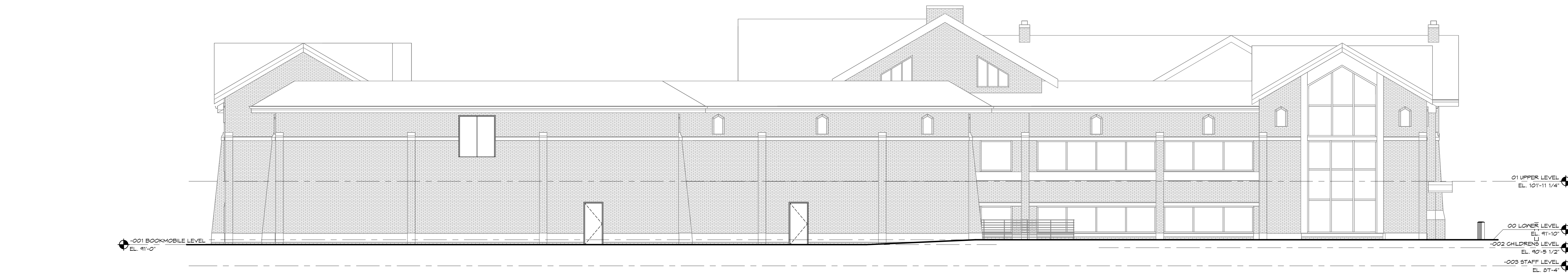
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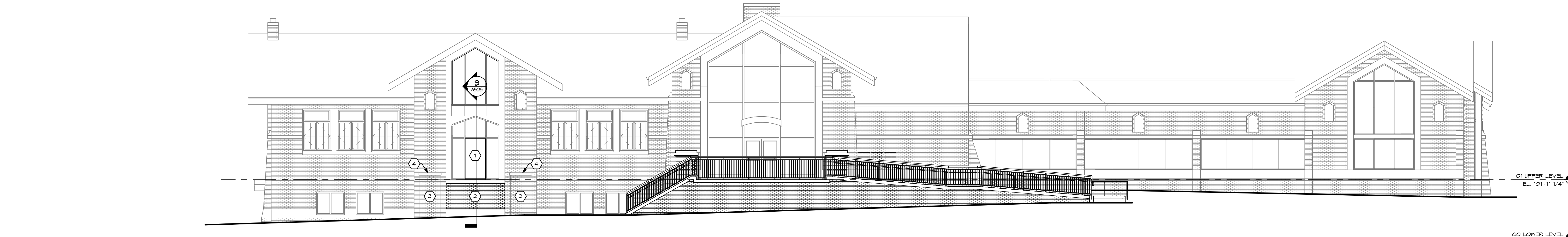
4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

- SHEET NOTES: TYPICAL FOR ELEVATION SHEETS. ALL NOTES MAY NOT BE USED.
1. REMOVE EXISTING DOOR AND INFILL OPENING WITH ALUMINUM STOREFRONT AND GLAZING TO MATCH EXISTING.
 2. NEW STONE BANDS AND FACE BRICK TO MATCH EXISTING. SEE DETAILS.
 3. REMOVE EXISTING FACE BRICK FROM MASONRY PIERS AND REPLACE WITH NEW TO MATCH EXISTING.
 4. REMOVE EXISTING STONE GAP AND REINSTALL AFTER REBUILDING MASONRY PIERS.

- GENERAL NOTES:
- A. ALL EXISTING PLASTER SOFFITS & EIFS SOFFITS SHALL BE CLEANED.
 - B. ALL EXISTING STONE VENEER, PLASTER, & CONCRETE WALL SURFACES & EXTERIOR SILLS SHALL BE CLEANED WITH BIOLOGICAL SOLUTION TO REMOVE BIOLOGICAL GROWTH & STAINING.
 - C. ALL PERIMETER SEALANT AT CURTAIN WALL, STOREFRONT WINDOW, DORMER WINDOWS & DOOR FRAMES TO BE REPLACED WITH NEW BACKER ROD & SEALANT.
 - D. ALL SEALANT IN EXPANSION & CONTROL JOINTS IN MASONRY, PLASTER & EIFS SURFACES SHALL BE REPLACED.
 - E. REMOVE EXISTING SEALANT IN JOINTS WHERE PLASTER OR EIFS SOFFITS ABUT WALL SURFACES, & REPLACE WITH NEW BACKER ROD & SEALANT.
 - F. COORDINATE ALL WORK WITH PLUMBING, MECHANICAL, ELECTRICAL, CIVIL, LANDSCAPE, & IRRIGATION REQUIREMENTS.
 - G. ALL METAL SURFACES TO REMAIN, INCLUDING BUT NOT LIMITED TO FASCIA, MISCELLANEOUS TRIMS & LOUVERS, SHALL BE CLEANED & PREPARED TO RECEIVE NEW TWO-COAT FINISH PAINT SYSTEM. SEE SPECIFICATIONS FOR FINISH PAINT SYSTEMS.

RE-BID DOCUMENTS		08.08.2023
No.	Revisions / Submissions	Date

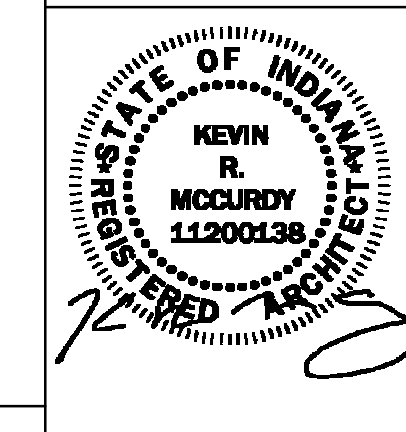
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EXTERIOR ELEVATIONS

Comm. No.	22105.00	Date	08.08.2023
Drawn	M.K.S.	Drawing No.	A301
Checked	G.A.D.		

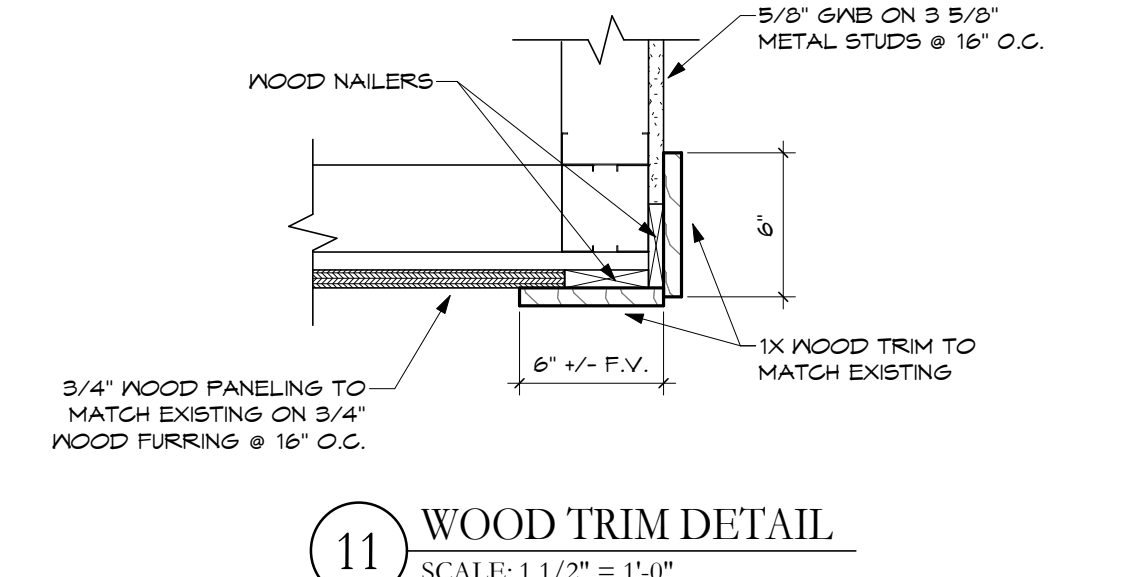
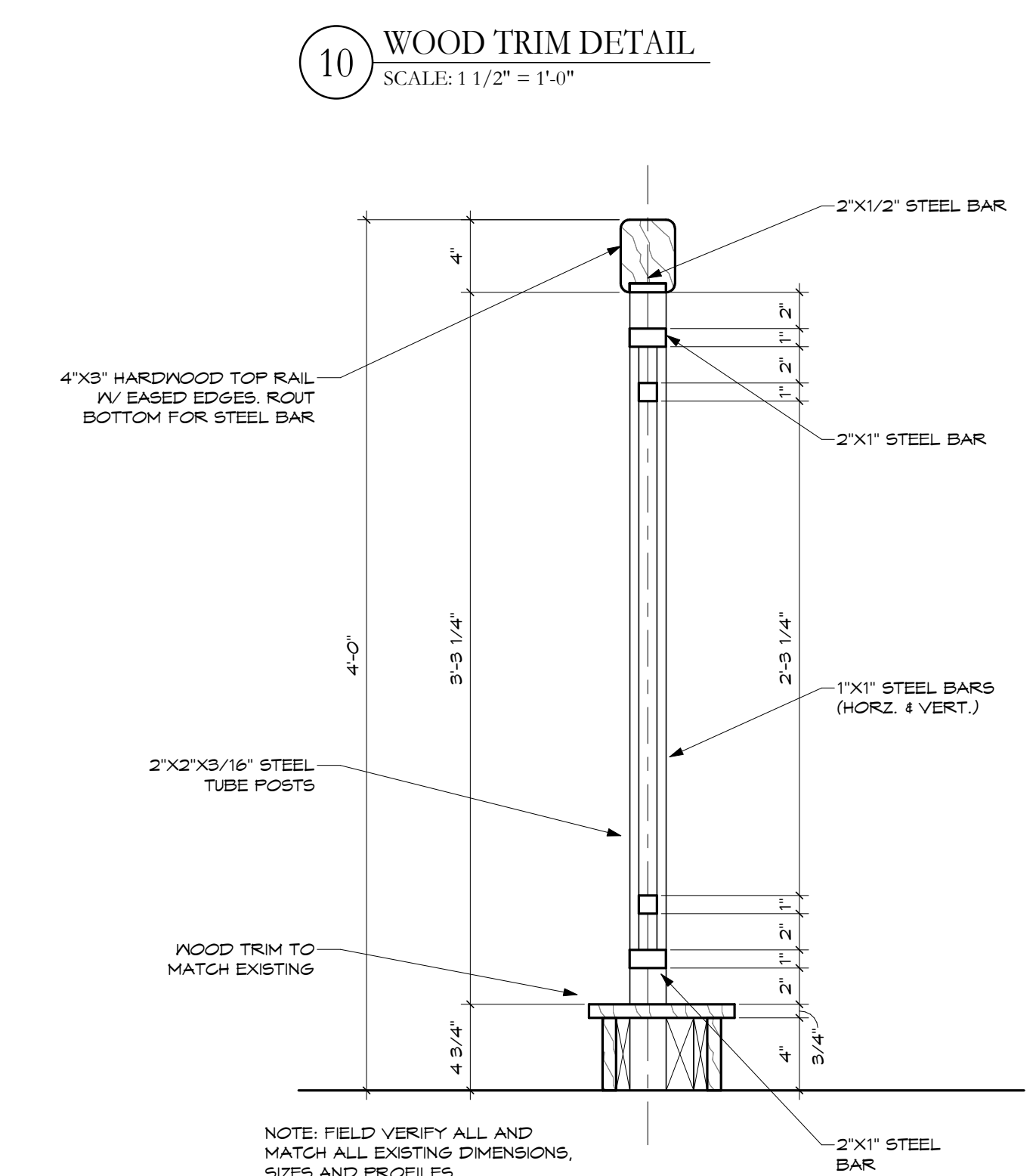
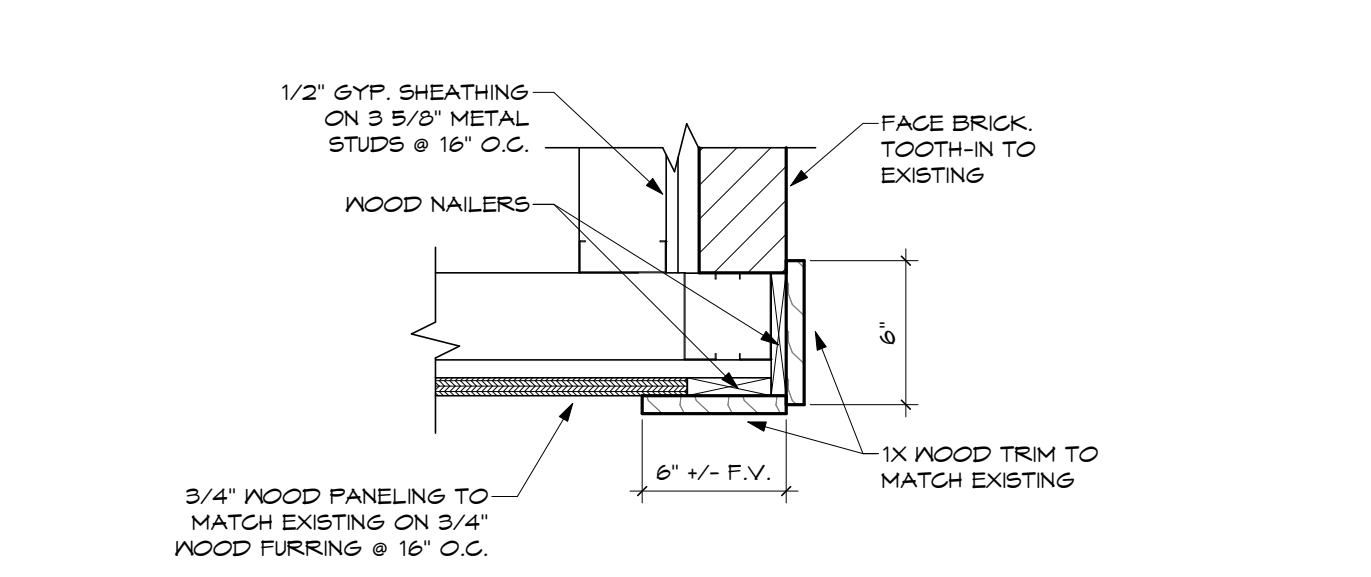
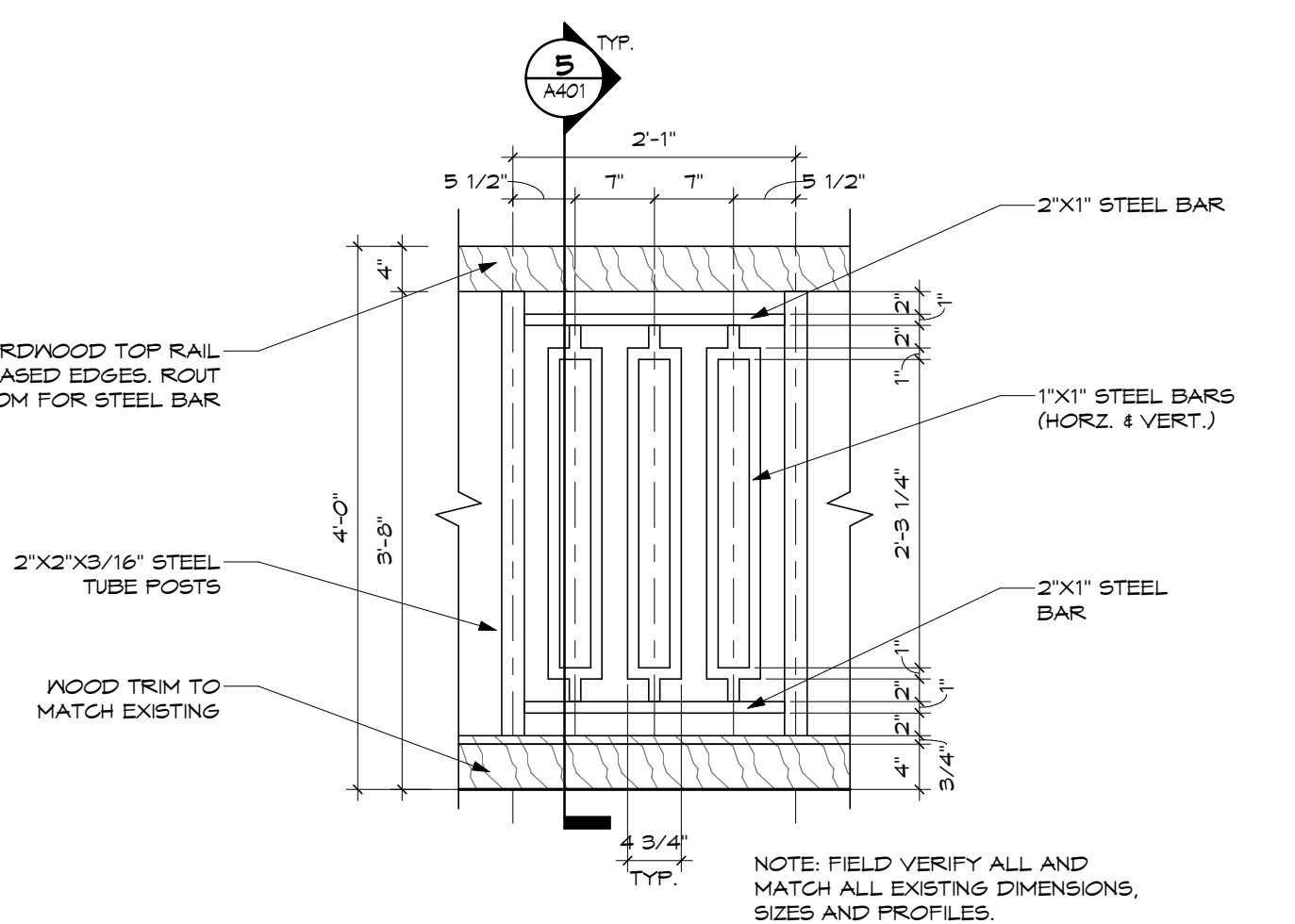
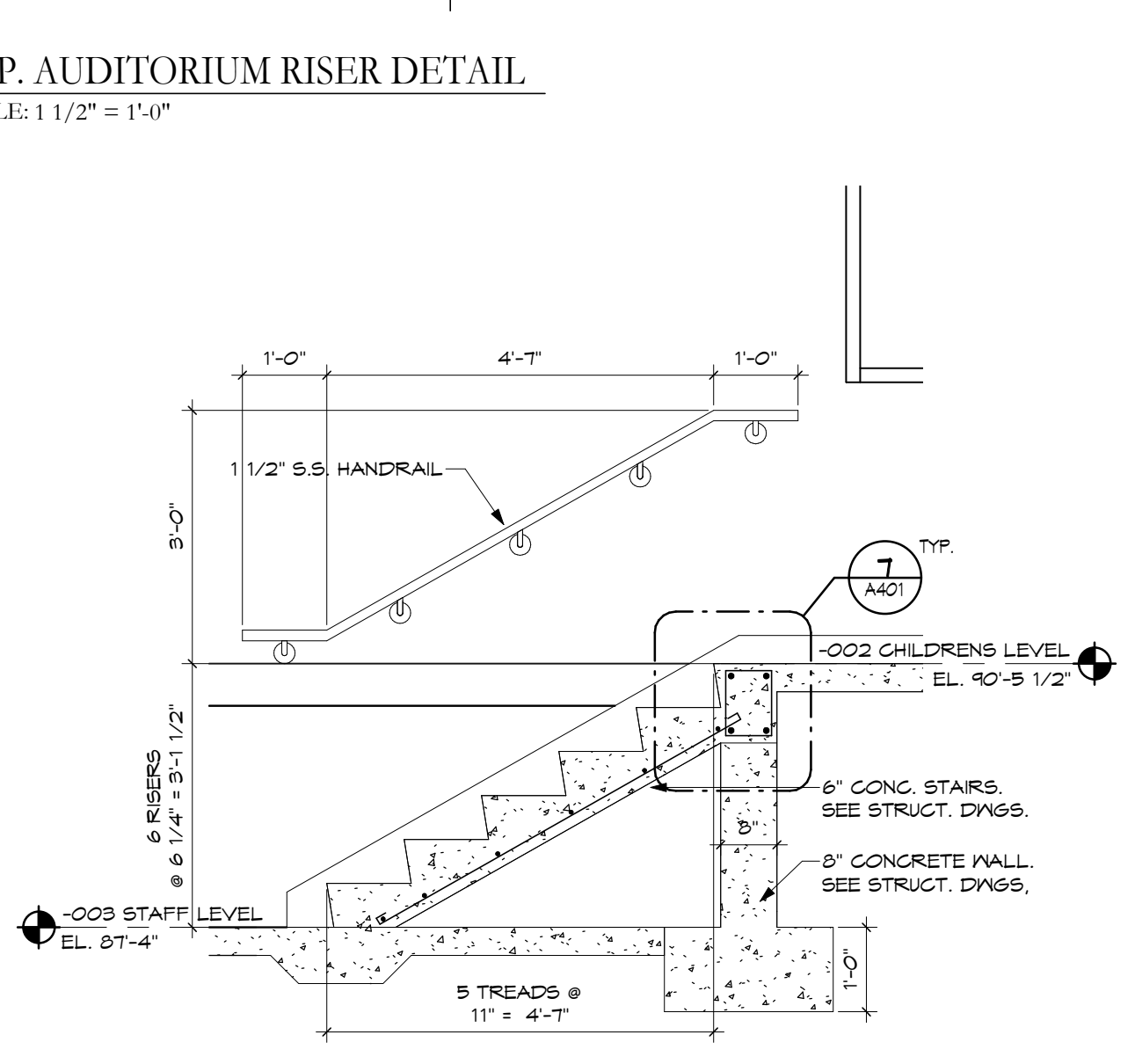
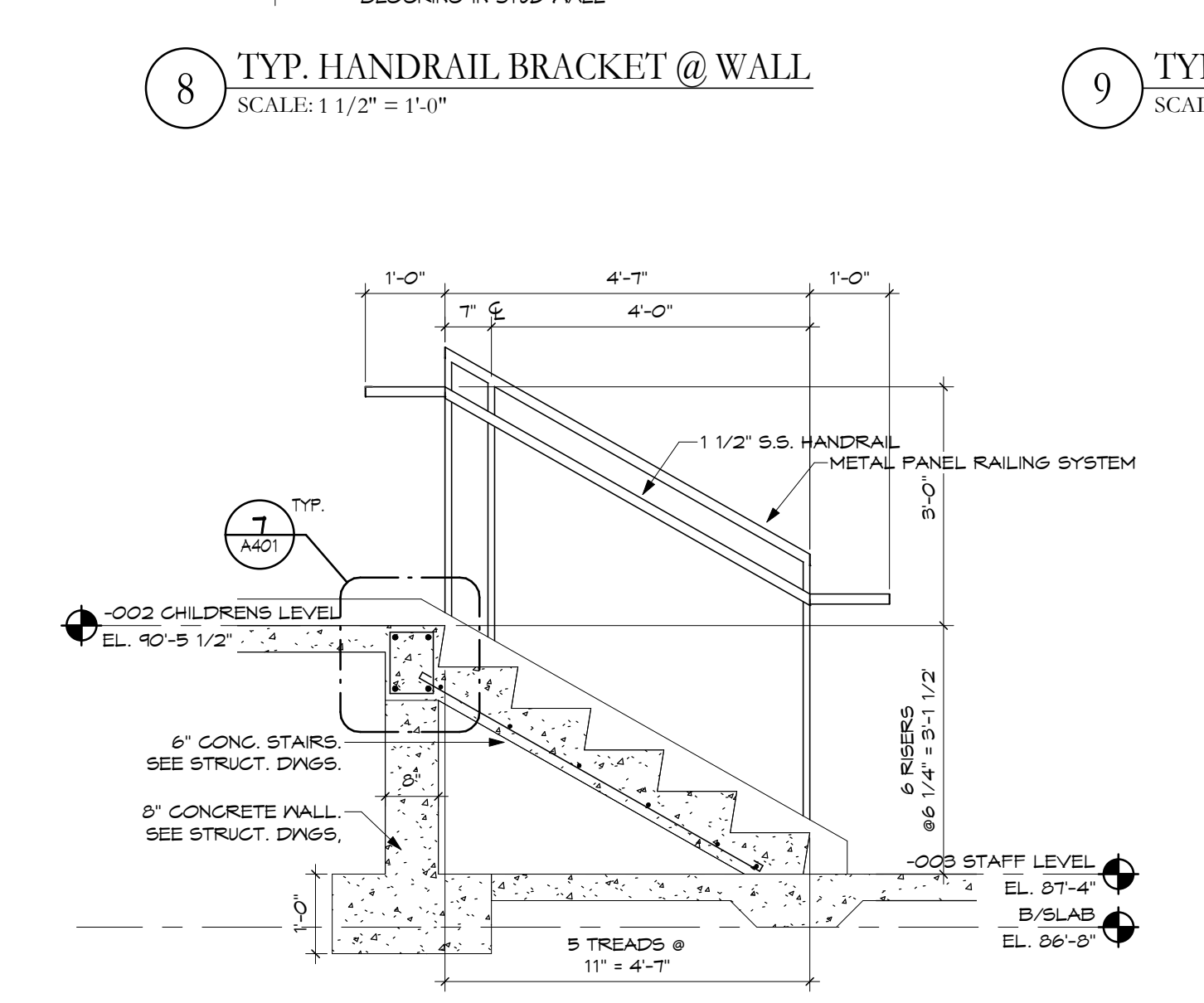
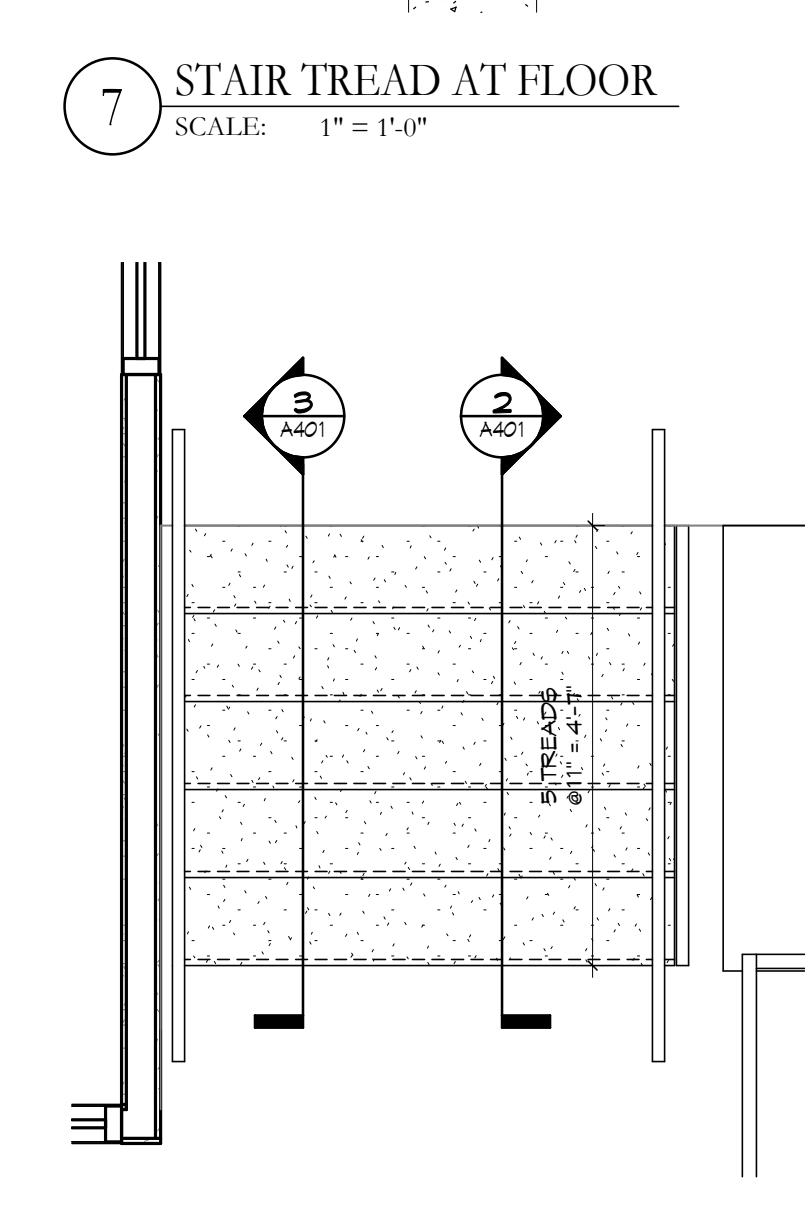
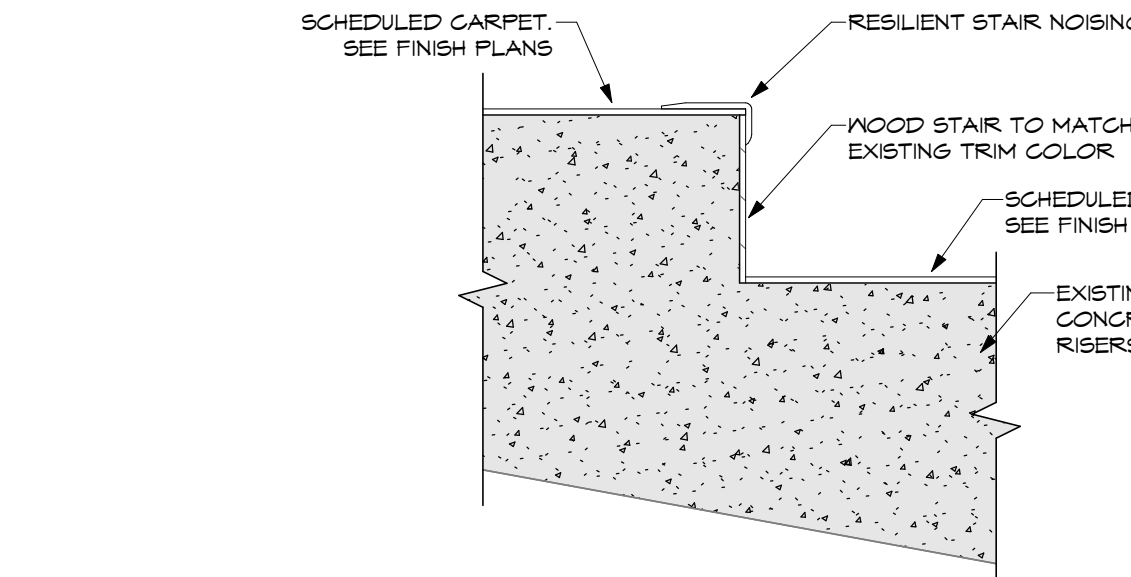
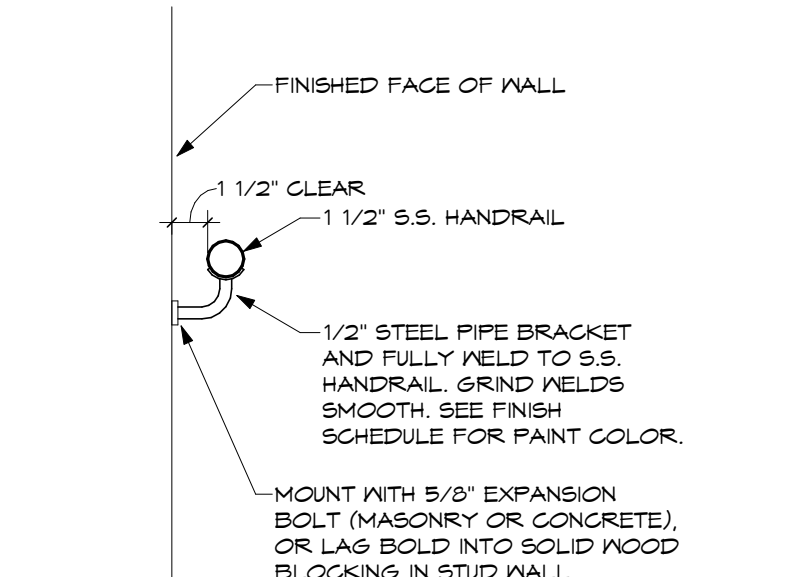
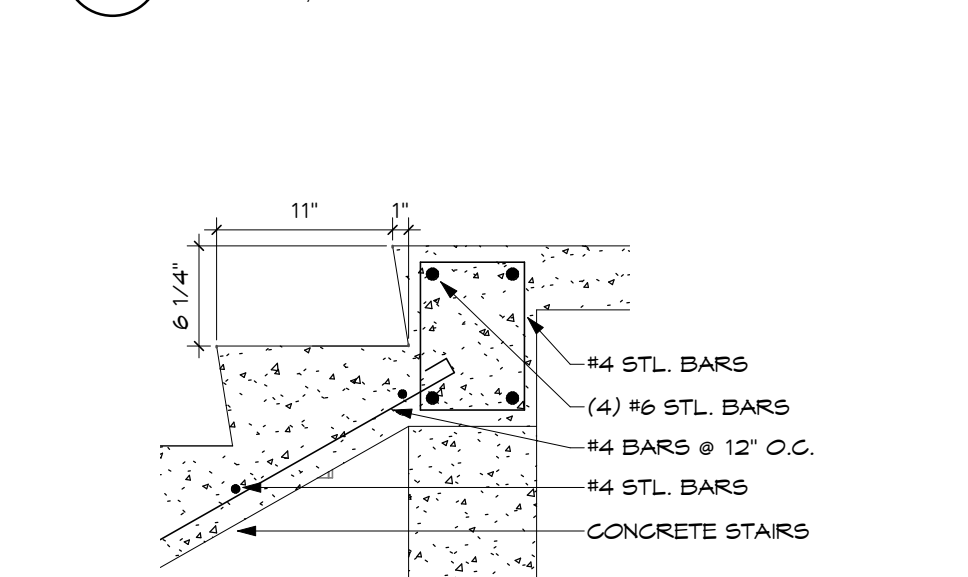
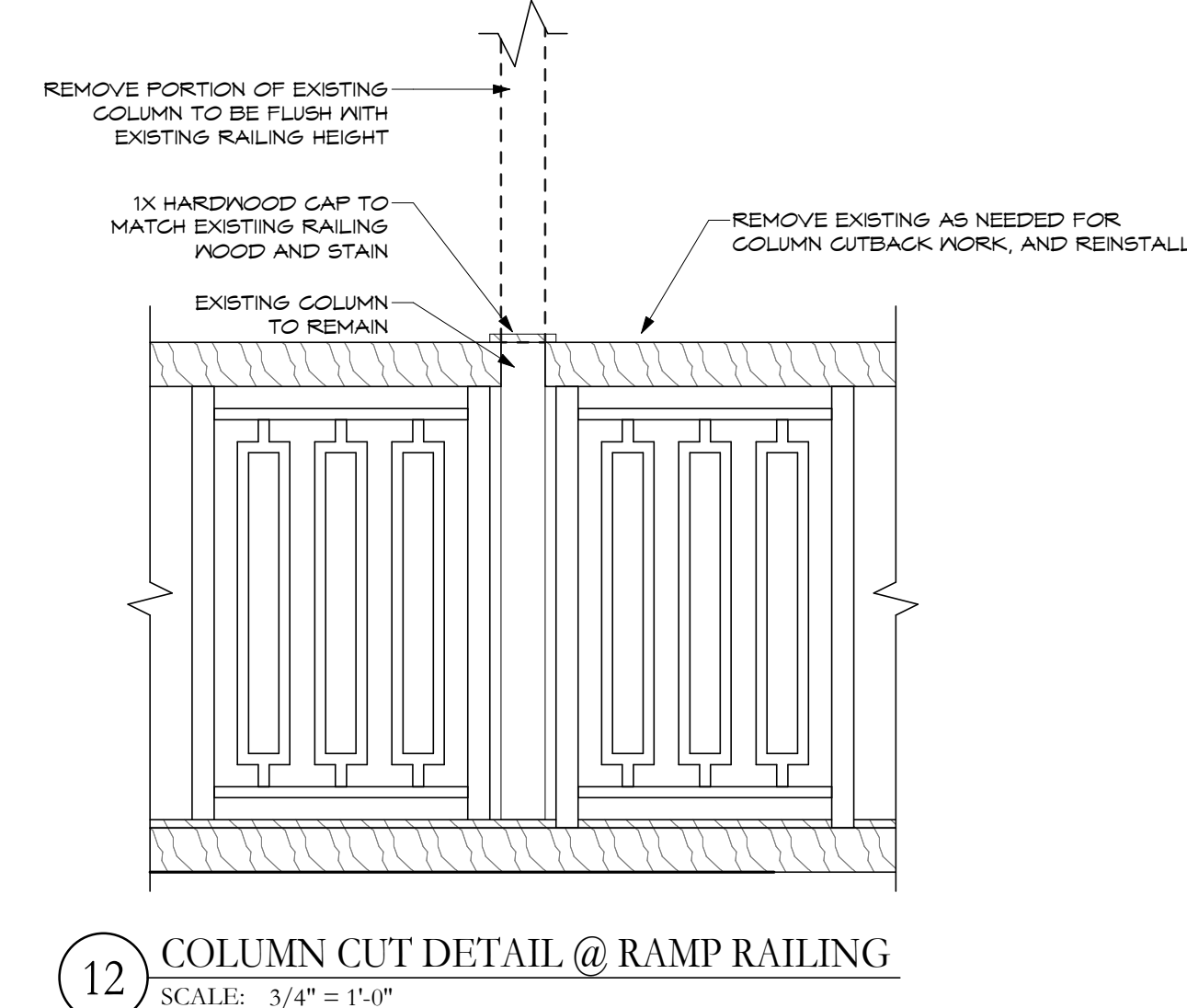
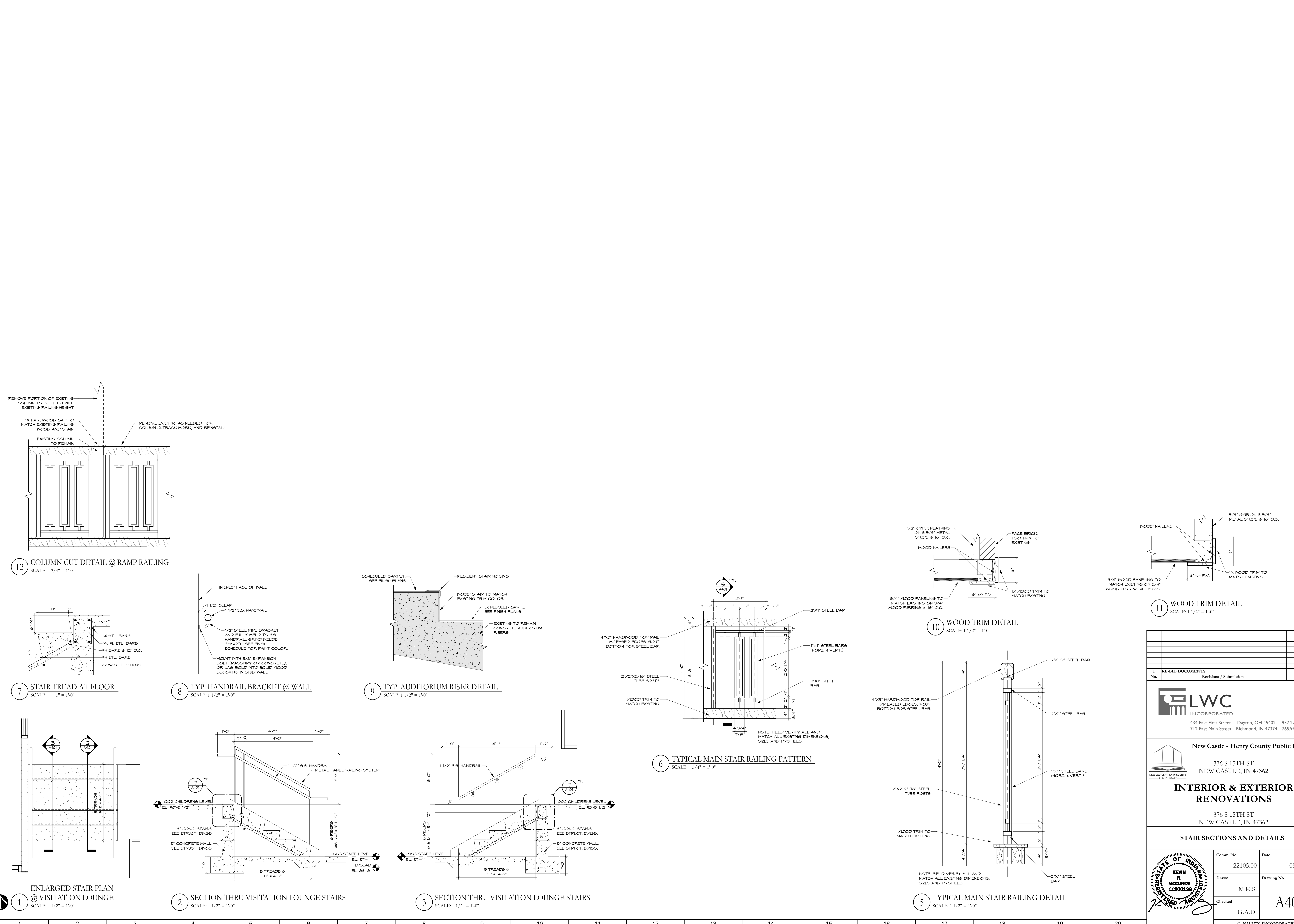
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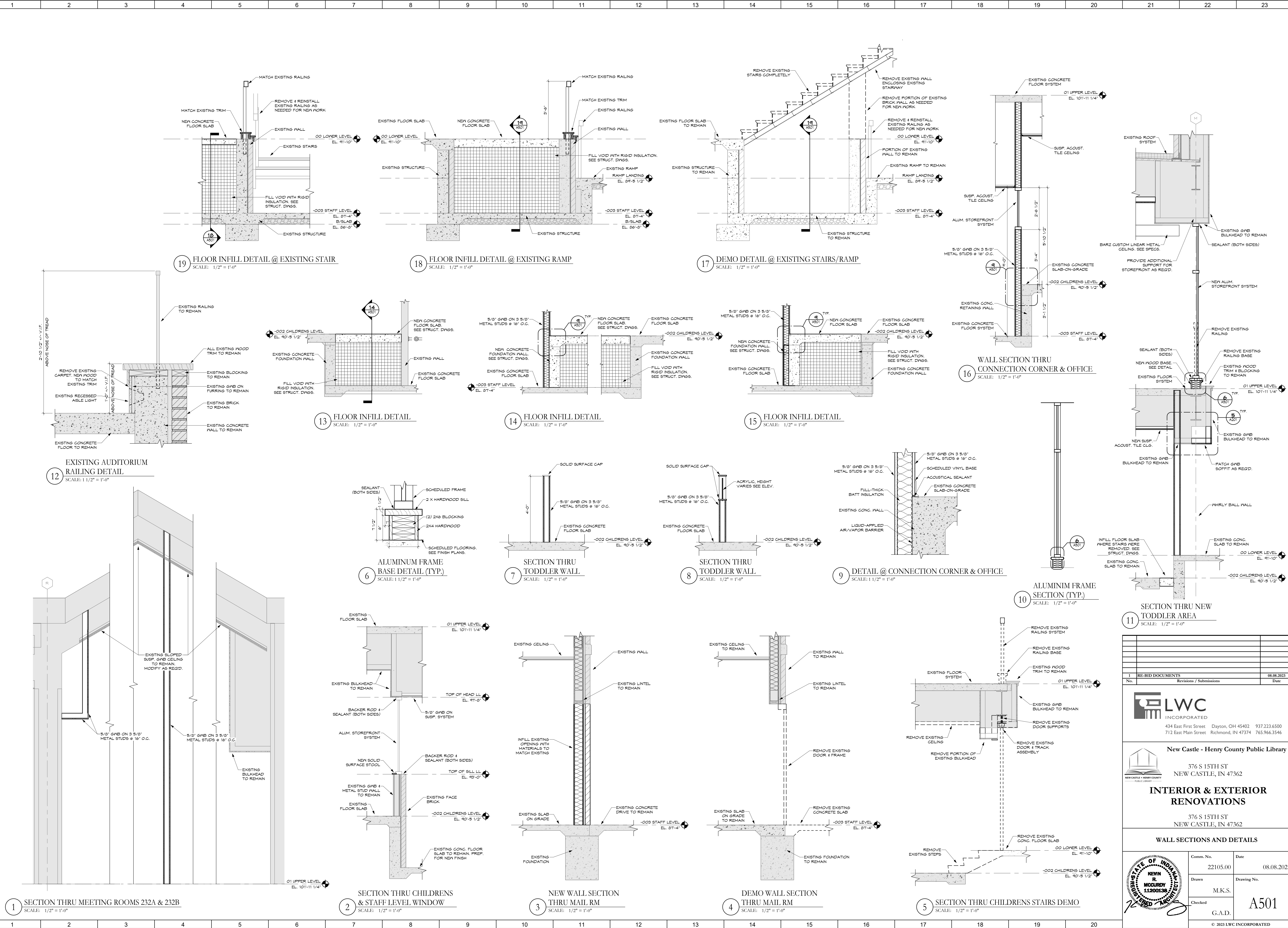
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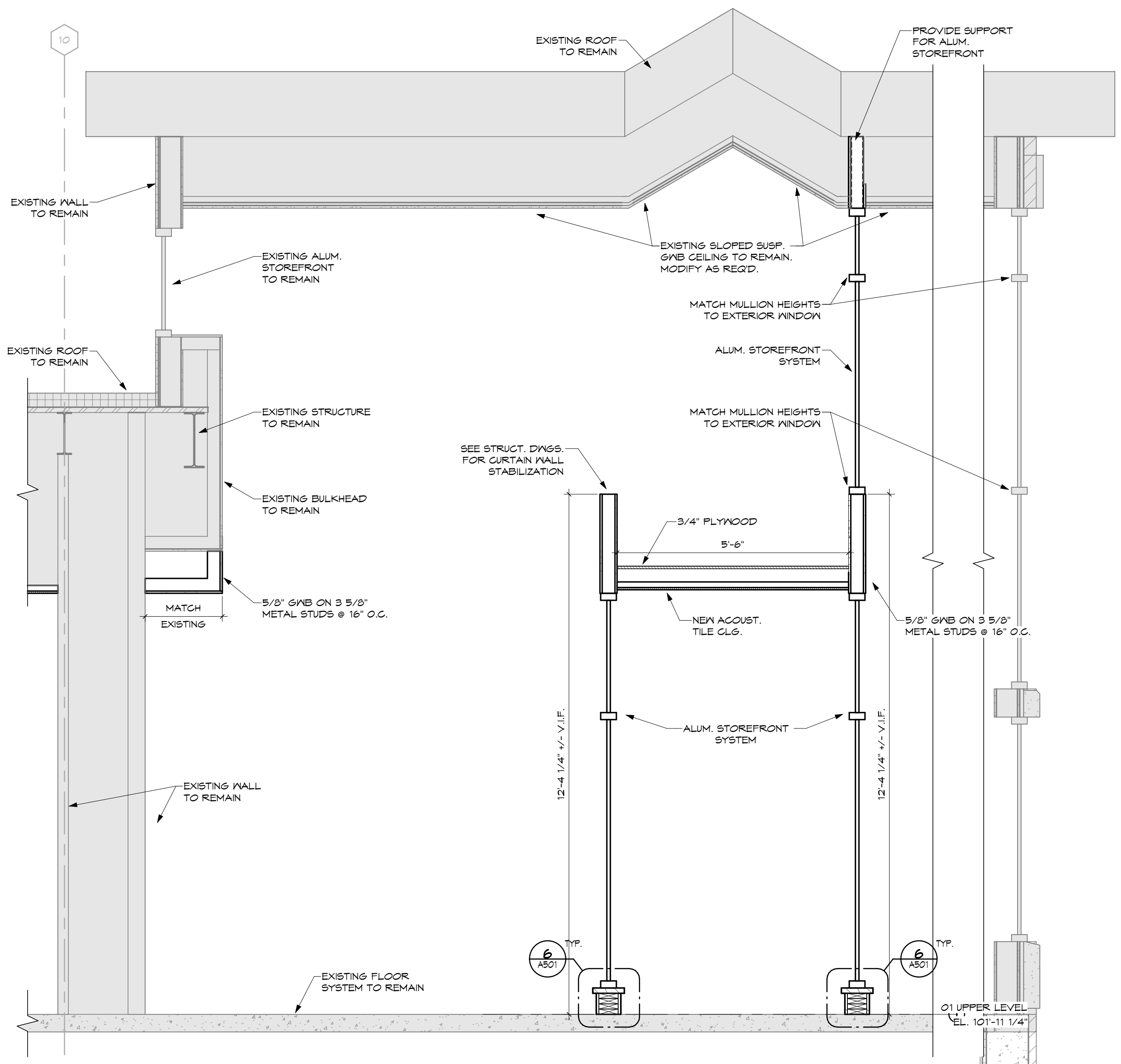


RE-BID DOCUMENTS		08.08.2023
No.	Revisions / Submissions	Date
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STAIR SECTIONS AND DETAILS		
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Drawn	M.K.S.	Drawing No.
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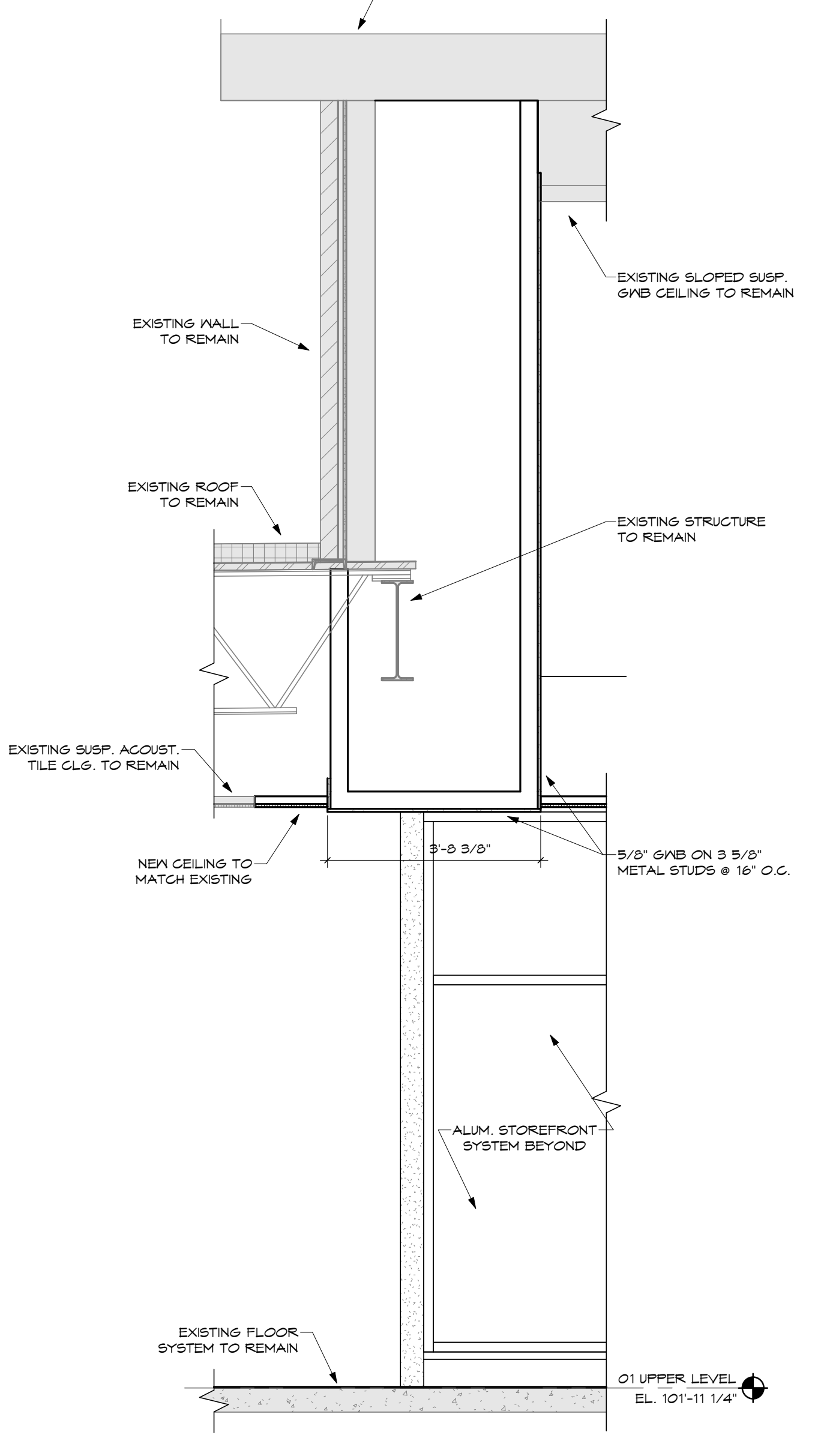


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No.	Revisions / Submissions	Date
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<p>New Castle - Henry County Public Library 376 S 15TH ST NEW CASTLE, IN 47362</p>		
<p>INTERIOR & EXTERIOR RENOVATIONS 376 S 15TH ST NEW CASTLE, IN 47362</p>		
<p>WALL SECTIONS AND DETAILS</p>		
Comm. No.	Date	08.08.2023
22105.00		
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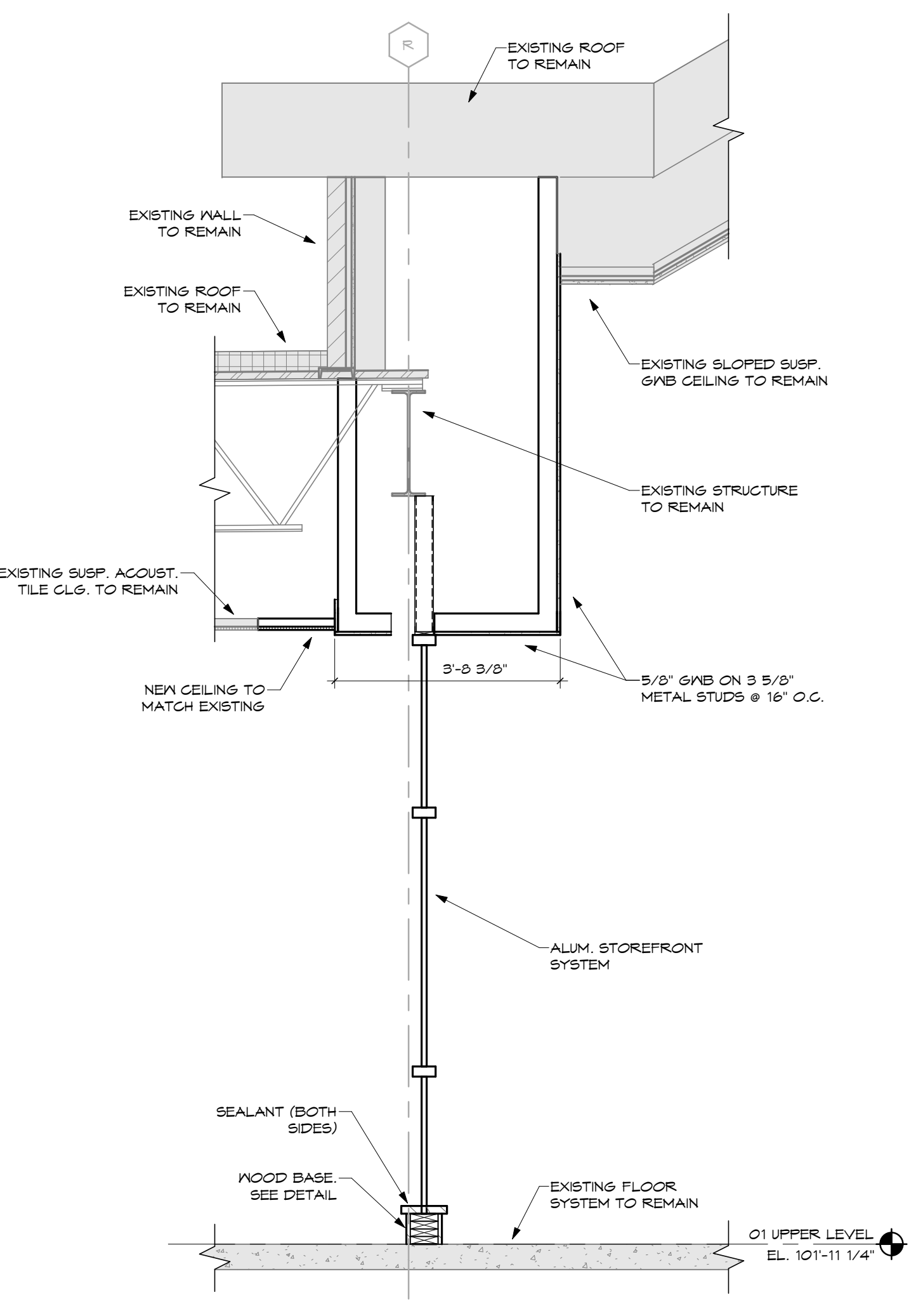
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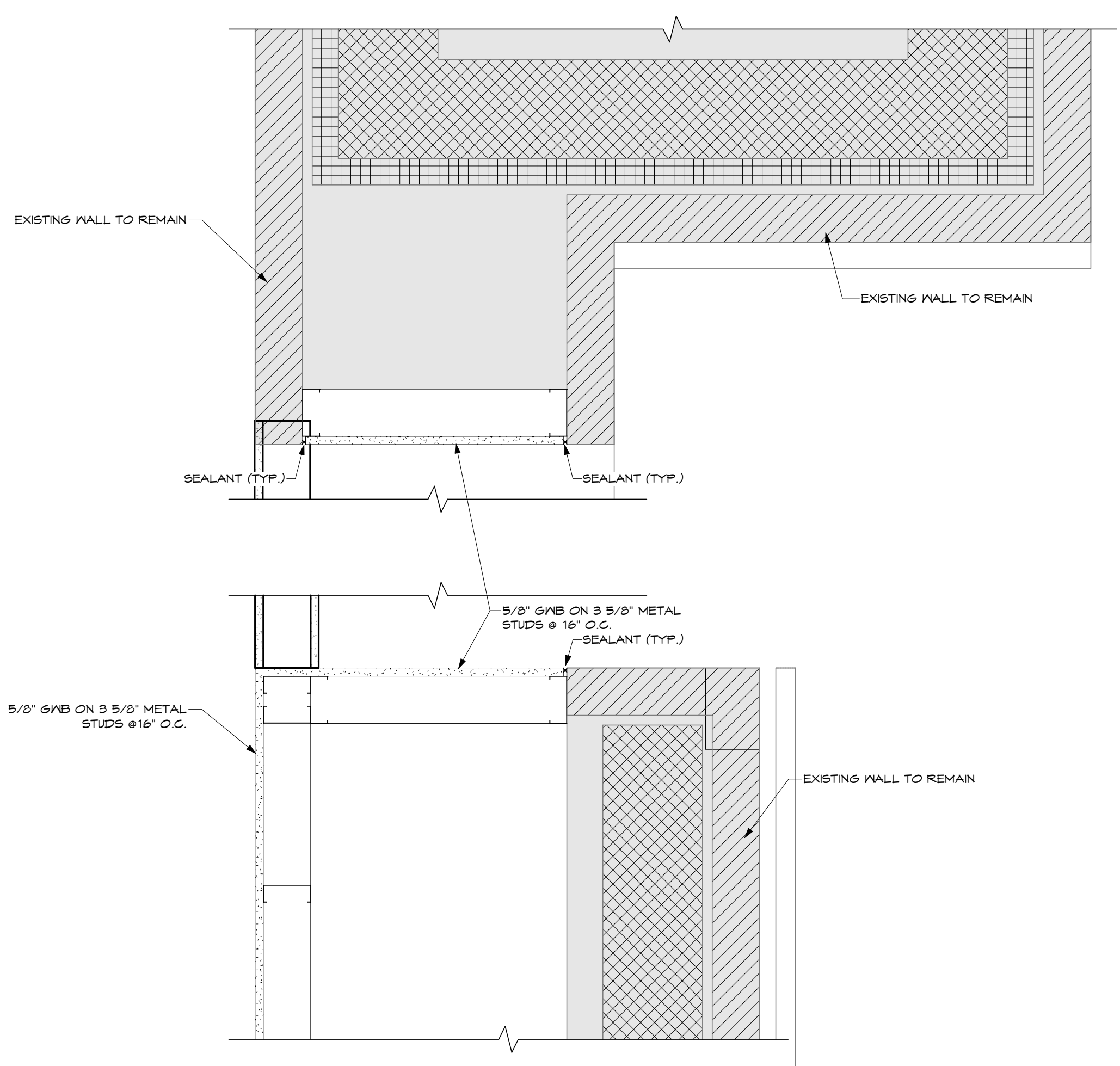
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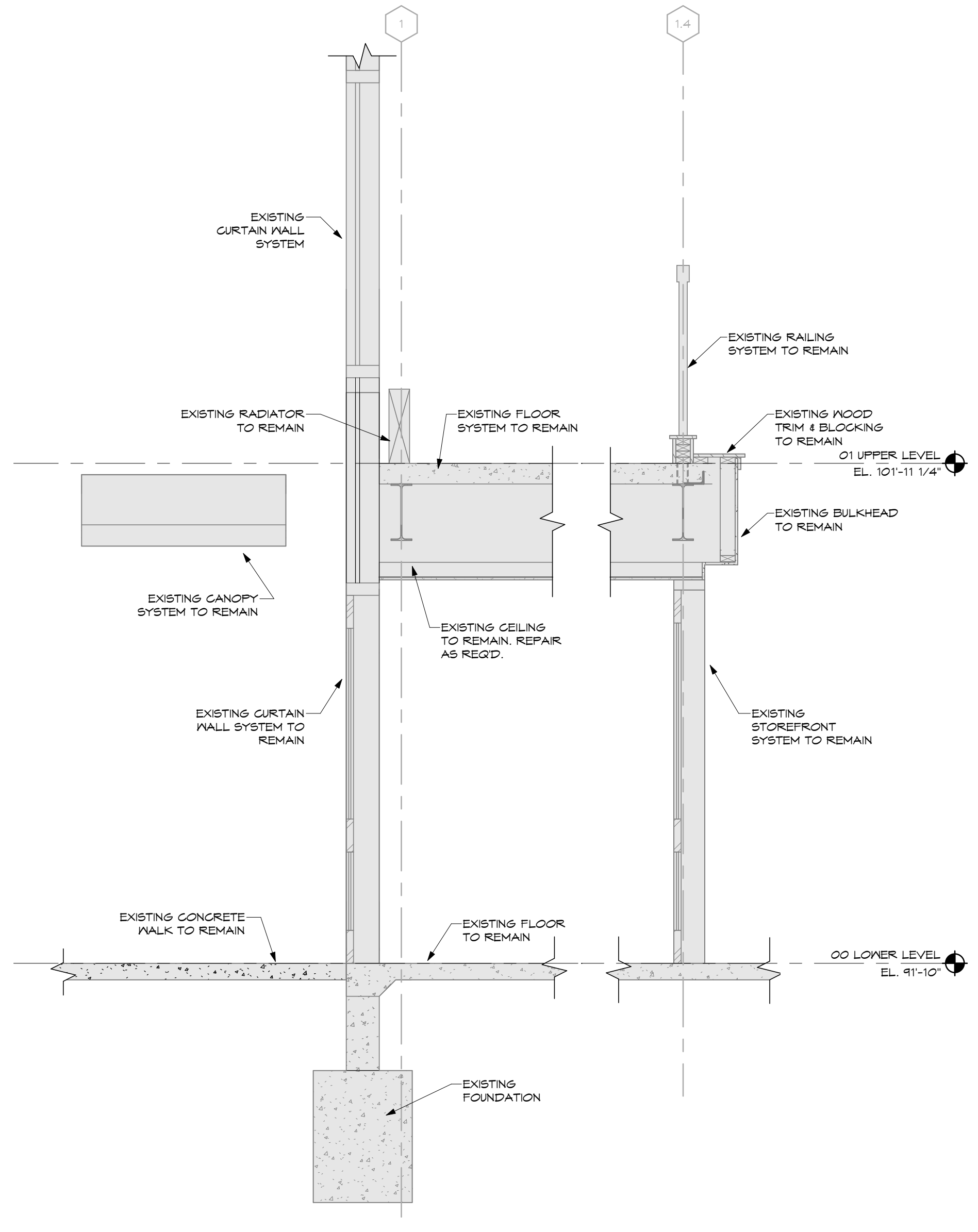
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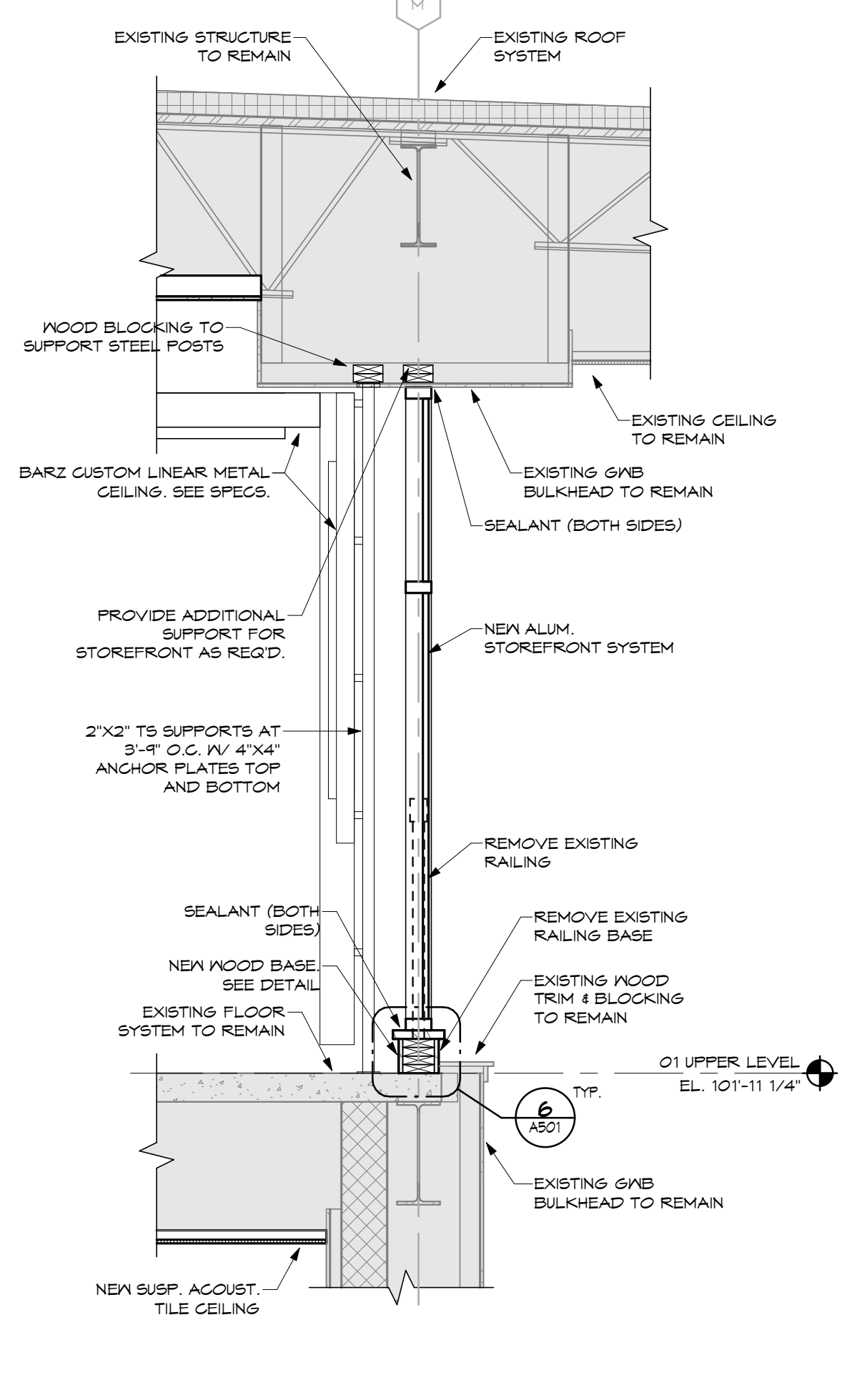
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SCALE: 1/2" = 1'-0"



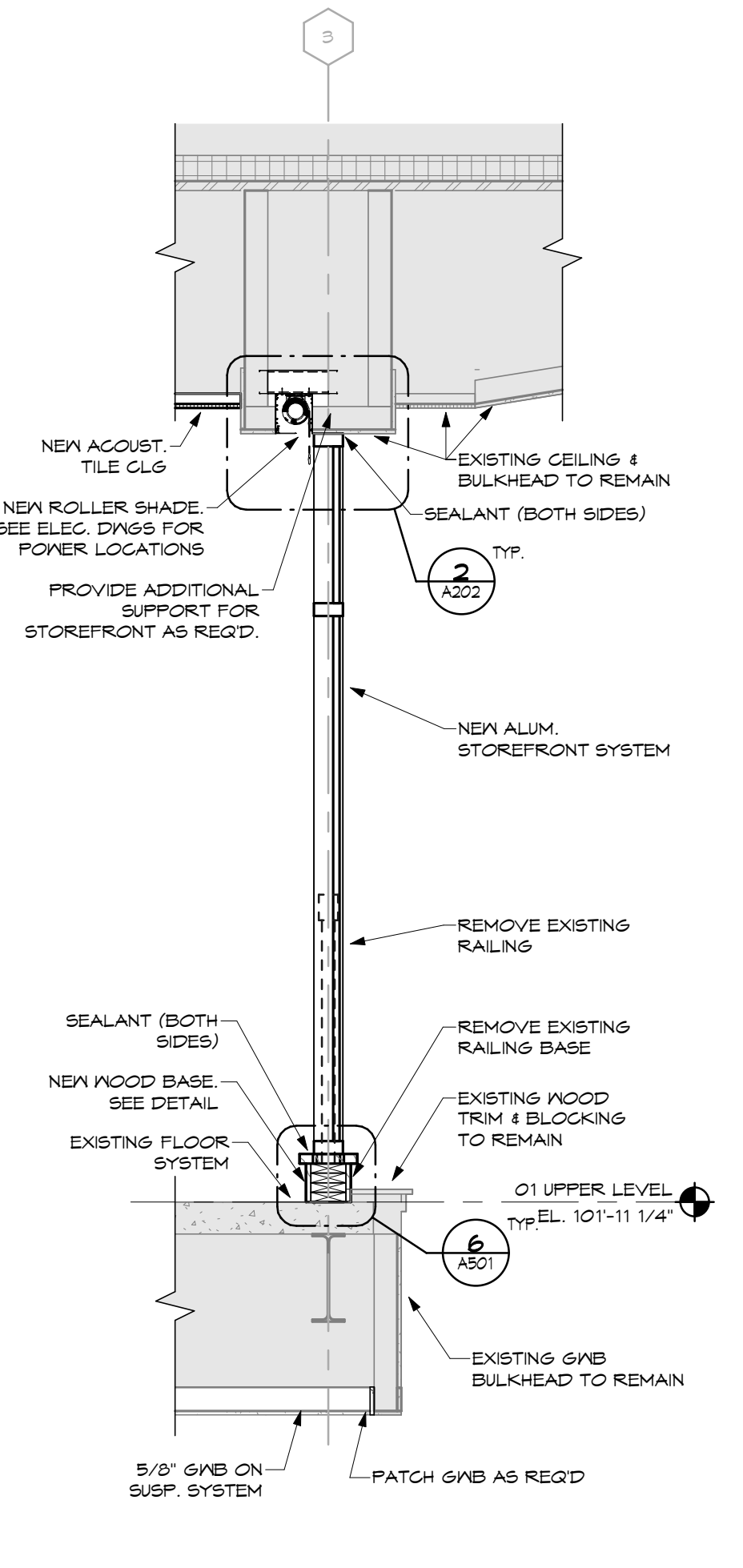
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SCALE: 1/2" = 1'-0"

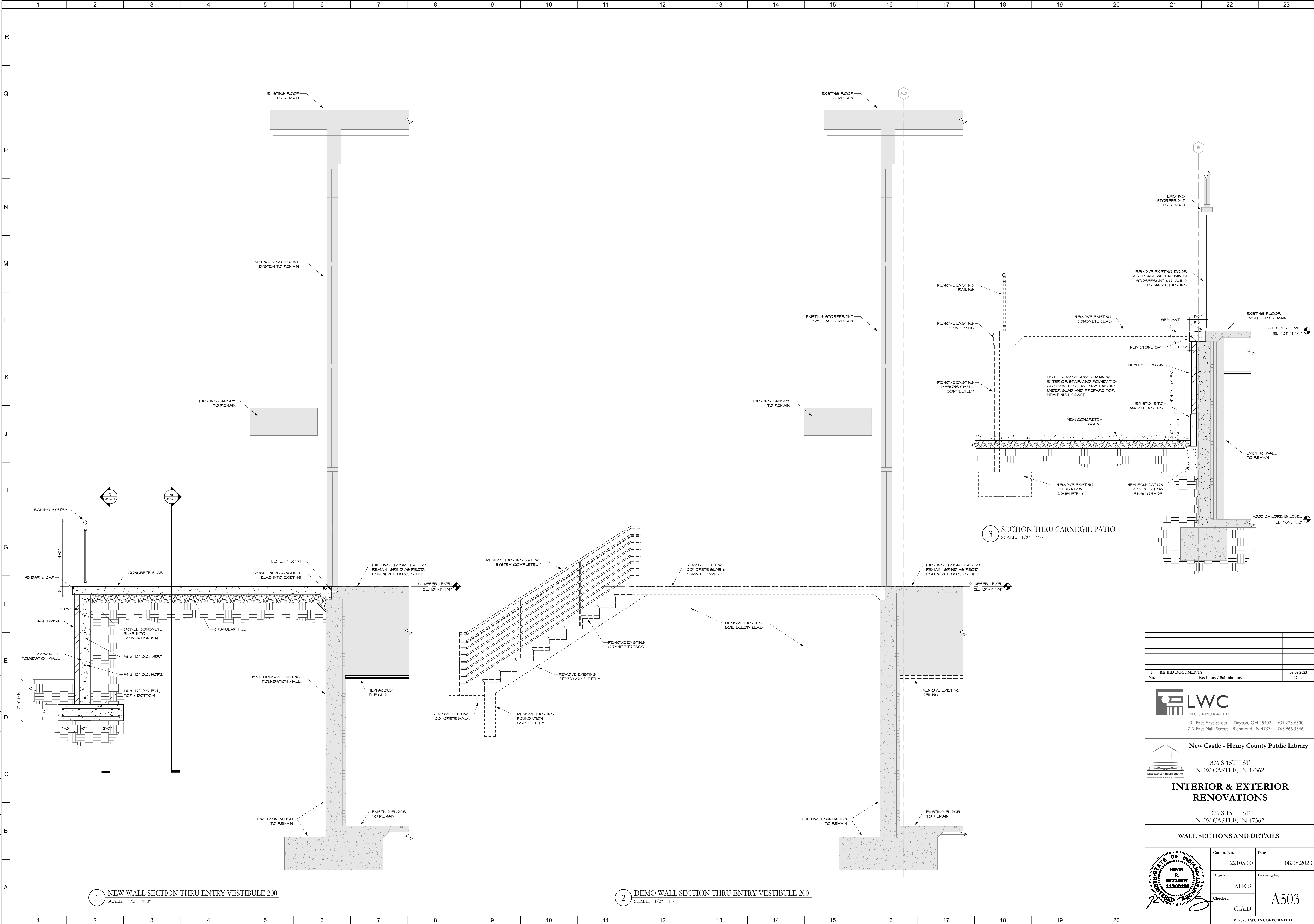


3 SECTION THRU TEENS 206
SCALE: 1/2" = 1'-0"



4 SECTION THRU MEETING ROOM 255
SCALE: 1/2" = 1'-0"

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INTERIOR & EXTERIOR RENOVATIONS 376 S 15TH ST NEW CASTLE, IN 47362		
WALL SECTIONS AND DETAILS		
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22105.00		
Drawn	Drawing No.	A502
M.K.S.		
Checked	G.A.D.	
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1 NEW WALL SECTION THRU ENTRY VESTIBULE 200
SCALE: 1/2" = 1'-0"

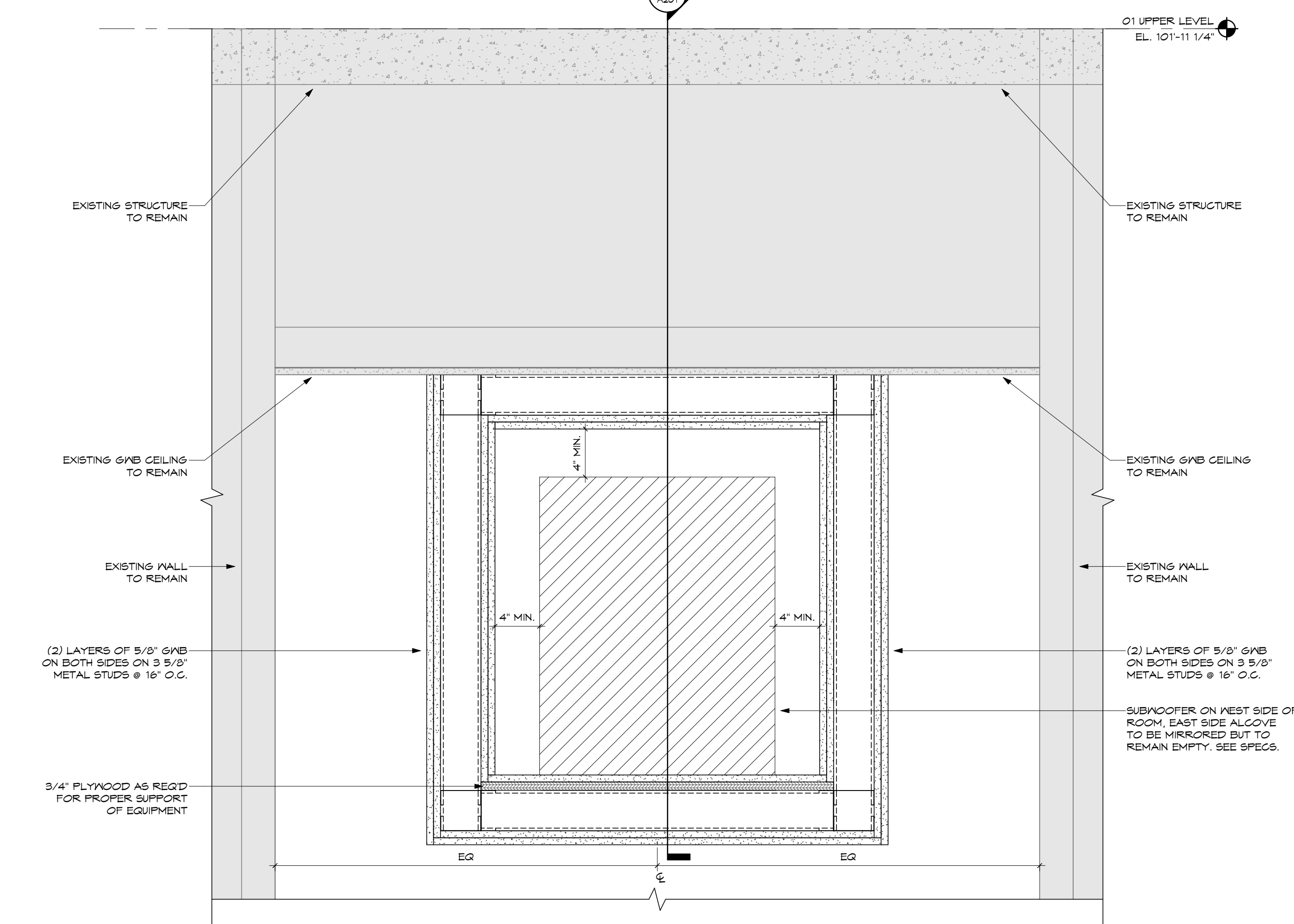
2 DEMO WALL SECTION THRU ENTRY VESTIBULE 200
SCALE: 1/2" = 1'-0"

3 SECTION THRU CARNEGIE PATIO
SCALE: 1/2" = 1'-0"

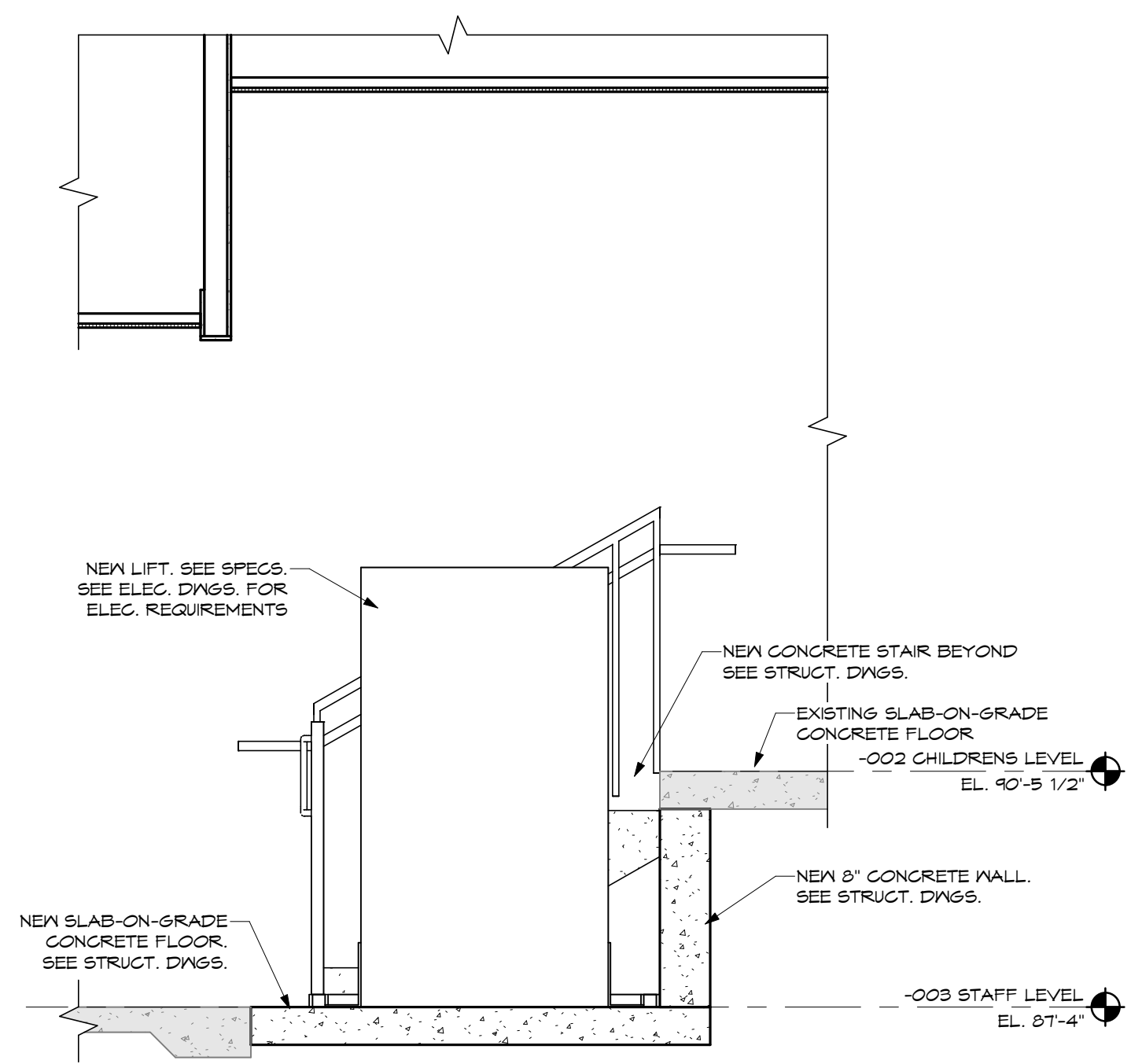
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No.	Revisions / Submissions	Date
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WALL SECTIONS AND DETAILS		
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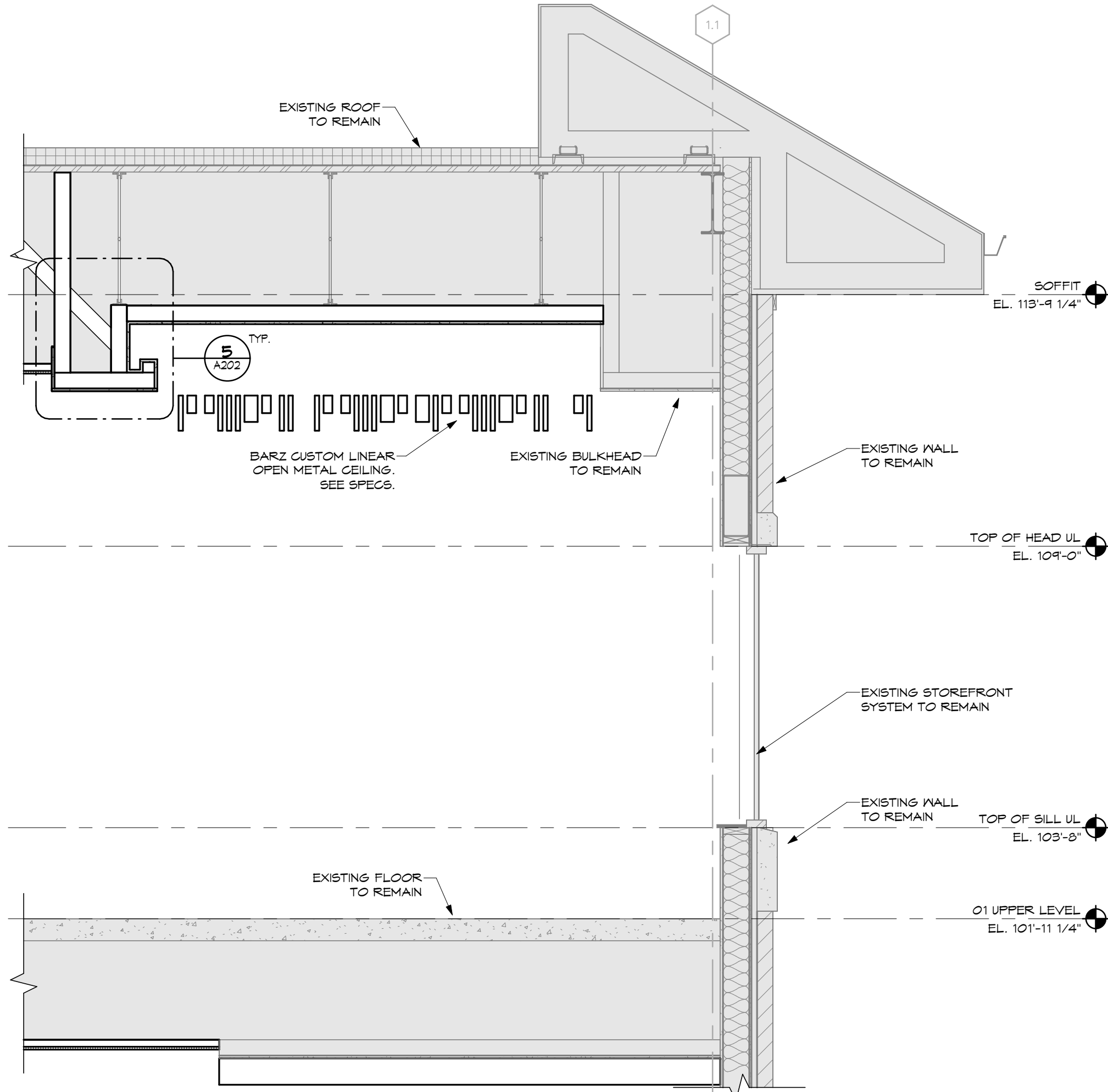
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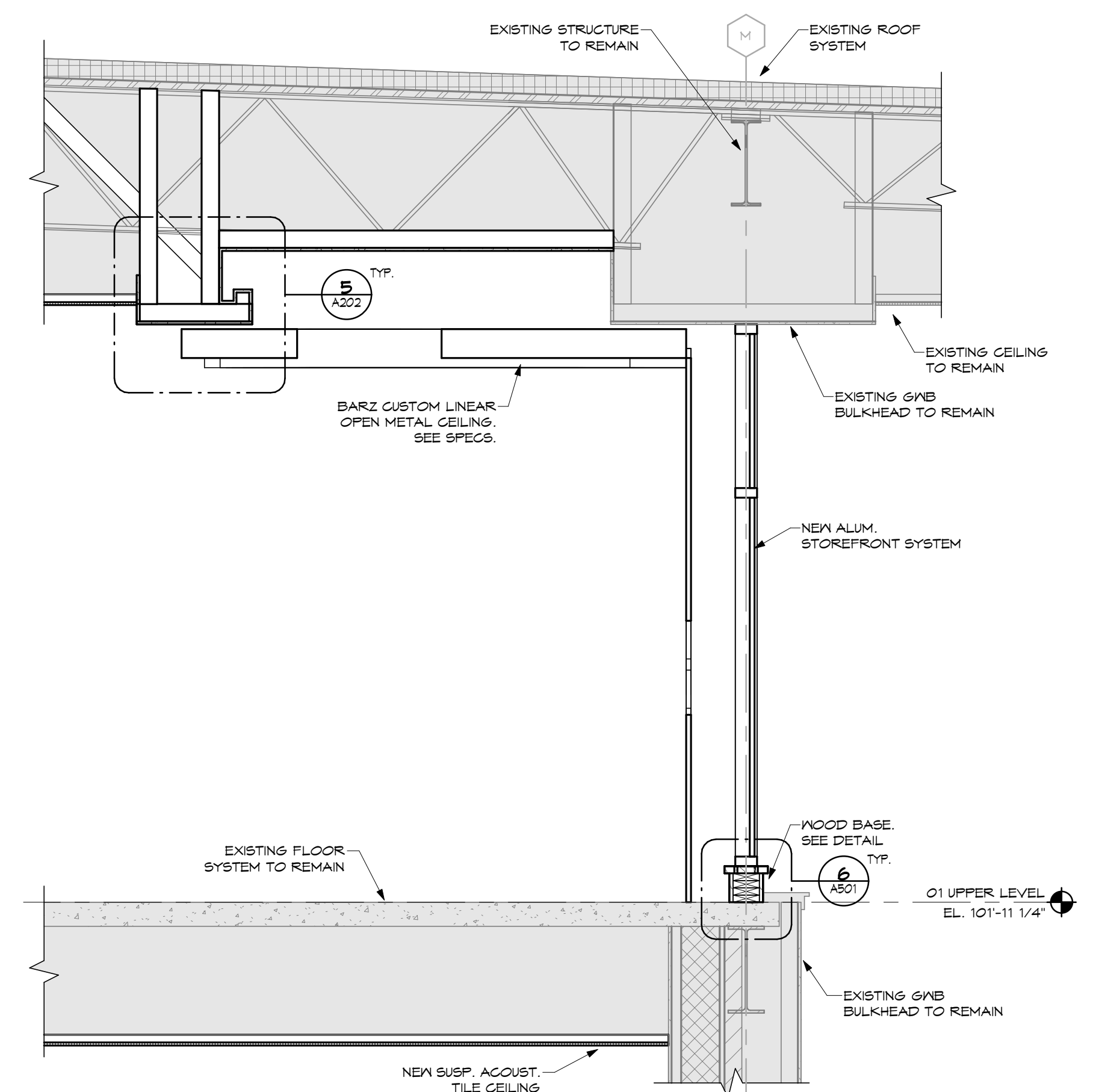
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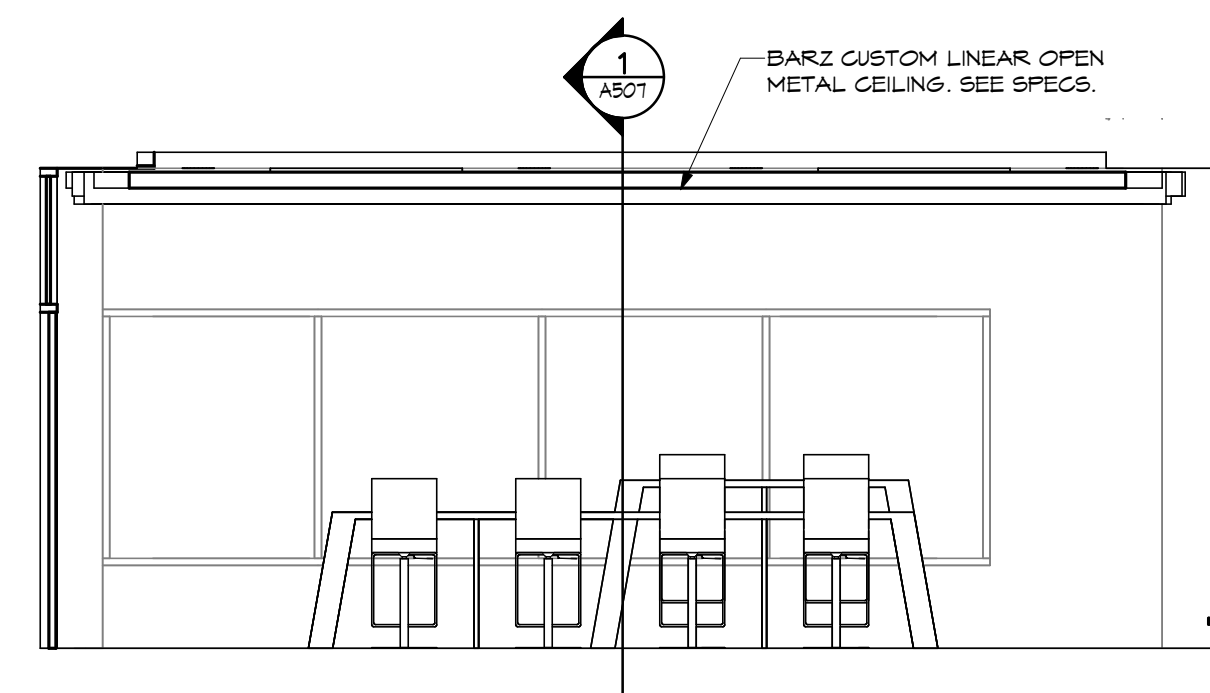
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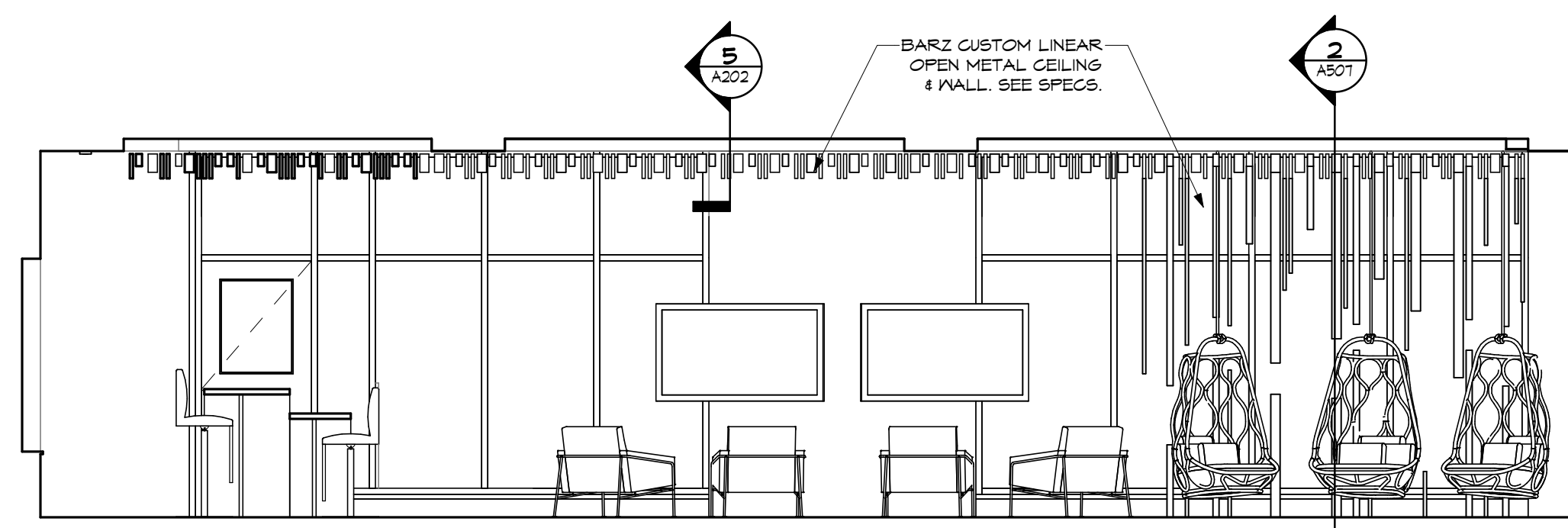
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2 SECTION THRU TEENS WALL/CEILING FEATURE
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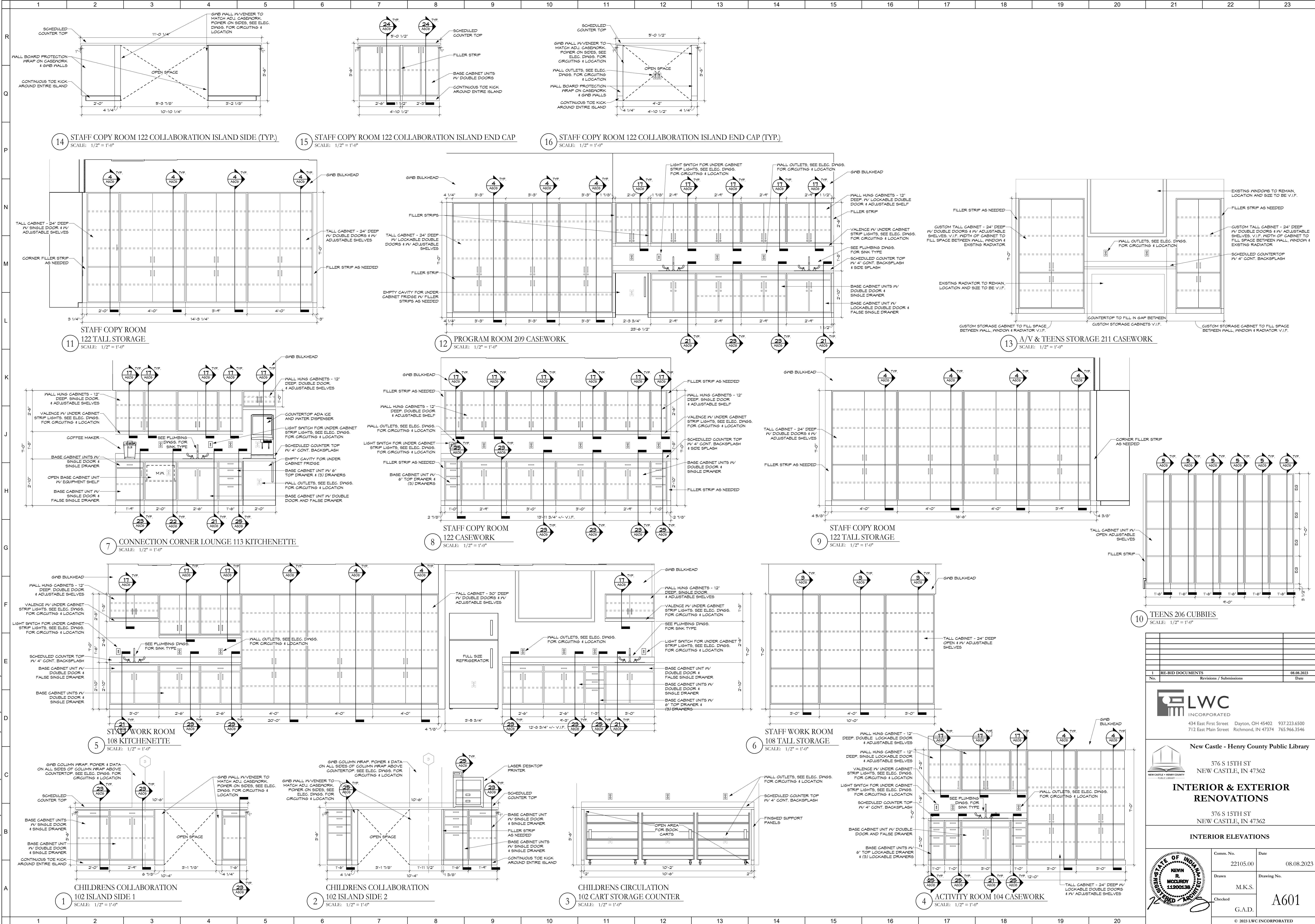
4 TEENS 206 - NORTH
SCALE: 1/4" = 1'-0"



3 TEENS 206 - EAST
SCALE: 1/4" = 1'-0"

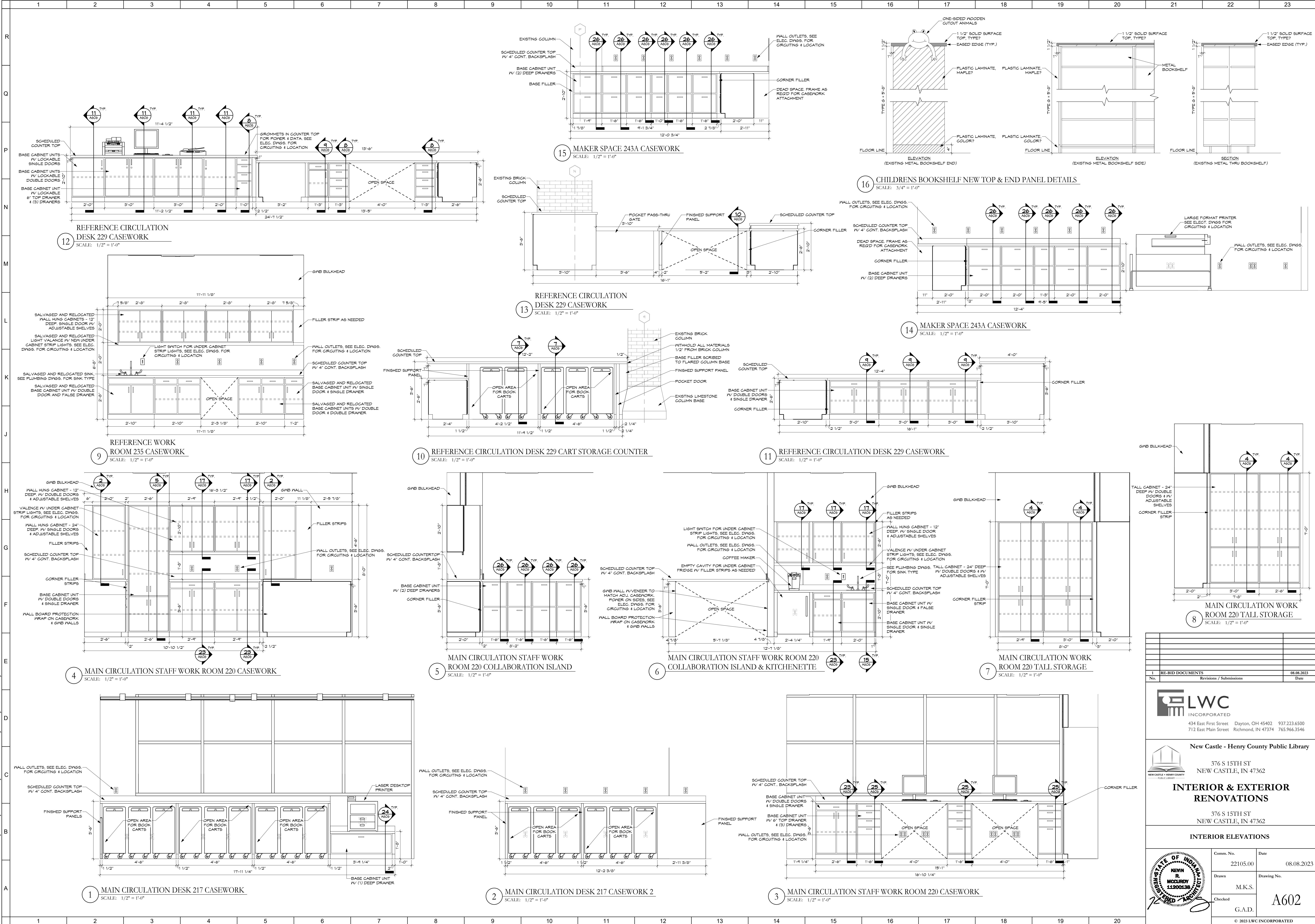
RE-BID DOCUMENTS		08.08.2023
No.	Revisions / Submissions	Date
434 East First Street Dayton, OH 45402 937.223.6500 712 East Main Street Richmond, IN 47374 765.966.3546		
New Castle - Henry County Public Library 376 S 15TH ST NEW CASTLE, IN 47362		
INTERIOR & EXTERIOR RENOVATIONS 376 S 15TH ST NEW CASTLE, IN 47362		
MISCELLANEOUS DETAILS		
Comm. No.	Date	08.08.2023
22105.00		
Drawn	M.K.S.	Drawing No.
Checked	G.A.D.	A507
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New Castle - Henry County Public Library 376 S 15TH ST NEW CASTLE, IN 47362		
INTERIOR & EXTERIOR RENOVATIONS 376 S 15TH ST NEW CASTLE, IN 47362		
INTERIOR ELEVATIONS		
Comm. No.	Date	08.08.2023
22105.00		
Drawn	M.K.S.	Drawing No.
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New Castle - Henry County Public Library
376 S 15TH ST
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INTERIOR & EXTERIOR RENOVATIONS
376 S 15TH ST
NEW CASTLE, IN 47362

INTERIOR ELEVATIONS

Comm. No.	Date	08.08.2023
22105.00		
Drawn	Drawing No.	A602
M.K.S.		
Checked	G.A.D.	

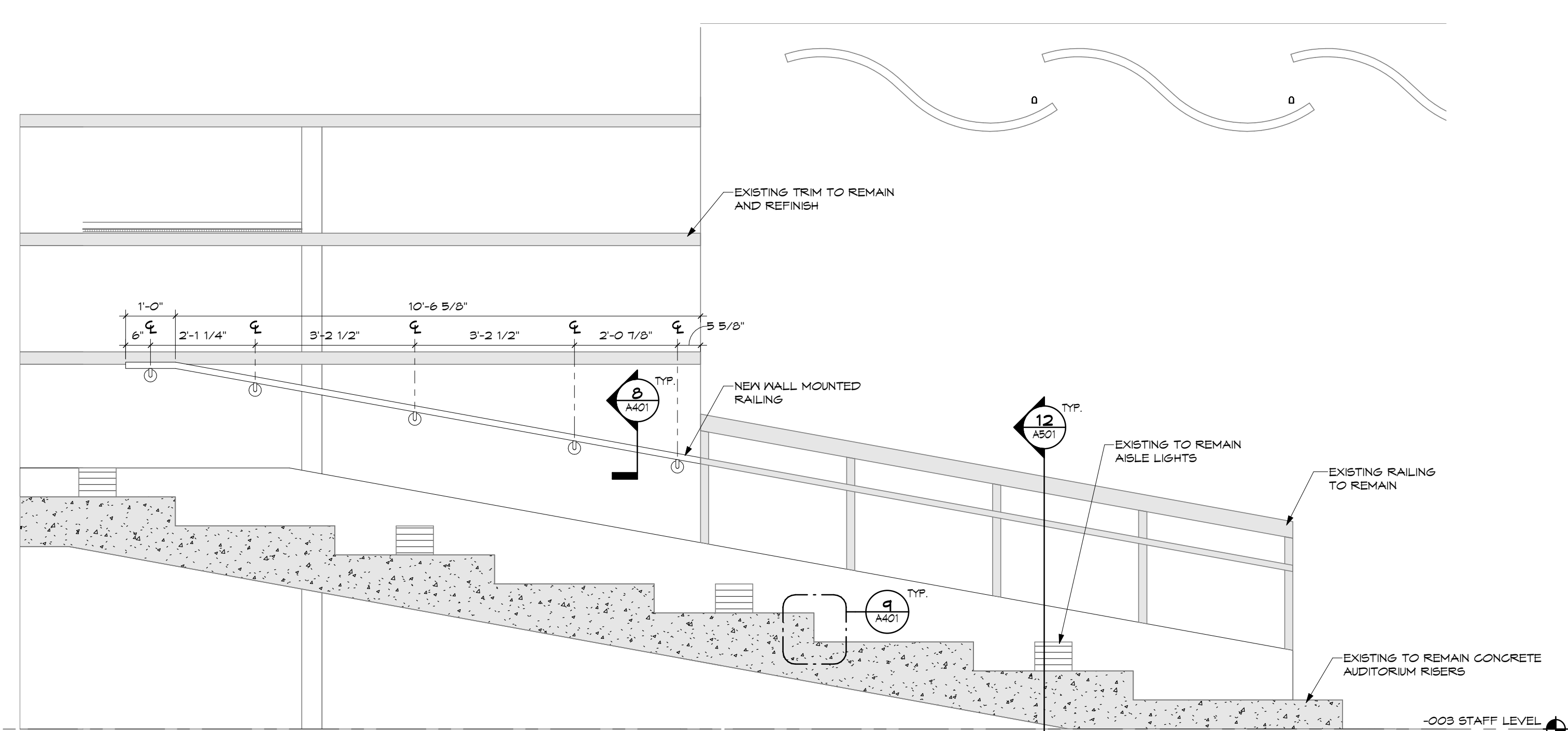
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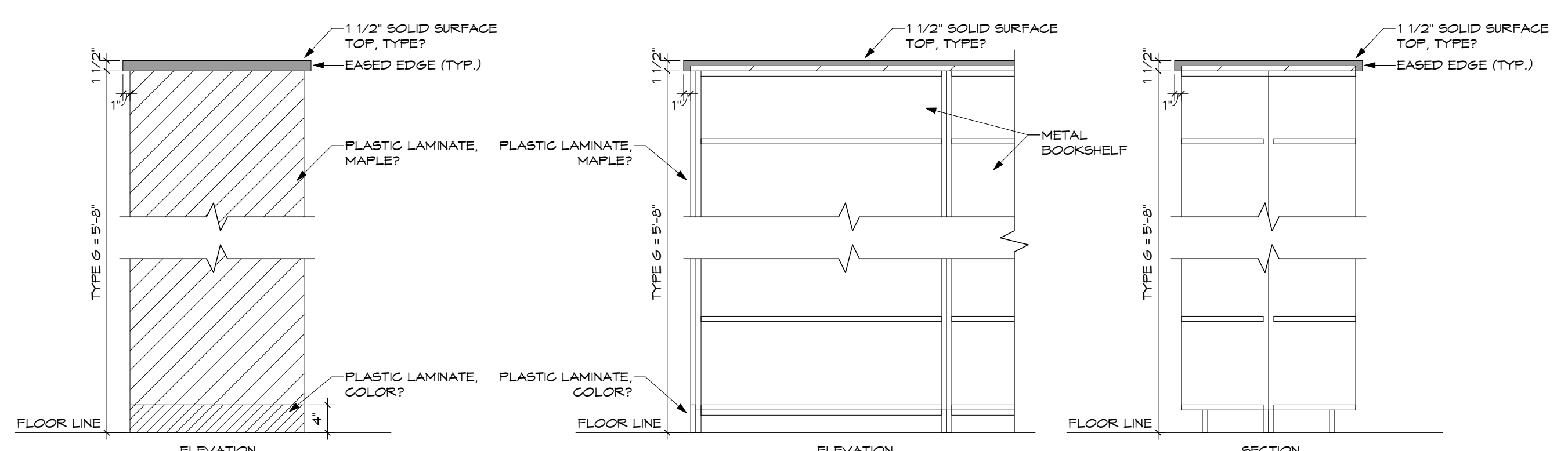
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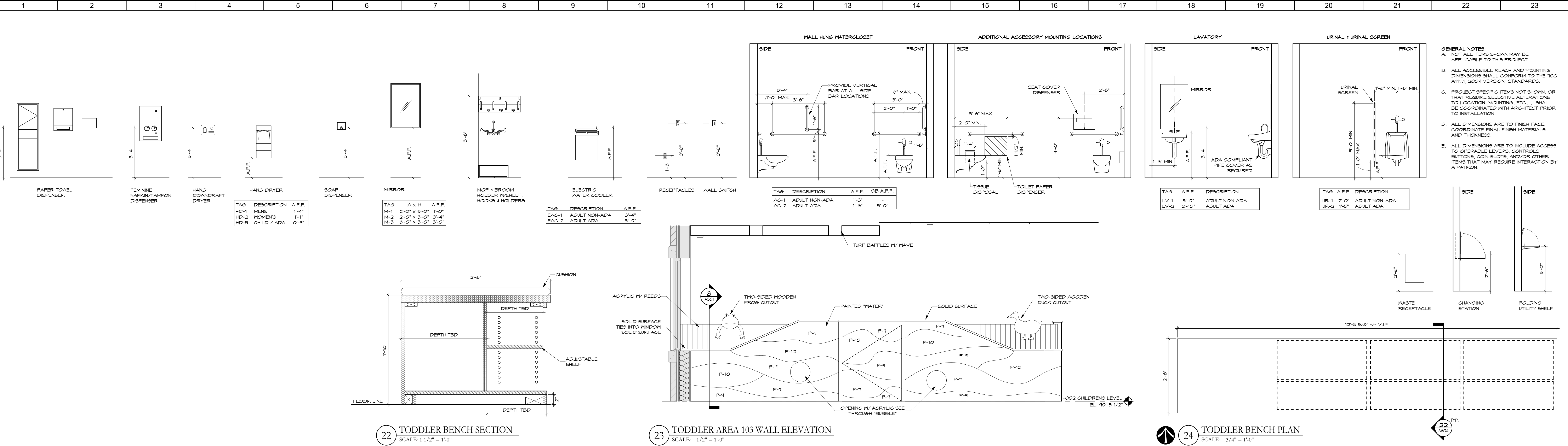


1 AUDITORIUM SEATING SIDE WALL ELEVATION
SCALE: 1/2" = 1'-0"



2 TEENS BOOKSHELF NEW TOP & END PANEL DETAILS
SCALE: 3/4" = 1'-0"

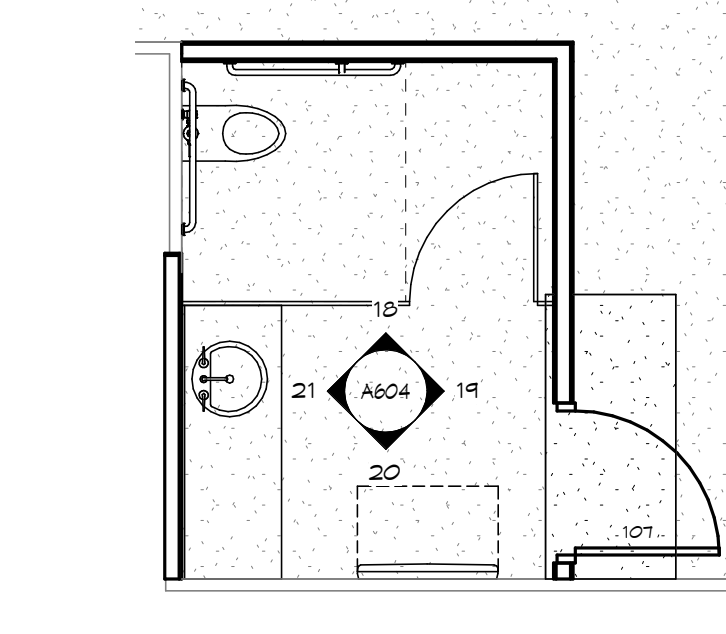
RE-BID DOCUMENTS		08.08.2023
No.	Revisions / Submissions	Date
<p>LWC INCORPORATED 434 East First Street Dayton, OH 45402 937.223.6500 712 East Main Street Richmond, IN 47374 765.966.3546</p>		
<p>New Castle - Henry County Public Library</p> <p>376 S 15TH ST NEW CASTLE, IN 47362</p> <p>INTERIOR & EXTERIOR RENOVATIONS</p> <p>376 S 15TH ST NEW CASTLE, IN 47362</p> <p>INTERIOR ELEVATIONS</p>		
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22105.00	08.08.2023	
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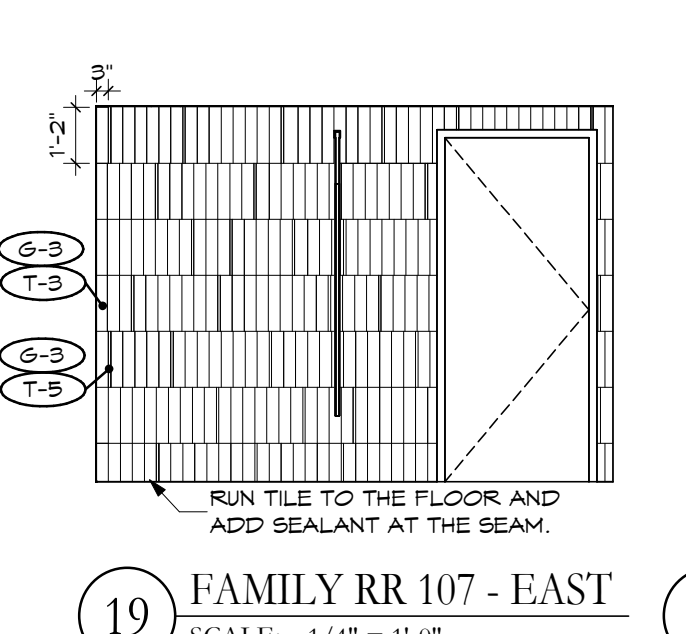
22 TODDLER BENCH SECTION
SCALE: 1 1/2" = 1'-0"

23 TODDLER AREA 103 WALL ELEVATION
SCALE: 1/2" = 1'-0"

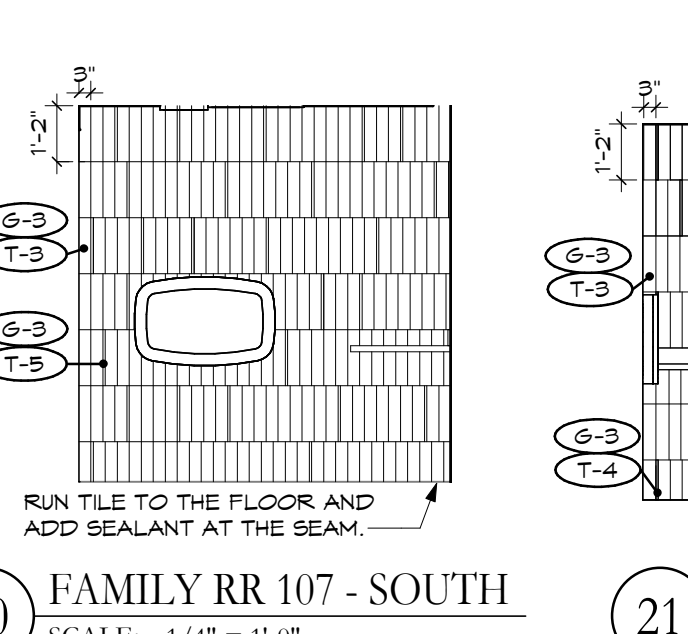
24 TODDLER BENCH PLAN
SCALE: 3/4" = 1'-0"



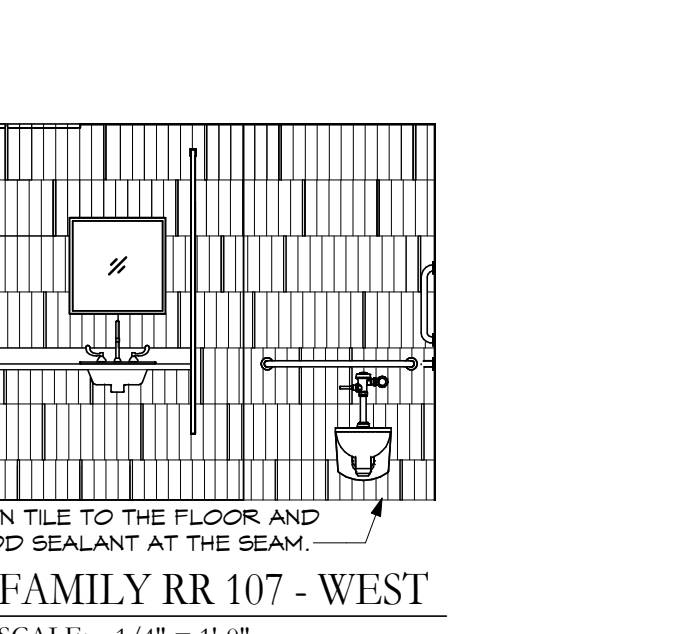
18 FAMILY RR 107 - NORTH
SCALE: 1/4" = 1'-0"



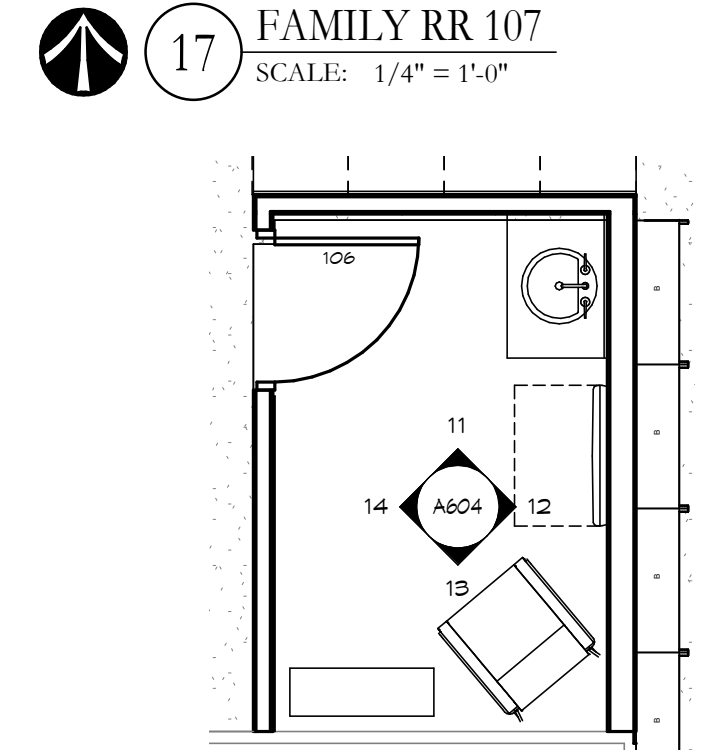
19 FAMILY RR 107 - EAST
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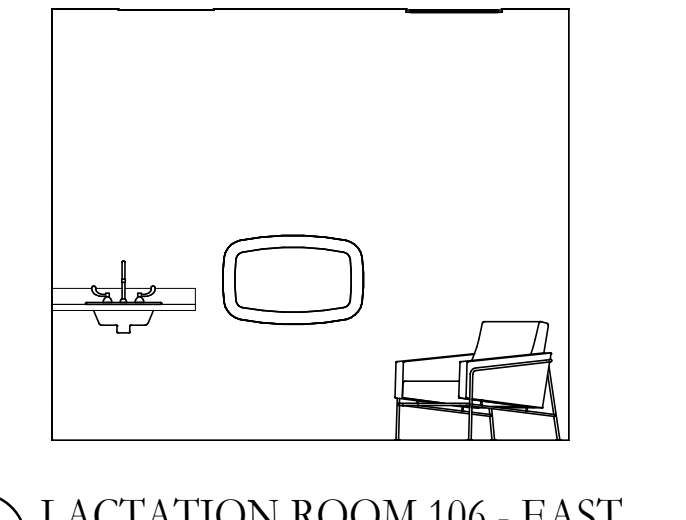
20 FAMILY RR 107 - SOUTH
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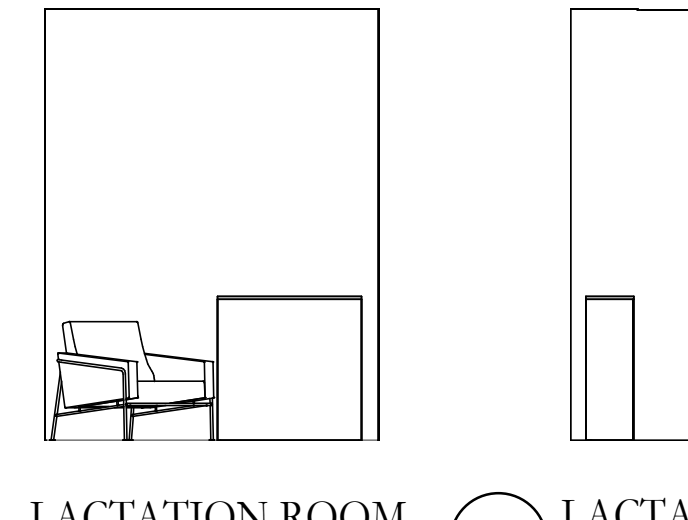
21 FAMILY RR 107 - WEST
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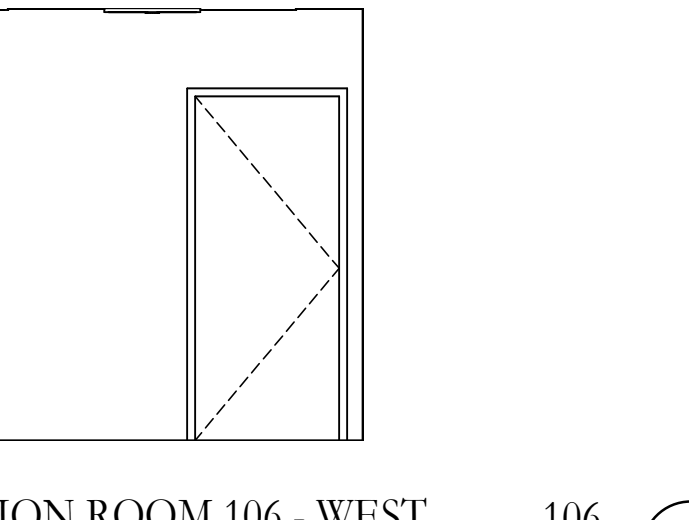
11 LACTATION ROOM 106 - NORTH
SCALE: 1/4" = 1'-0"



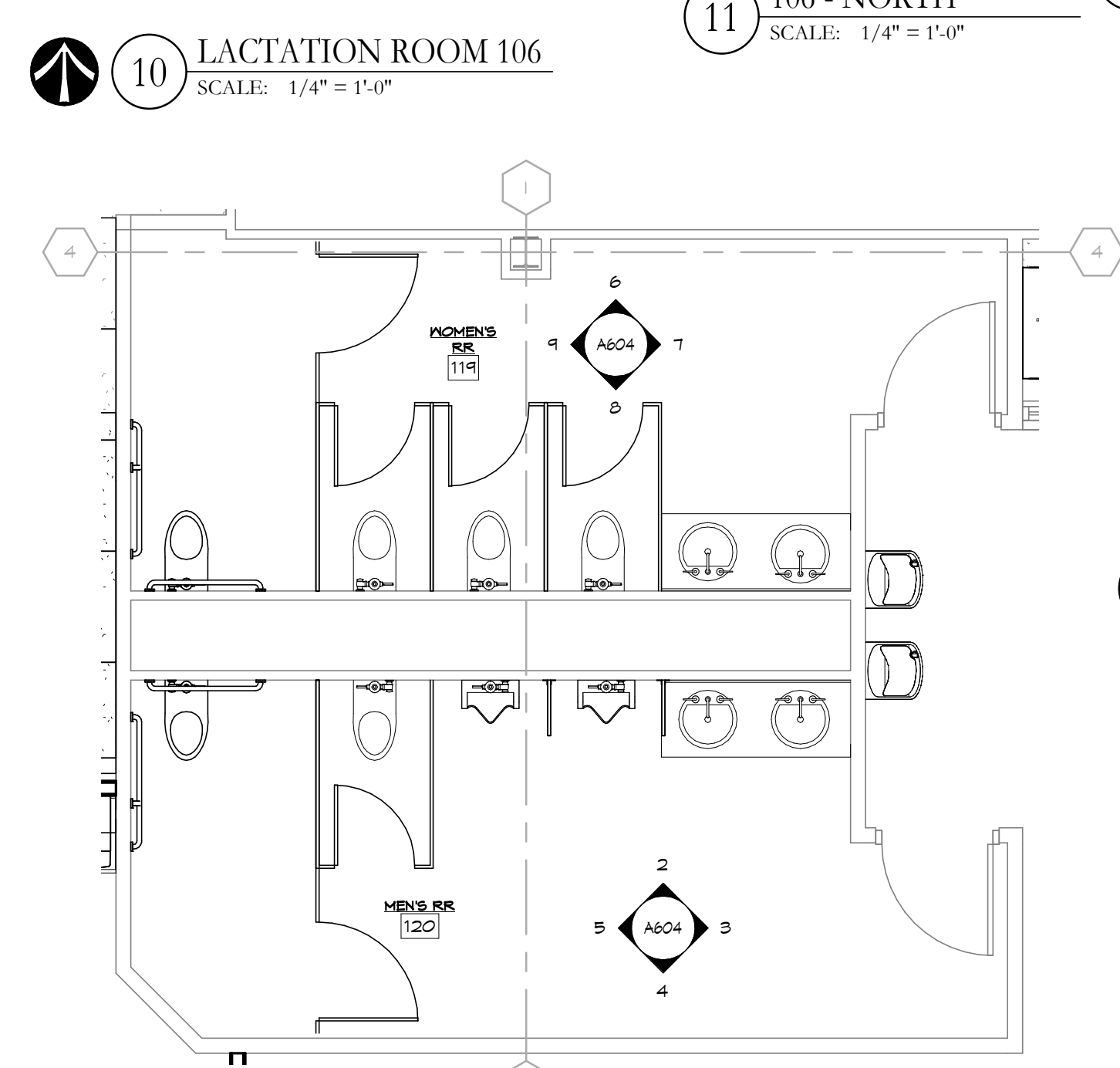
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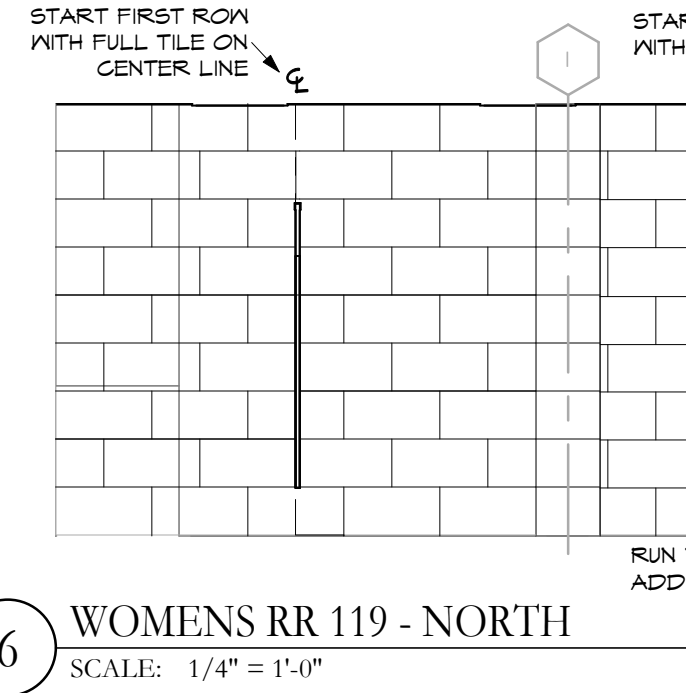
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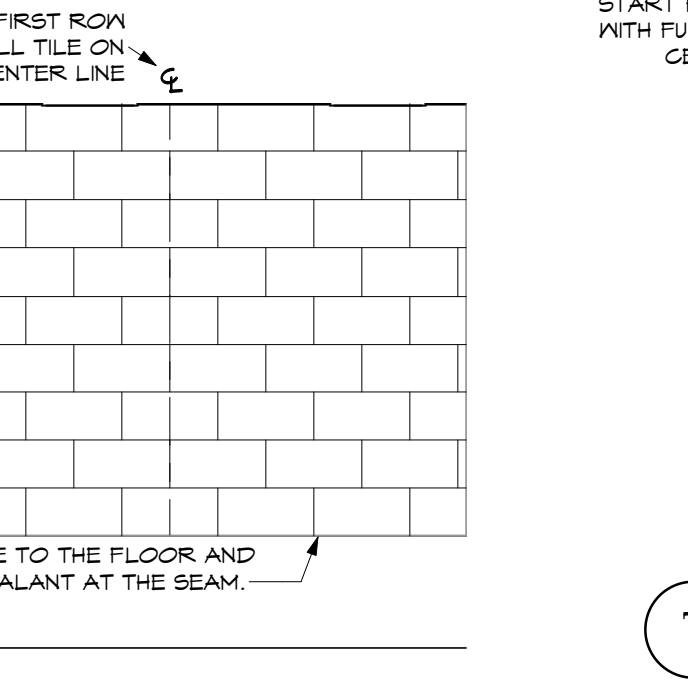
14 LACTATION ROOM 106 - WEST
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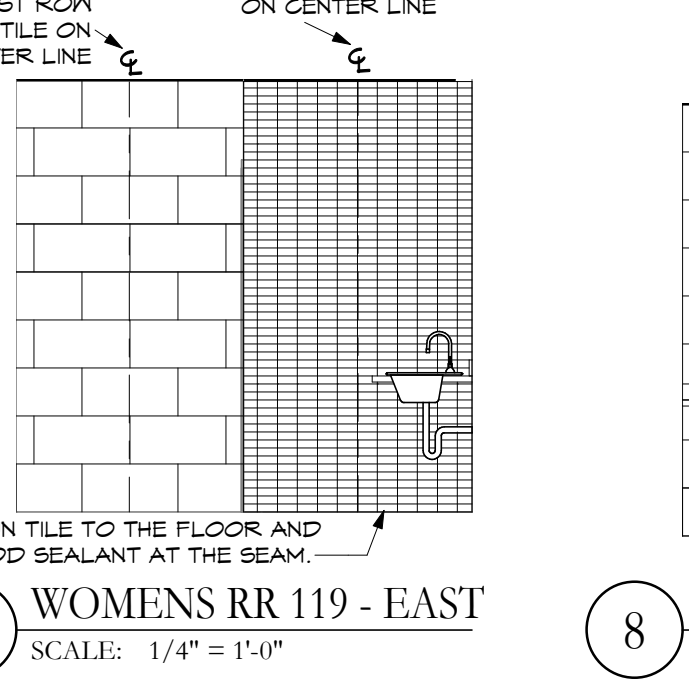
1 LOWER LEVEL GROUP RR
SCALE: 1/4" = 1'-0"



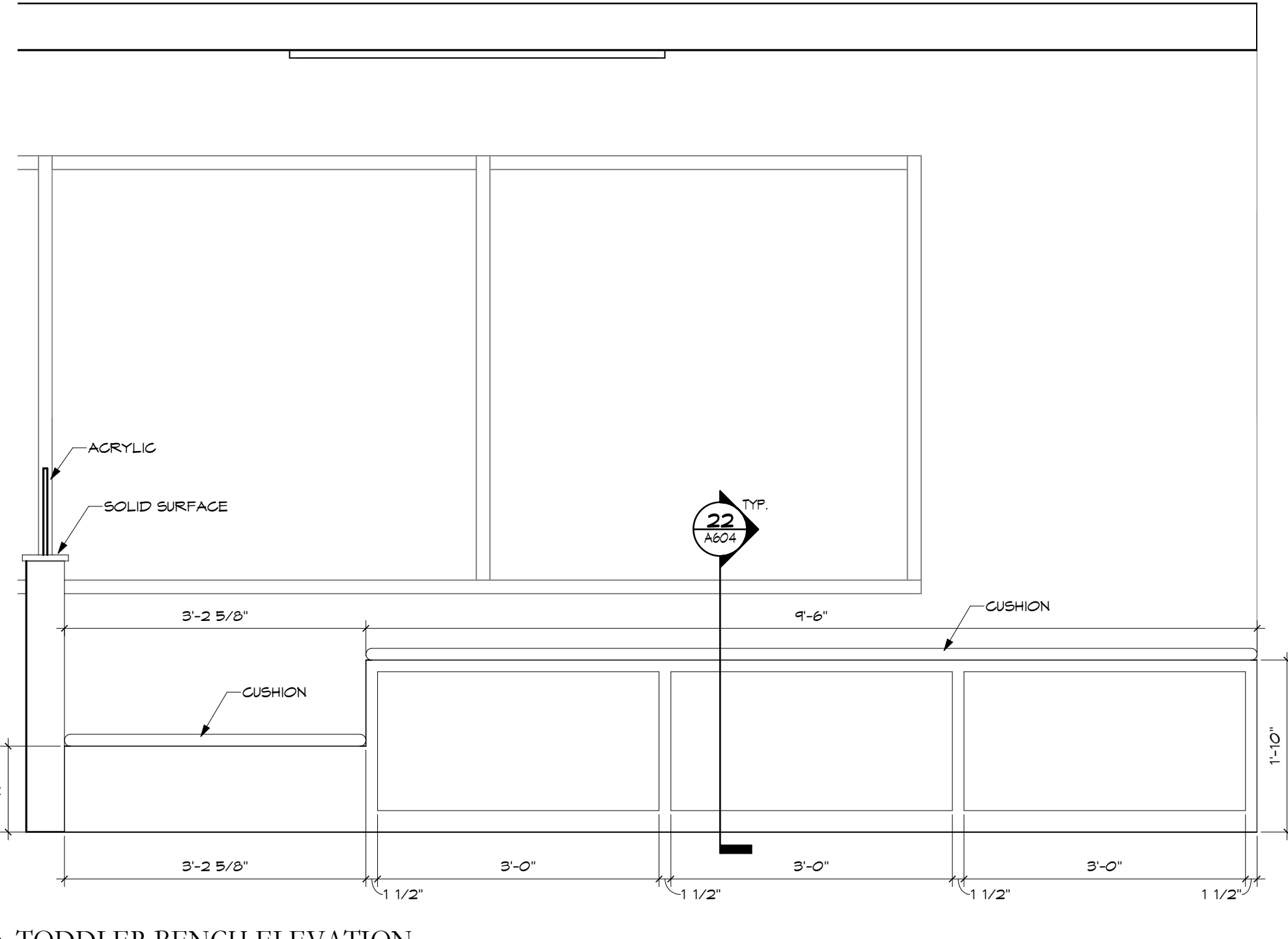
6 WOMENS RR 119 - NORTH
SCALE: 1/4" = 1'-0"



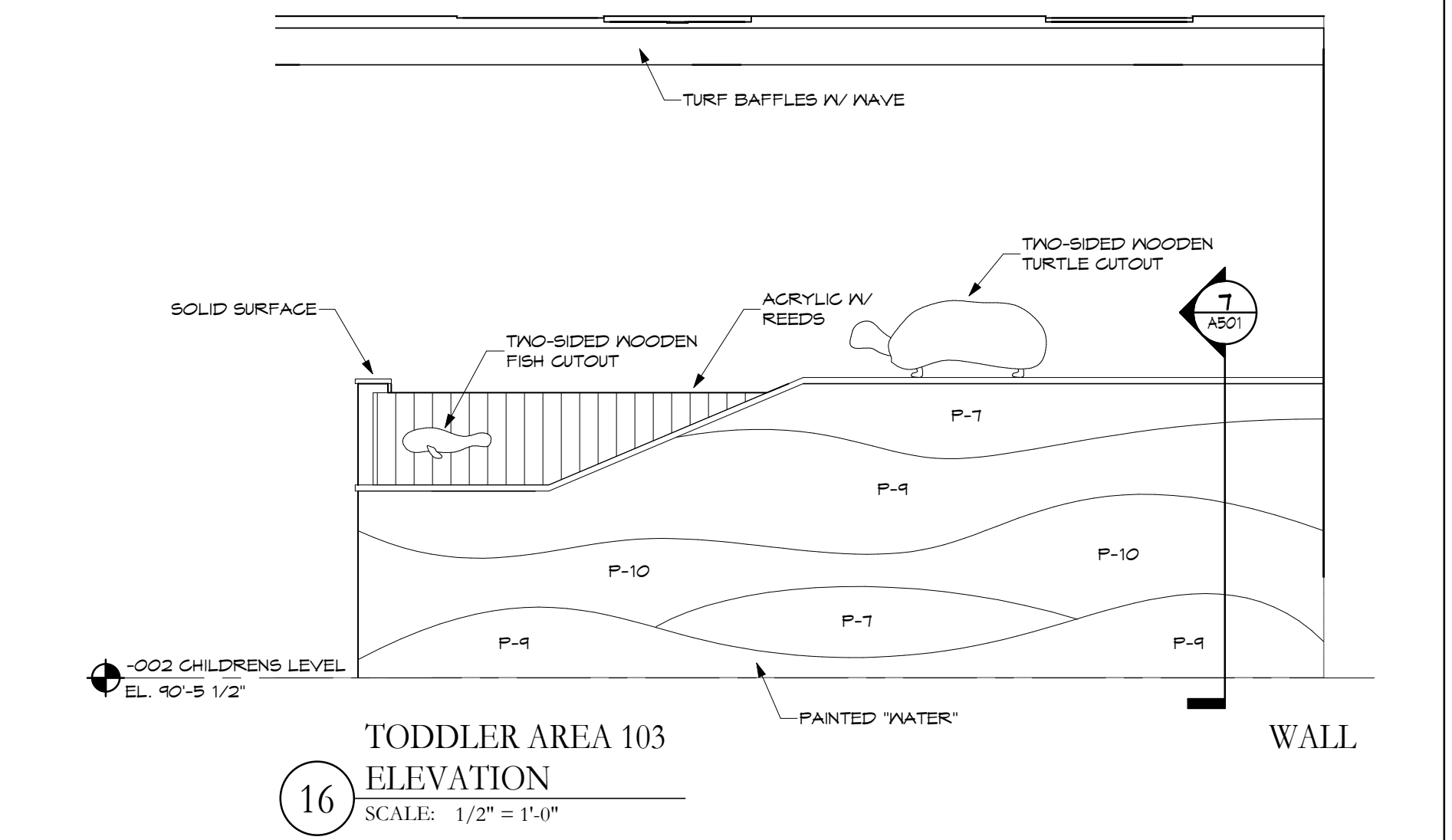
7 WOMENS RR 119 - EAST
SCALE: 1/4" = 1'-0"



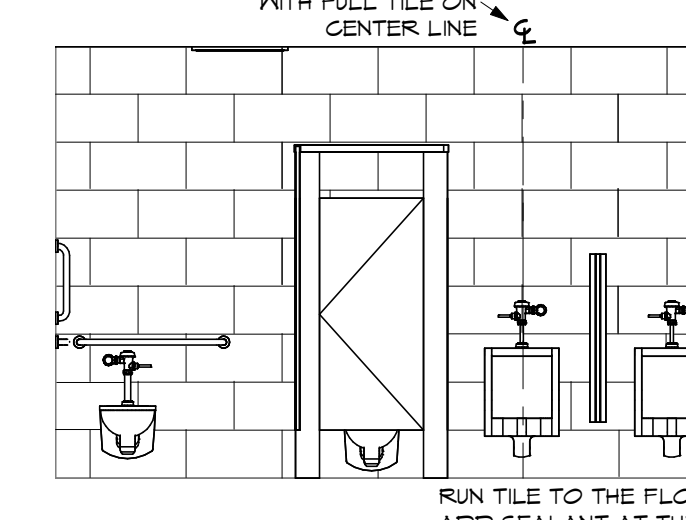
8 WOMENS RR 119 - SOUTH
SCALE: 1/4" = 1'-0"



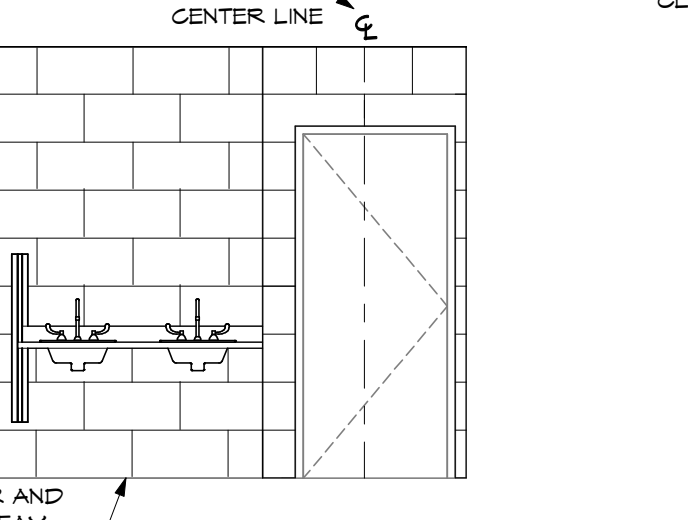
15 TODDLER BENCH ELEVATION
SCALE: 3/4" = 1'-0"



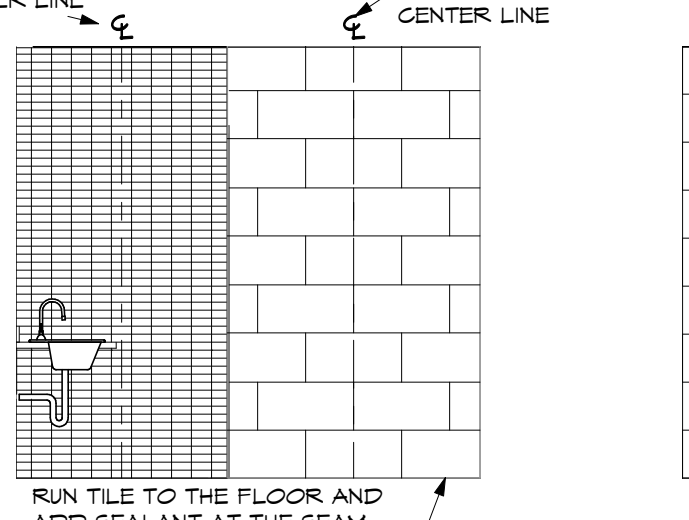
16 TODDLER AREA 103 ELEVATION
SCALE: 1/2" = 1'-0"



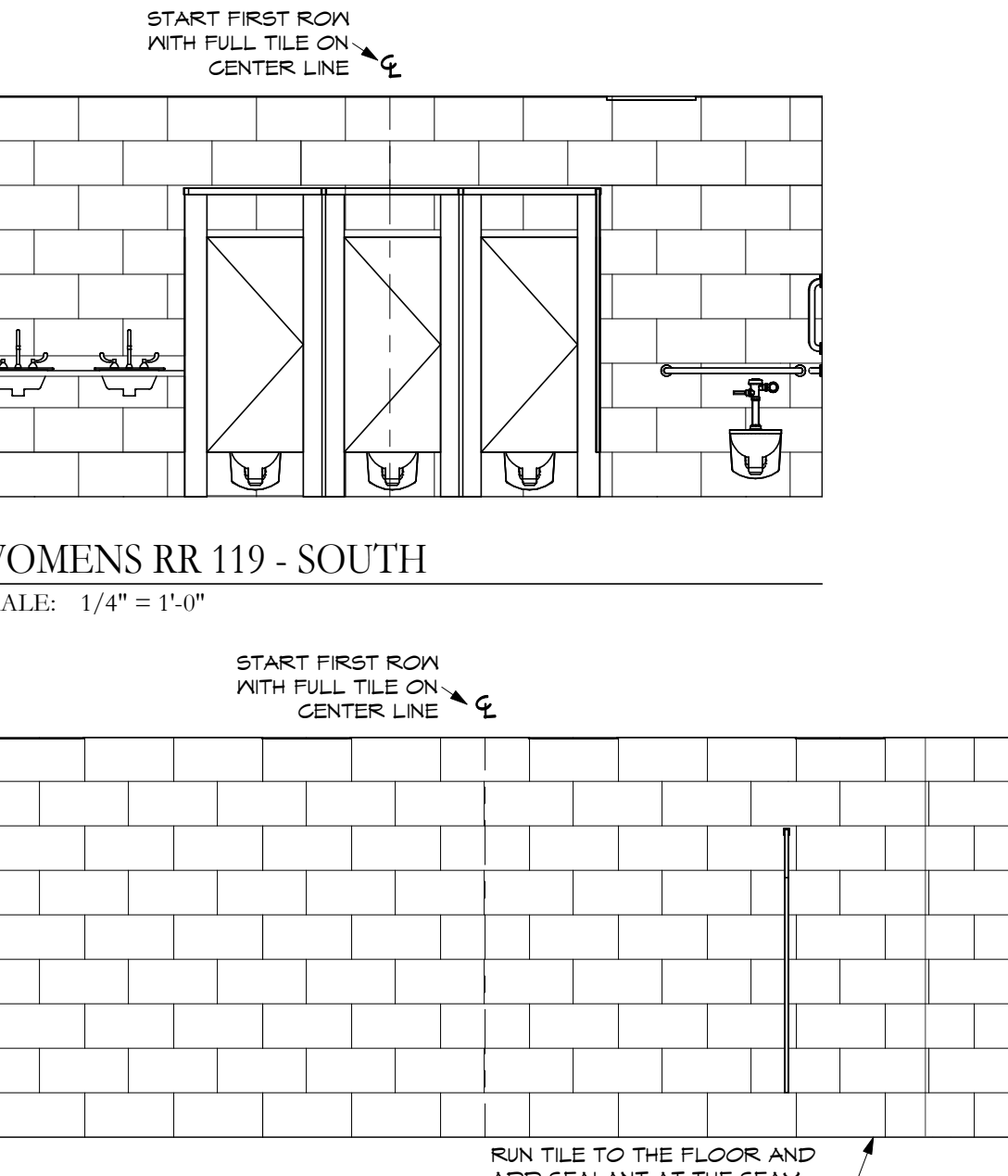
2 MENS RR 120 - NORTH
SCALE: 1/4" = 1'-0"



3 MENS RR 120 - EAST
SCALE: 1/4" = 1'-0"

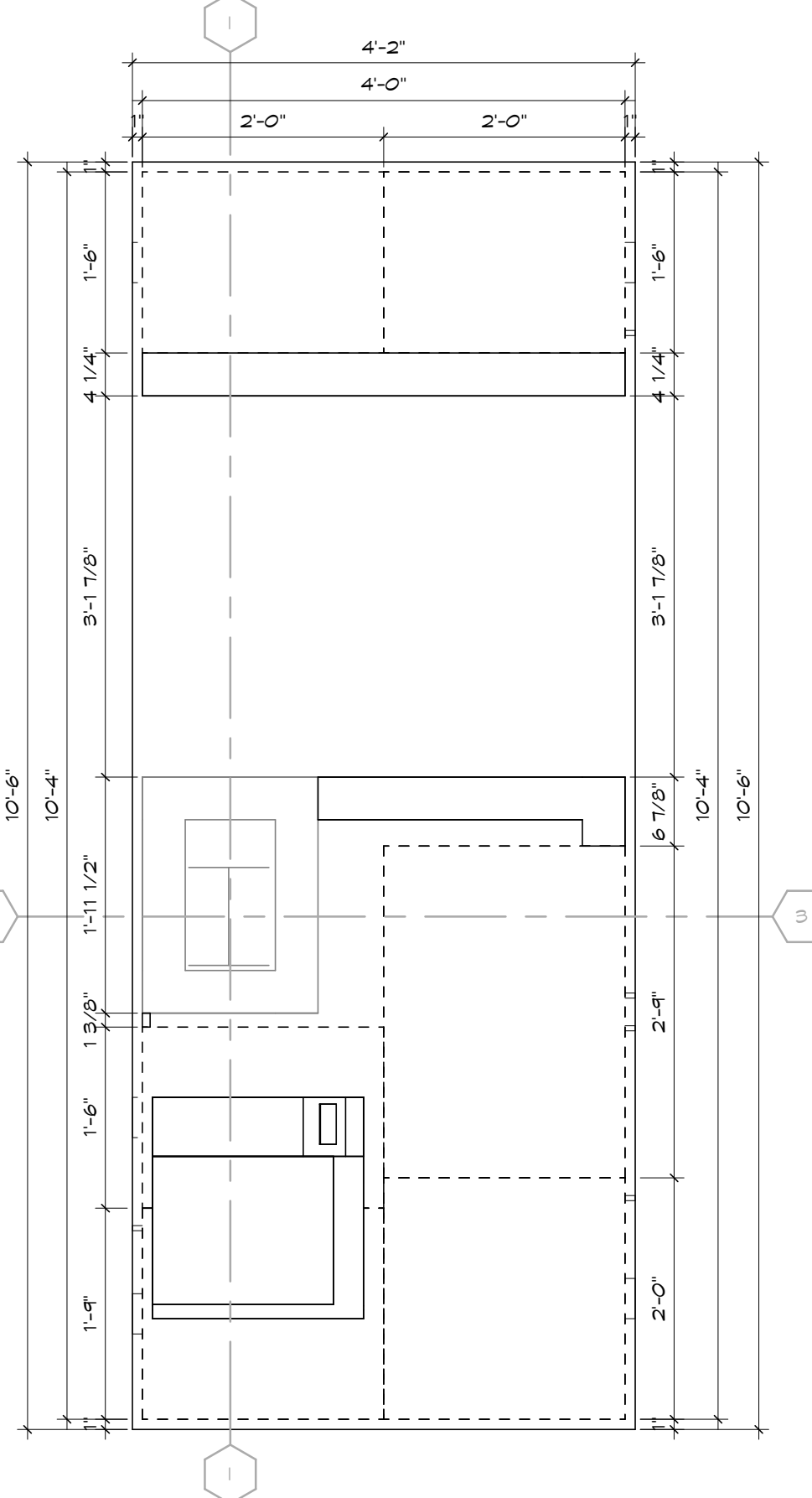


4 MENS RR 120 - SOUTH
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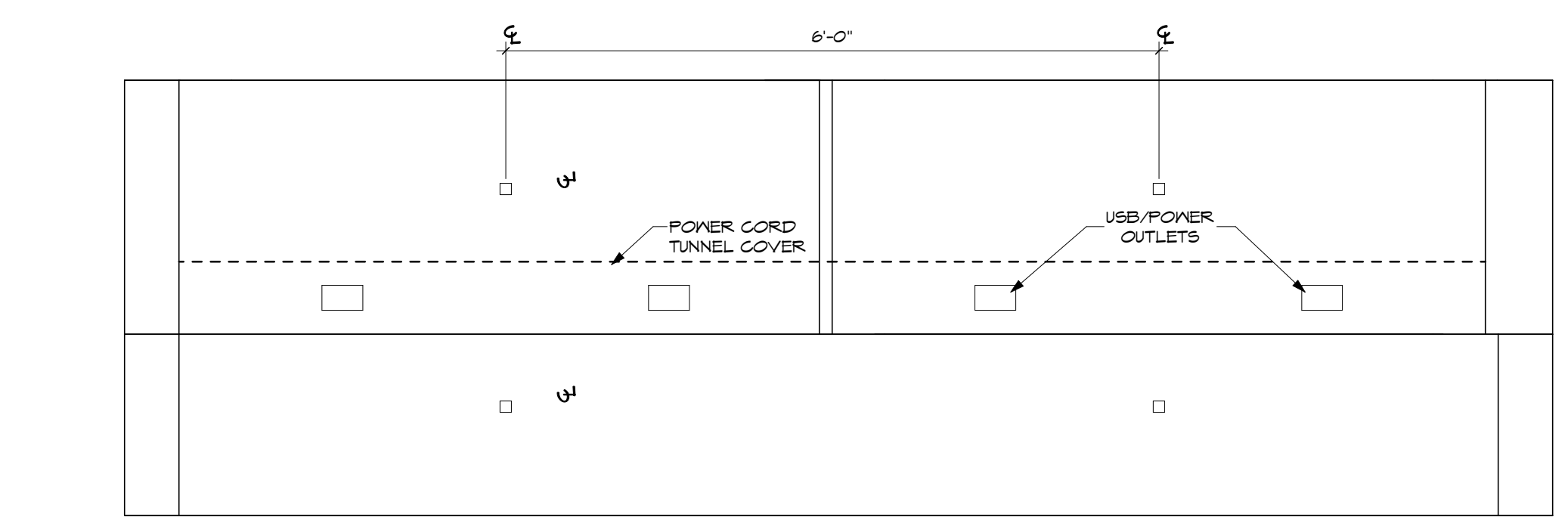


5 MENS RR 120 - WEST
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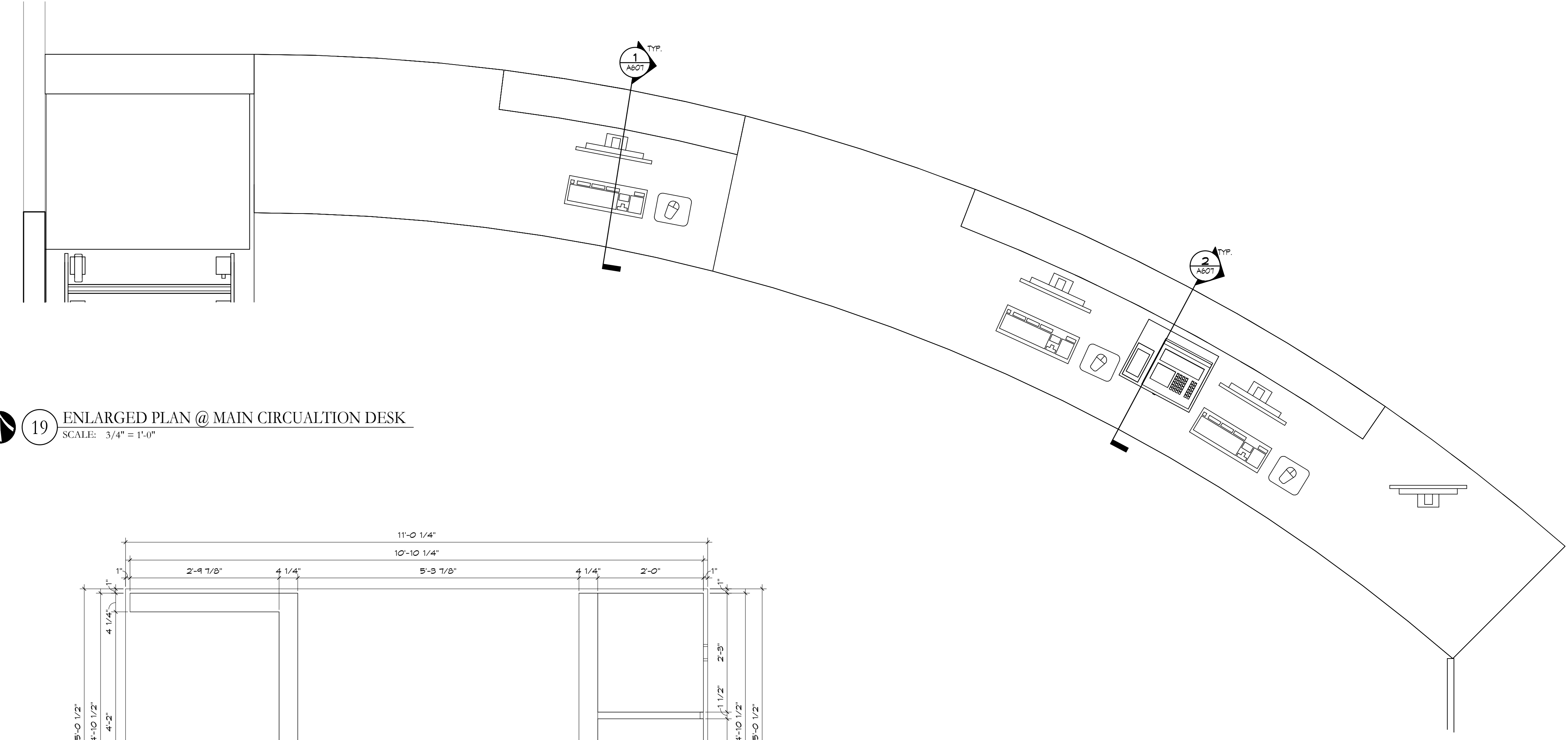
RE-BID DOCUMENTS		08.08.2023
No.	Revisions / Submissions	Date
434 East First Street Dayton, OH 45402 937.223.6500 712 East Main Street Richmond, IN 47374 765.966.3546		
New Castle - Henry County Public Library 376 S 15TH ST NEW CASTLE, IN 47362		
INTERIOR & EXTERIOR RENOVATIONS 376 S 15TH ST NEW CASTLE, IN 47362		
ENLARGED SCALE PLANS, INTERIOR ELEVATIONS		
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22105.00	08.08.2023	
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M.K.S.	A604	
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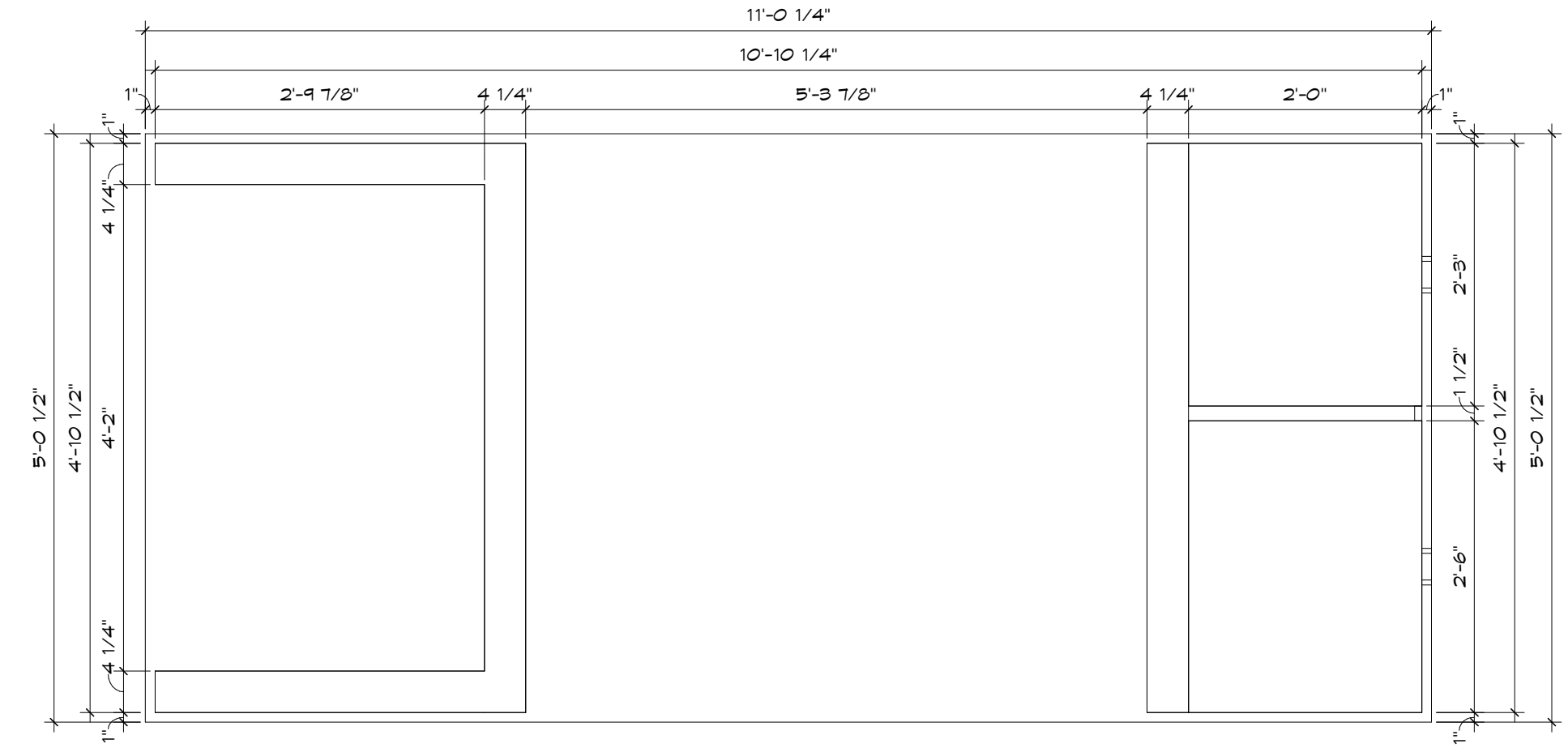
18 TEENS COMPUTER BAR ELEVATION
SCALE: 3/4" = 1'-0"



16 ENLARGED PLAN @ TEENS COMPUTER BAR
SCALE: 3/4" = 1'-0"

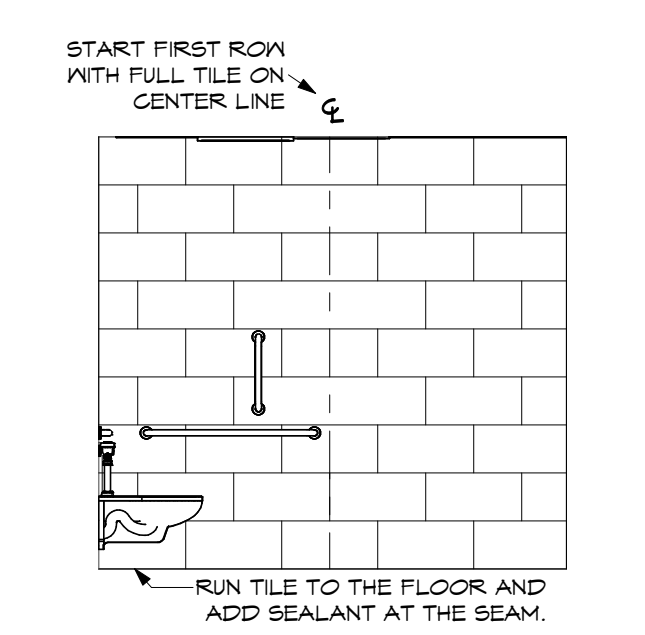
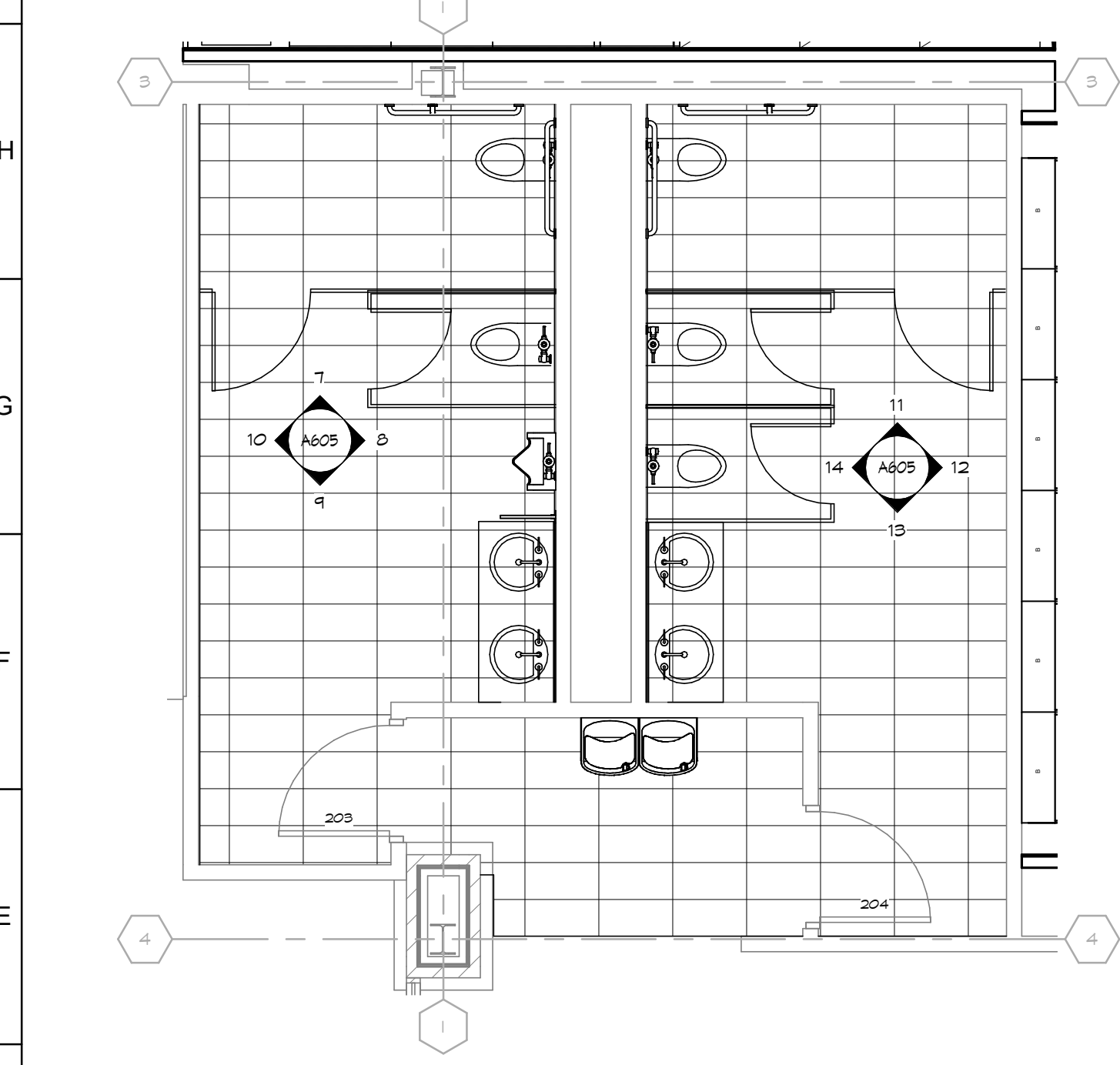


19 ENLARGED PLAN @ MAIN CIRCULATION DESK
SCALE: 3/4" = 1'-0"

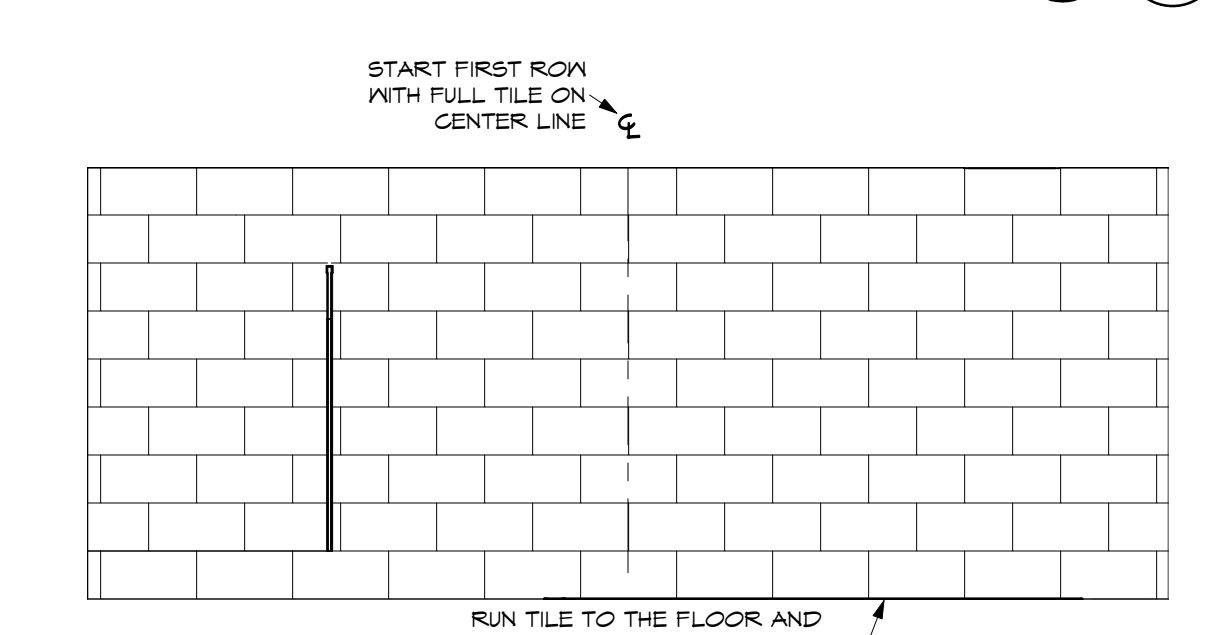


17 ENLARGED PLAN @ STAFF WORK/COPY ROOM ISLAND
SCALE: 3/4" = 1'-0"

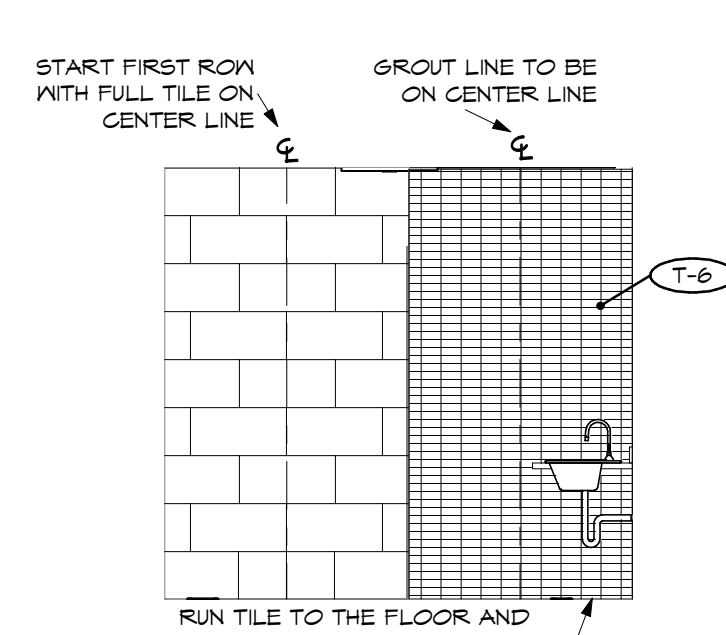
15 ENLARGED PLAN @ CHILDRENS CIRCULATION ISLAND
SCALE: 3/4" = 1'-0"



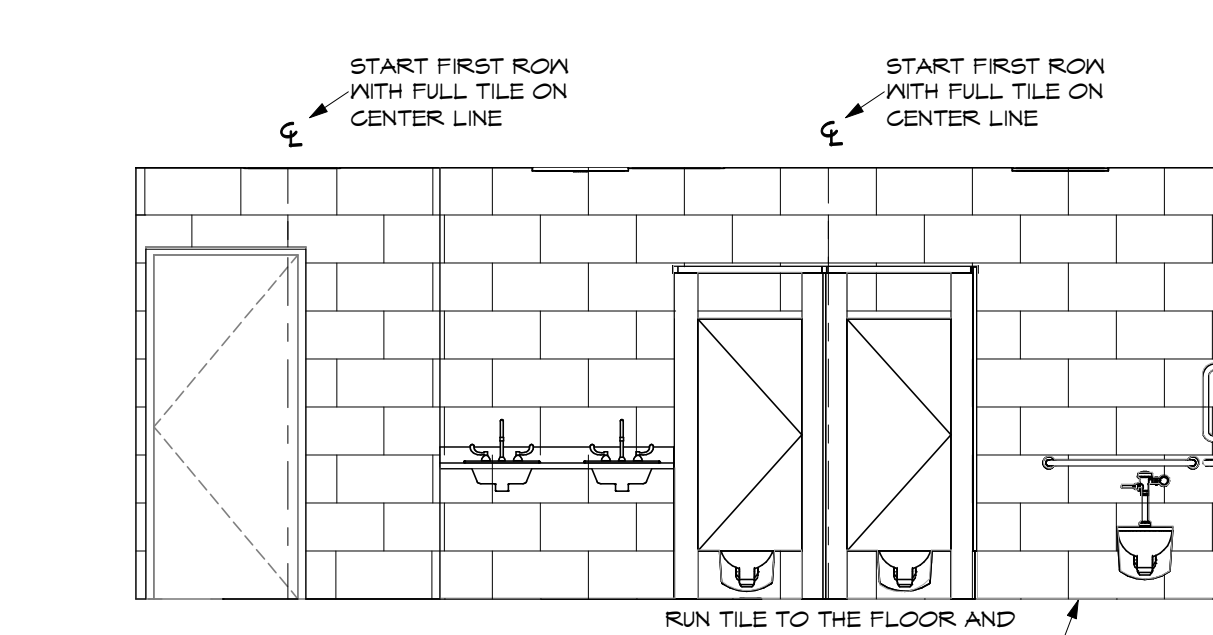
11 WOMENS RR 204 - NORTH
SCALE: 1/4" = 1'-0"



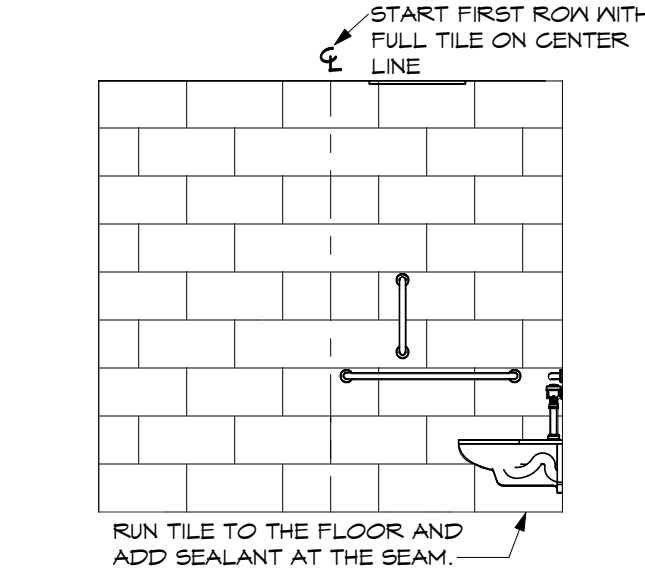
12 WOMENS RR 204 - EAST
SCALE: 1/4" = 1'-0"



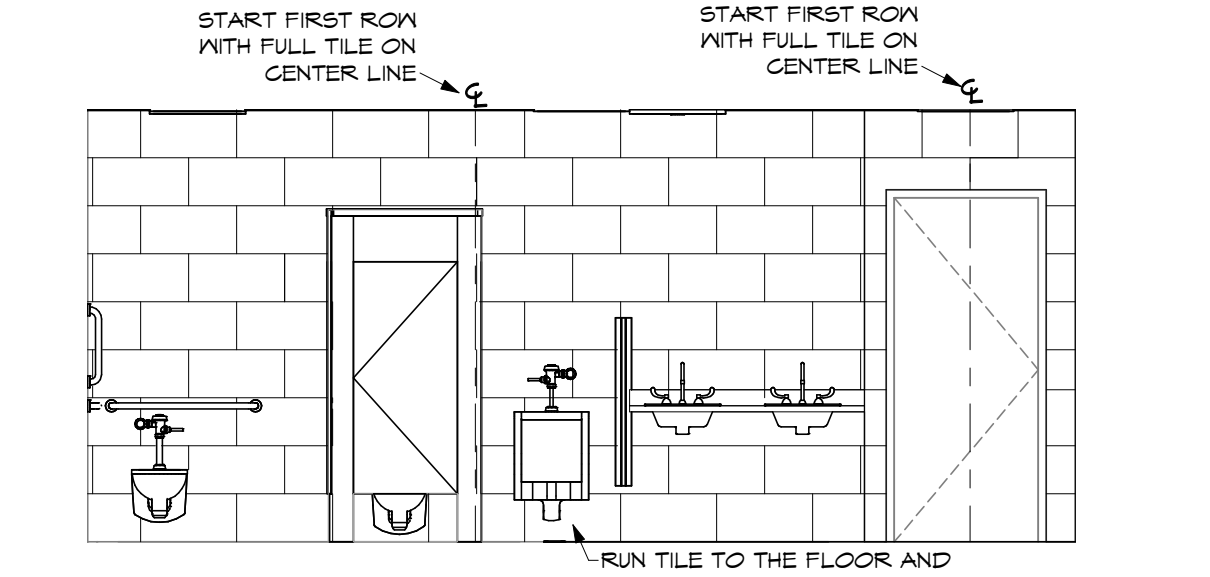
13 WOMENS RR 204 - SOUTH
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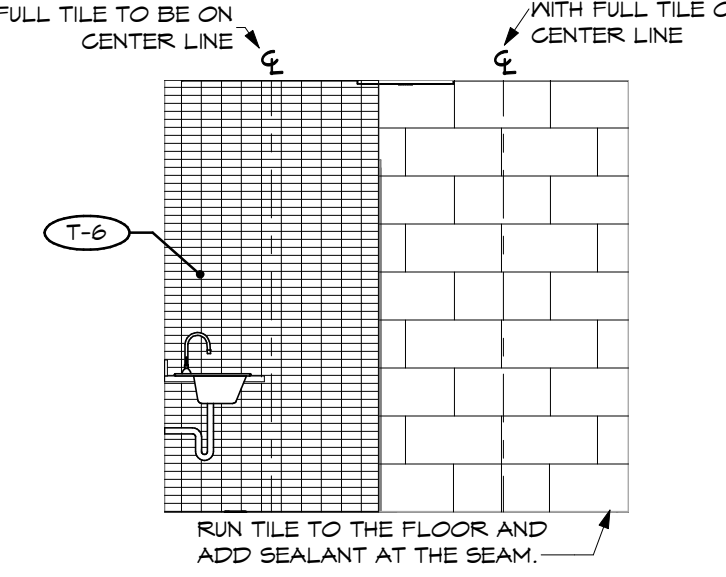
14 WOMENS RR 204 - WEST
SCALE: 1/4" = 1'-0"



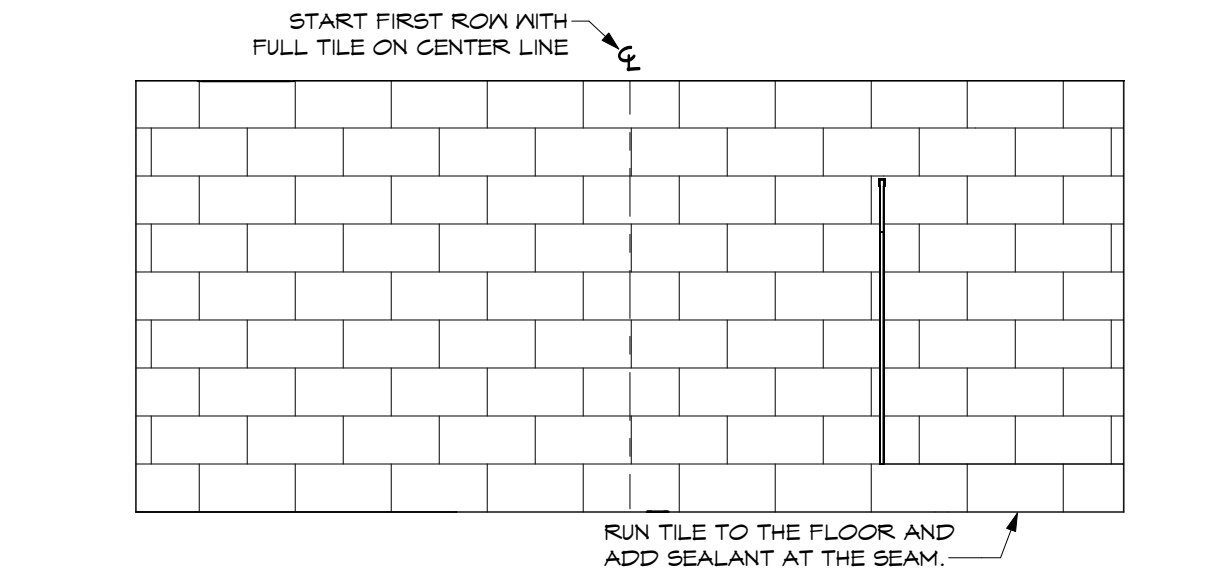
7 MENS RR 203 - NORTH
SCALE: 1/4" = 1'-0"



8 MENS RR 203 - EAST
SCALE: 1/4" = 1'-0"

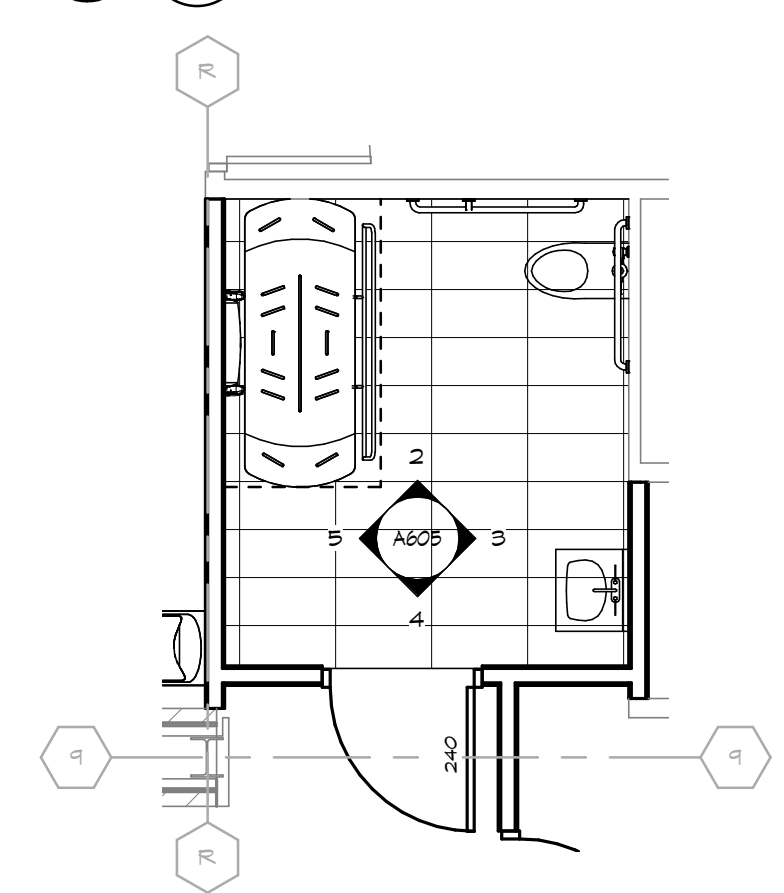


9 MENS RR 203 - SOUTH
SCALE: 1/4" = 1'-0"

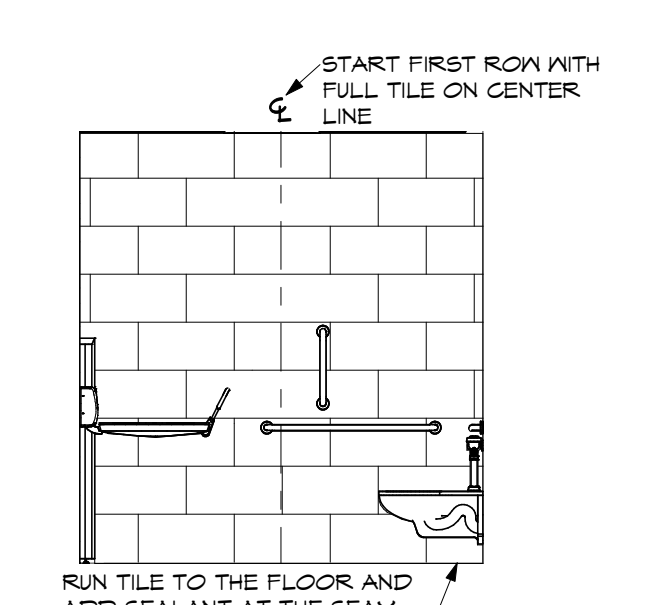


10 MENS RR 203 - WEST
SCALE: 1/4" = 1'-0"

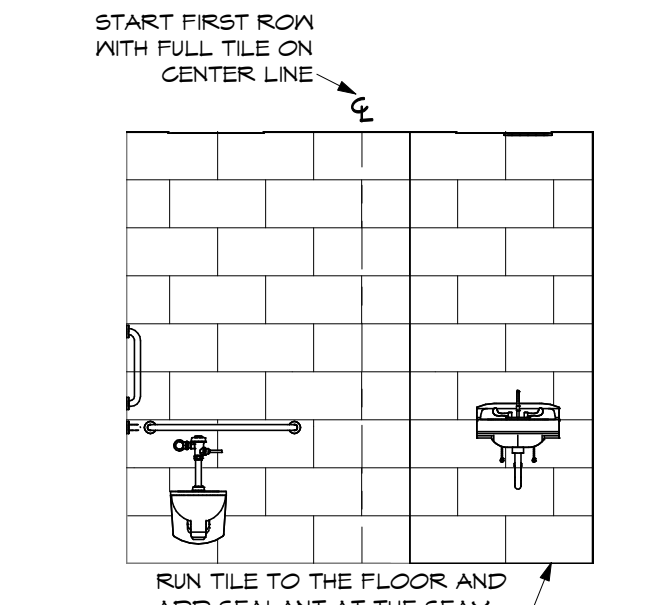
6 UPPER LEVEL GROUP RR
SCALE: 1/4" = 1'-0"



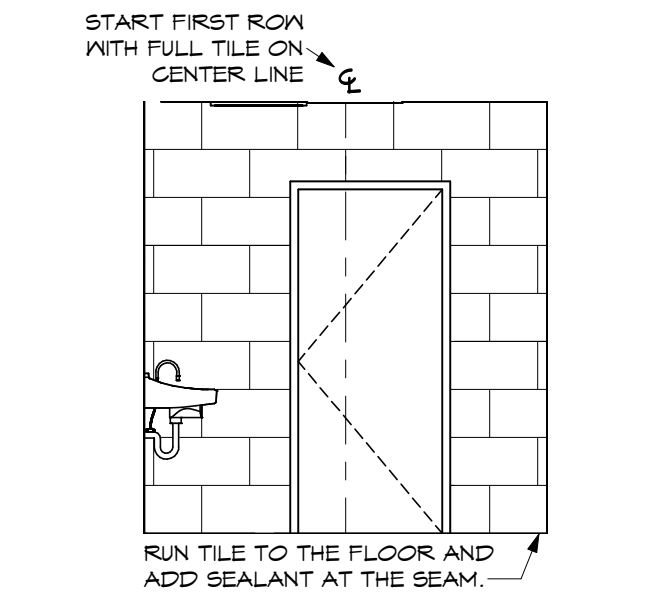
1 ADULT ADA RR 240
SCALE: 1/4" = 1'-0"



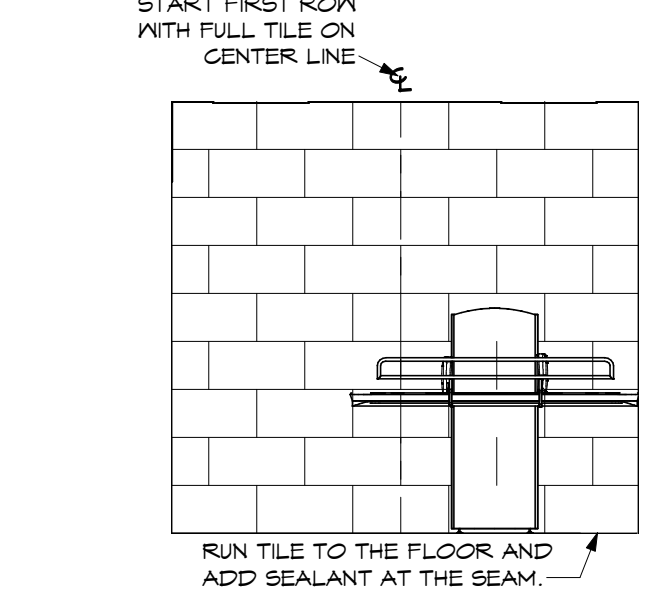
2 ADULT ADA RR 240 - NORTH
SCALE: 1/4" = 1'-0"



3 ADULT ADA RR 240 - EAST
SCALE: 1/4" = 1'-0"



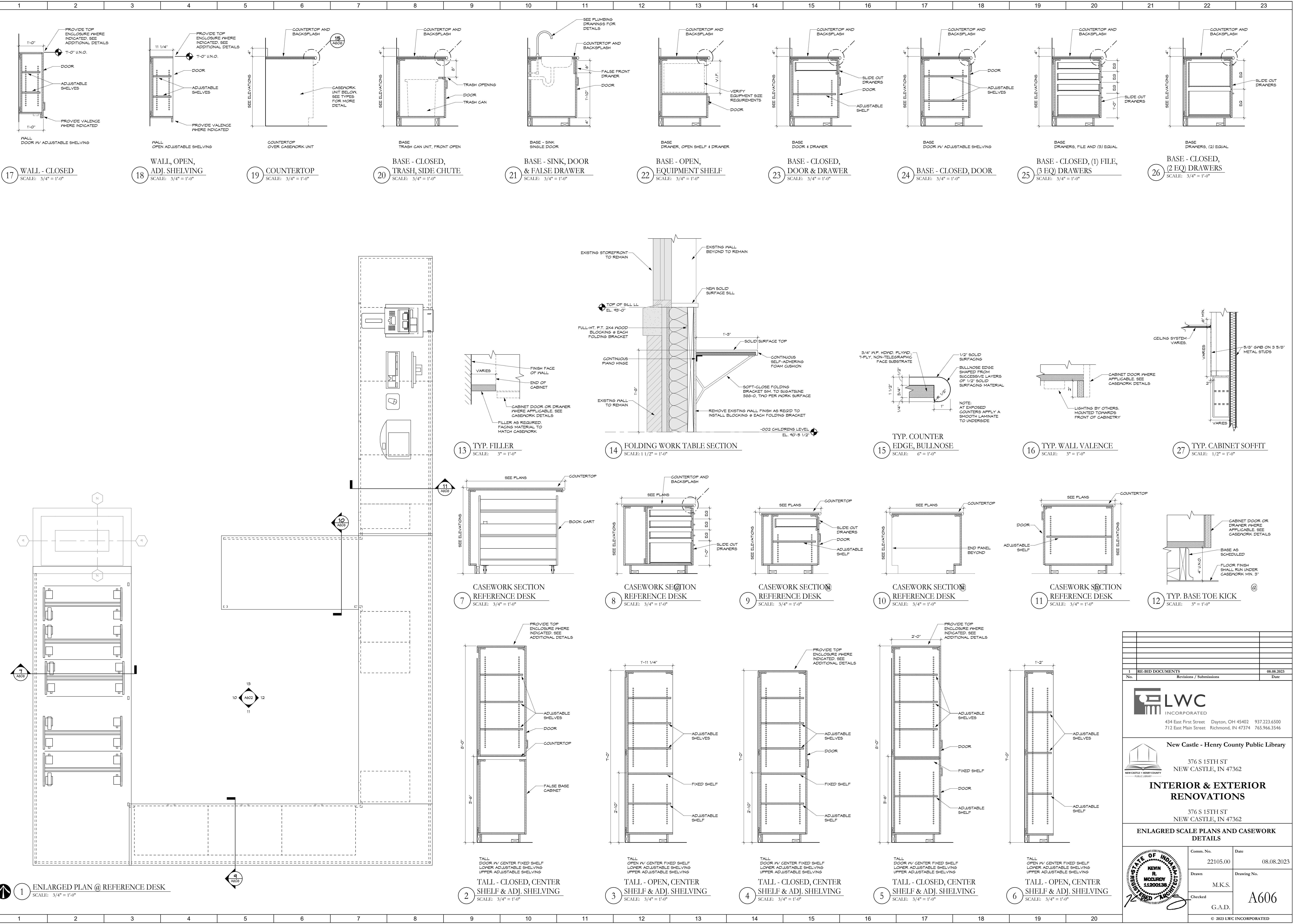
4 ADULT ADA RR 240 - SOUTH
SCALE: 1/4" = 1'-0"



5 ADULT ADA RR 240 - WEST
SCALE: 1/4" = 1'-0"

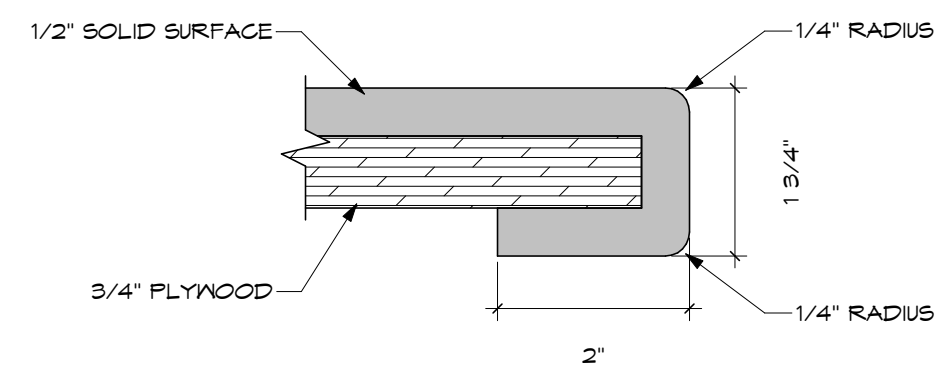
RE-BID DOCUMENTS		08.08.2023
No.	Revisions / Submissions	Date
<p>LWC INCORPORATED 434 East First Street Dayton, OH 45402 937.223.6500 712 East Main Street Richmond, IN 47374 765.966.3546</p>		
<p>New Castle - Henry County Public Library</p> <p>376 S 15TH ST NEW CASTLE, IN 47362</p> <p>INTERIOR & EXTERIOR RENOVATIONS</p> <p>376 S 15TH ST NEW CASTLE, IN 47362</p> <p>ENLARGED SCALE PLANS, INTERIOR ELEVATIONS</p>		
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22105.00		
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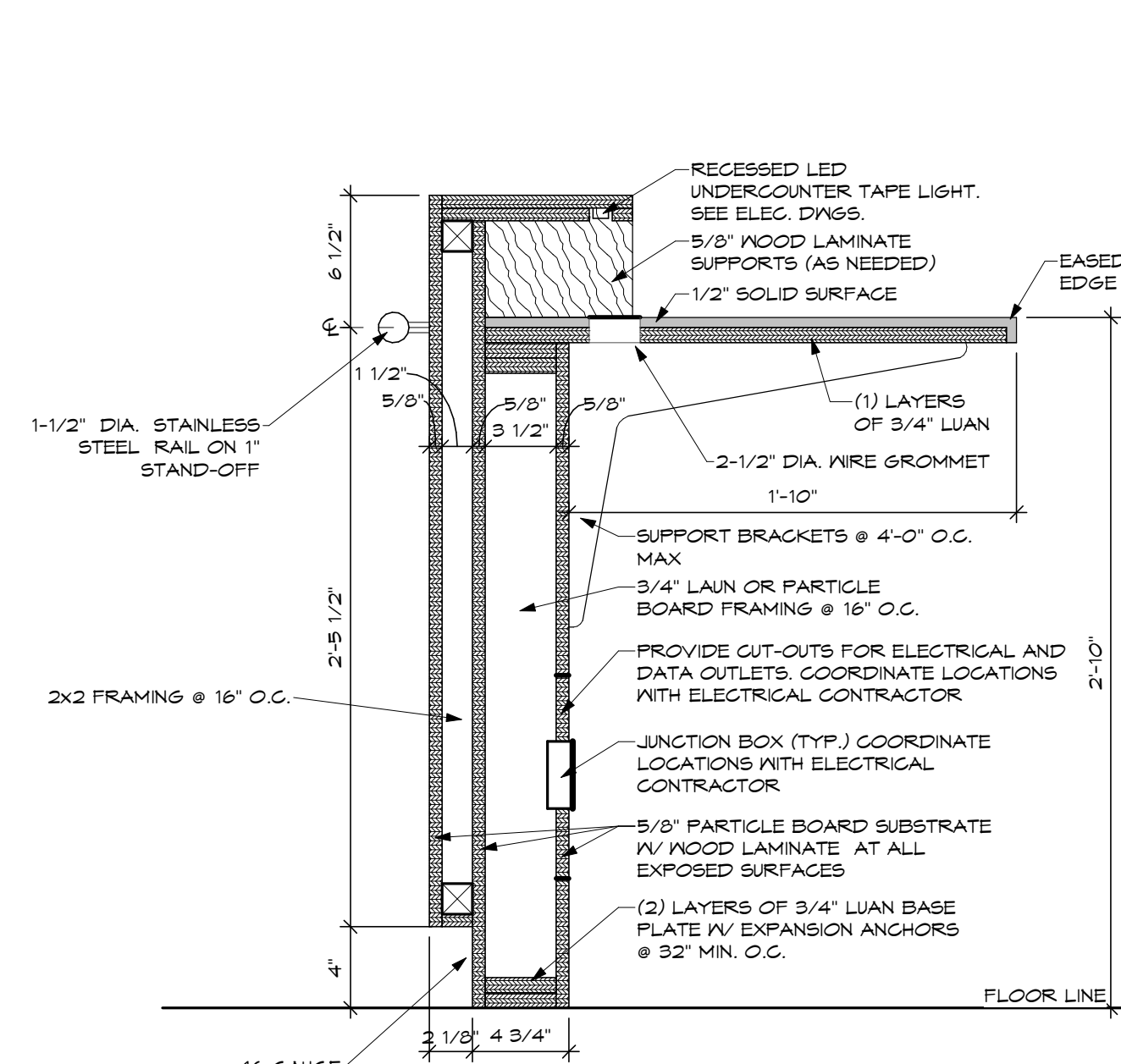


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434 East First Street Dayton, OH 45402 937.223.6500 712 East Main Street Richmond, IN 47374 765.966.3546		
New Castle - Henry County Public Library		
376 S 15TH ST NEW CASTLE, IN 47362		
INTERIOR & EXTERIOR RENOVATIONS		
376 S 15TH ST NEW CASTLE, IN 47362		
ENLARGED SCALE PLANS AND CASEWORK DETAILS		
Comm. No.	Date	08.08.2023
22105.00		
Drawn	M.K.S.	
Checked	G.A.D.	A606
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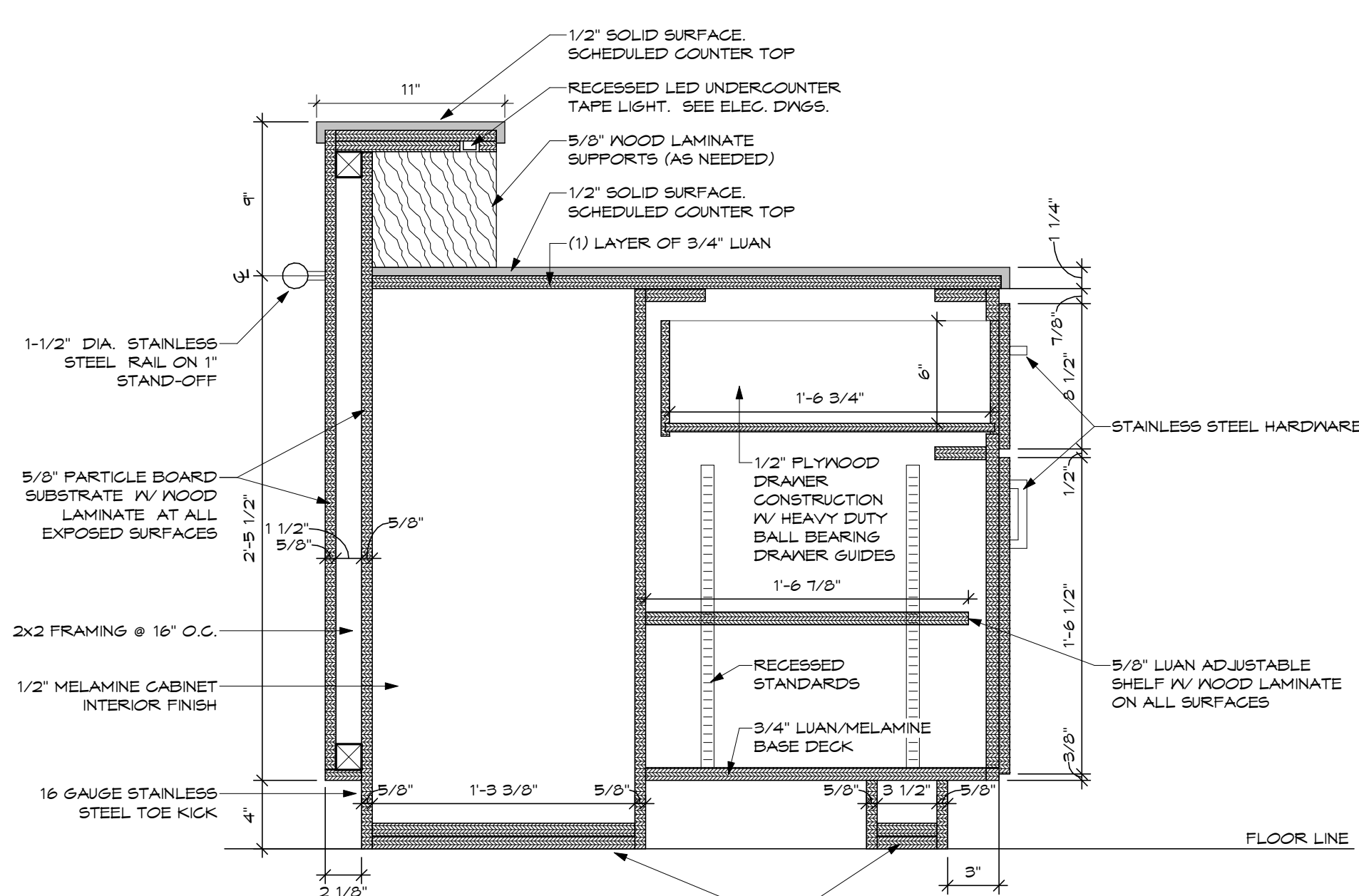
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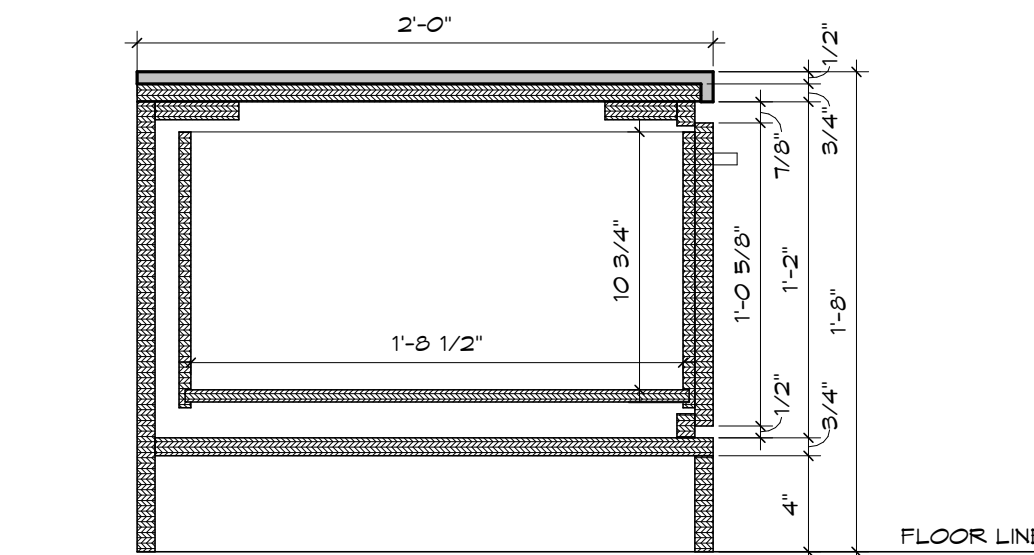
5 TEENS COMPUTER BAR
COUNTERTOP EDGE DETAIL
SCALE: 6" = 1'-0"



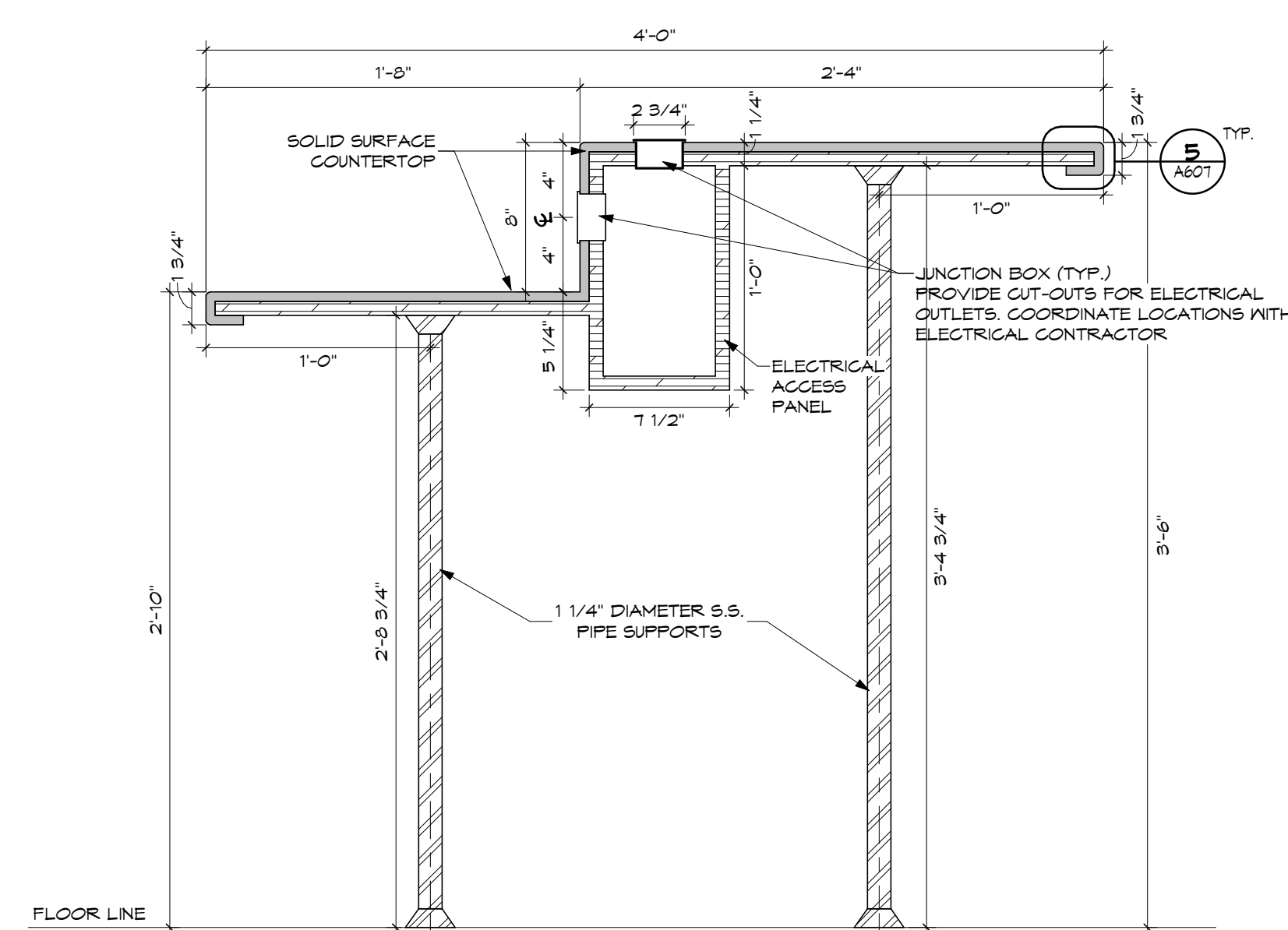
1 CASEWORK SECTION
@ MAIN RECEPTION
SCALE: 1 1/2" = 1'-0"



2 CASEWORK SECTION
@ MAIN RECEPTION
SCALE: 1 1/2" = 1'-0"

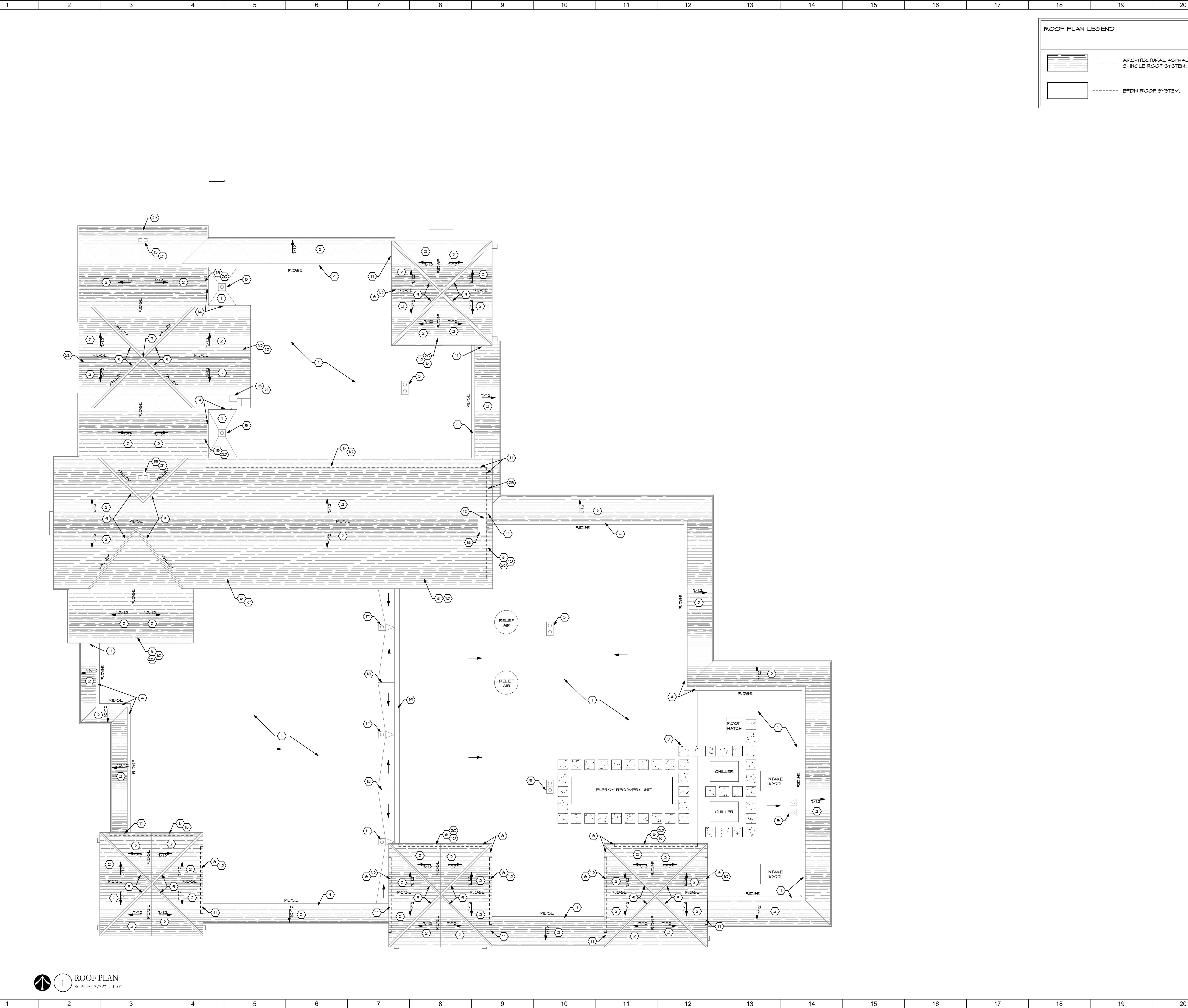


3 MAIN CIRCULATION DESK PRINTER
COUNTER CASEWORK SECTION
SCALE: 1 1/2" = 1'-0"



4 TEENS COMPUTER BAR SECTION
SCALE: 1 1/2" = 1'-0"

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 LWC INCORPORATED 434 East First Street Dayton, OH 45402 937.223.6500 712 East Main Street Richmond, IN 47374 765.966.3546		
New Castle - Henry County Public Library 376 S 15TH ST NEW CASTLE, IN 47362 INTERIOR & EXTERIOR RENOVATIONS 376 S 15TH ST NEW CASTLE, IN 47362 ENLARGED SCALE PLANS AND CASEWORK DETAILS		
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M.K.S.	A607	
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ROOF PLAN LEGEND

	ARCHITECTURAL ASPHALT SHINGLE ROOF SYSTEM.
	EPDM ROOF SYSTEM.

- SHEET NOTES:**
- EXISTING MEMBRANE ROOFING TO REMAIN.
 - EXISTING SHINGLE ROOFING TO REMAIN.
 - NEW SLIP RESISTANT WALKWAY PADS OR ROLLS. REMOVE EXISTING AND REPLACE WITH NEW.
 - EXISTING METAL CAP AT TOP OF PARAPET WALL TO SHINGLE ROOF TO REMAIN (TYP).
 - EXISTING ROOF DRAIN AND OVERFLOW TO REMAIN.
 - REMOVE AND REPLACE SEALANT AT METAL WALL FLASHING AND/OR MEMBRANE ROOF FLASHING (TYP).
 - REWORK VALLEY FLASHING AT PEAK. TERMINATE FLASHING UNDER CAP SHINGLES AND EXTEND CAP SHINGLES ACROSS RIDGES.
 - CLEAN EIFS SOFFIT AND REFINISH (TYP).
 - EXISTING METAL VALLEY FLASHING TO REMAIN (TYP).
 - CLEAN EIFS SOFFIT AND WALL SURFACE. REFINISH AND REPLACE JOINT SEALANT (TYP).
 - REMOVE AND REPLACE SEALANT ALONG FLASHING TO WALL AT TOP OF SHINGLE ROOF.
 - CLEAN ALL EXISTING PLASTER AND WOOD WALL AND SOFFIT AREAS. PREP AND PAINT TO MATCH EXISTING.
 - REPAIR EXISTING WOOD TRIM AT DORMER WINDOW. PAINT AND COVER WITH ALUMINUM MATCHING EXISTING.
 - REMOVE EXISTING GUTTERS. REPLACE WOOD FASCIA AND SOFFIT AND COVER WITH ALUMINUM FASCIA AND SOFFIT COVERS TO MATCH EXISTING COLOR. INSTALL NEW ALUMINUM GUTTERS AND DOWNSPOUTS.
 - REMOVE AND REPLACE SEALANT AT CHIMNEY STEP FLASHING.
 - REMOVE AND REPLACE CHIMNEY CAP FLASHING.
 - EXISTING ROOF DRAIN TO REMAIN.
 - EXISTING TAPERED INSULATION AREA TO REMAIN.
 - EPDM FLASHED CURB. REPAIR AND REWORK FLASHING AND EPDM WRAP ALONG CURB AND AT ENDS WHERE IT ABUTS SHINGLE ROOF.
 - REMOVE AND REPLACE SEALANT AT PERIMETER OF DORMER WINDOW.
 - REMOVE EXISTING CONCRETE CAP. REPAIR CLAY TILE FLUES AS NEEDED AND REPLACE WITH NEW FLASHING CAP. PROVIDE 1 1/2" DRIP AT PERIMETER OF CAP.

- GENERAL NOTES:**
- ALL EXISTING PLASTER SOFFITS & EIFS SOFFITS SHALL BE CLEANED AND REFINISHED.
 - ALL EXTERIOR STONE VENEER, PLASTER, & CONCRETE WALL SURFACES & EXTERIOR SILLS SHALL BE CLEANED WITH BIOLOGIC SOLUTION TO REMOVE BIOLOGICAL GROWTH & STAINING.
 - ALL PERIMETER SEALANT AT CURTAIN WALL, STOREFRONT WINDOWS, DORMER WINDOWS & DOOR FRAMES TO BE REPLACED WITH NEW BACKER ROD & SEALANT.
 - ALL SEALANT IN EXPANSION & CONTROL JOINTS IN MASONRY, PLASTER & EIFS SURFACES SHALL BE REPLACED.
 - REMOVE EXISTING SEALANT IN JOINTS WHERE PLASTER OR EIFS SOFFITS ABUT WALL SURFACES. & REPLACE WITH NEW BACKER ROD & SEALANT.
 - SEE PLUMBING, MECHANICAL, & ELECTRICAL FOR RELATED ITEMS ON THE ROOF.

RE-BID DOCUMENTS		08.08.2023
No.	Revisions / Submissions	Date

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ROOF PLAN

Comm. No.	Date
22105.00	08.08.2023
Drawn	Drawing No.
M.K.S.	A900
Checked	
G.A.D.	

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1 ROOF PLAN
SCALE: 3/32" = 1'-0"

Grid lines 1 through 23 and A through R, defining the drawing's coordinate system.

ROOM FINISH SCHEDULE table with columns: ARCH ROOM NO., ROOM NAME, NORTH, EAST, SOUTH, WEST, FLOORINGS, BASE, CEILINGS, REMARKS. Includes sections for 00 LOWER LEVEL and 01 UPPER LEVEL.

FINISH MATERIAL SCHEDULE table with columns: CODE, MATERIAL, MANUFACTURER, DESCRIPTION / PATTERN, COLOR / MATERIAL, REMARKS. Lists various materials like acoustic panels, tiles, and carpet.

GENERAL NOTES:

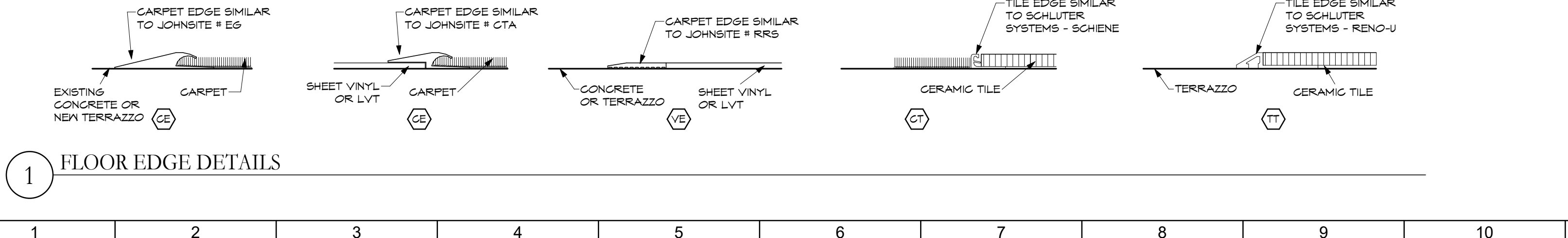
- A. PAINTS OR FINISHES OF MISCELLANEOUS ITEMS NOT SPECIFICALLY MENTIONED IN THE ROOM FINISH SCHEDULE SHALL INCLUDE AND NOT BE LIMITED TO THE FOLLOWING:
B. EXPPOSED STEEL STAIRS COMPONENTS...
C. SEE DIVISIONS 15 AND 16 OF THE SPECIFICATIONS AND MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION FOR PAINTING OF MECHANICAL AND ELECTRICAL ITEMS...
D. COORDINATE ALL FINISH CONCERNS IN FIELD WITH ARCHITECT PRIOR TO INSTALLATION.
E. CONTRACTOR SHALL PROVIDE MATERIAL SAMPLES FOR ALL SPECIFIED FINISHES PRIOR TO CONSTRUCTION.
F. ALL MATERIALS SHALL BE INSTALLED USING MANUFACTURER'S RECOMMENDED FABRICATION AND INSTALLATION PROCEDURES AND ADHESIVES.
G. REVIEW TRANSITIONS SPECIFICATIONS FOR FLOORING TRANSITIONS.
H. ALL FINISH MATERIALS SHALL MEET THE REQUIREMENTS OF CHAPTER 8 OF THE CURRENT INTERNATIONAL BUILDING CODES AS ADOPTED BY THE A.H.J.
I. SOFFIT OR BULKHEAD PAINT TO CONTINUE FROM FACE SIDE(S) TO UNDERSIDE, UNLESS OTHERWISE NOTED.
J. ALL BULKHEAD AND SOFFIT PAINT TO BE EGGSHELL FINISH.
K. ALL ACoustical CEILING TO BE FINISH CODE ACT-1 UNLESS OTHERWISE NOTED. SEE RCP FOR FURTHER INFORMATION.
L. WEATHER FLOORING MATERIALS WITH TWO TYPES OF MATERIALS ADJACENT SHALL MATCH ADJACENT WALL OR CEILING COLOR UNLESS OTHERWISE NOTED.
M. ALL BASE TO BE FINISH CODE TB-1 UNLESS OTHERWISE NOTED.
N. ALL ACoustical CEILING TO BE FINISH CODE ACT-1 UNLESS OTHERWISE NOTED.
O. ALL WALLS TO BE PAINT FINISH CODE P-1 UNLESS OTHERWISE NOTED.
P. ALL DOOR FRAMES TO BE PAINTED FINISH CODE P-2 UNLESS OTHERWISE NOTED.
Q. ALL RESIDENT SHEET FLOORINGS SEAMS TO BE WELDED PER MP9'S RECOMMENDATIONS IN COLOR MATCHING FIELD ROOMS.
R. ALL SOLID SURFACE SEAMS TO BE HARD SEAM (NO SEAMS SHOWN).
S. USE MP9'S RECOMMENDED MAXIMUM WIDTHS TO MINIMIZE THE NUMBER OF SEAMS IN SOLID SURFACE.
T. REVIEW INTERIOR ELEVATIONS FOR APPLICATION OF RESIN PANELS. PANEL JOINTS TO BE ALIGNED AND UNIFORMLY COATED. USE A MINIMUM AMOUNT OF SOLVENT TO PREVENT POOLING.
U. RESIN PANELS TO BE SELF-EDGING. ANY EXPOSED EDGES TO BE SANDED TO A SMOOTH, EVEN FINISH.
V. PROVIDE PLASTIC CORNER GUARDS AS INDICATED BY 'C.G.' AND ADOPTED CORNER GUARDS AS INDICATED BY 'A.C.G.' ON DRAWINGS. SEE INTERIOR FINISH SCHEDULE FOR FURTHER INFORMATION.
W. CORNER GUARDS TO BE HALF HEIGHT UNLESS OTHERWISE NOTED.
X. INCLUDE ALL NECESSARY TRIM PIECES FOR WALL PROTECTION AND COLOR MATCHING END CAPS FOR ALL CORNER GUARDS.
Y. RIGID SHEET WALL PROTECTION TO HAVE COLOR MATCHING TRIM CAP TO FINISH TOP EDGE. GAULKED TO SEAL ALL EDGES.
Z. RIGID SHEET WALL PROTECTION TO BUTT JOINT WITH COLOR MATCHED CAULK FOR ALL SEAMS, UNLESS OTHERWISE NOTED.
AA. RIGID SHEET WALL PROTECTION TO BUTT JOINT WITH COLOR MATCHED CAULK FOR ALL SEAMS, UNLESS OTHERWISE NOTED.
BB. RIGID SHEET WALL PROTECTION TO BE 4'-0" IN ROLL WITH MINIMAL SEAMS.

RE-BID DOCUMENTS table with columns: No., Revisions / Submissions, Date. Entry: 08.08.2023.

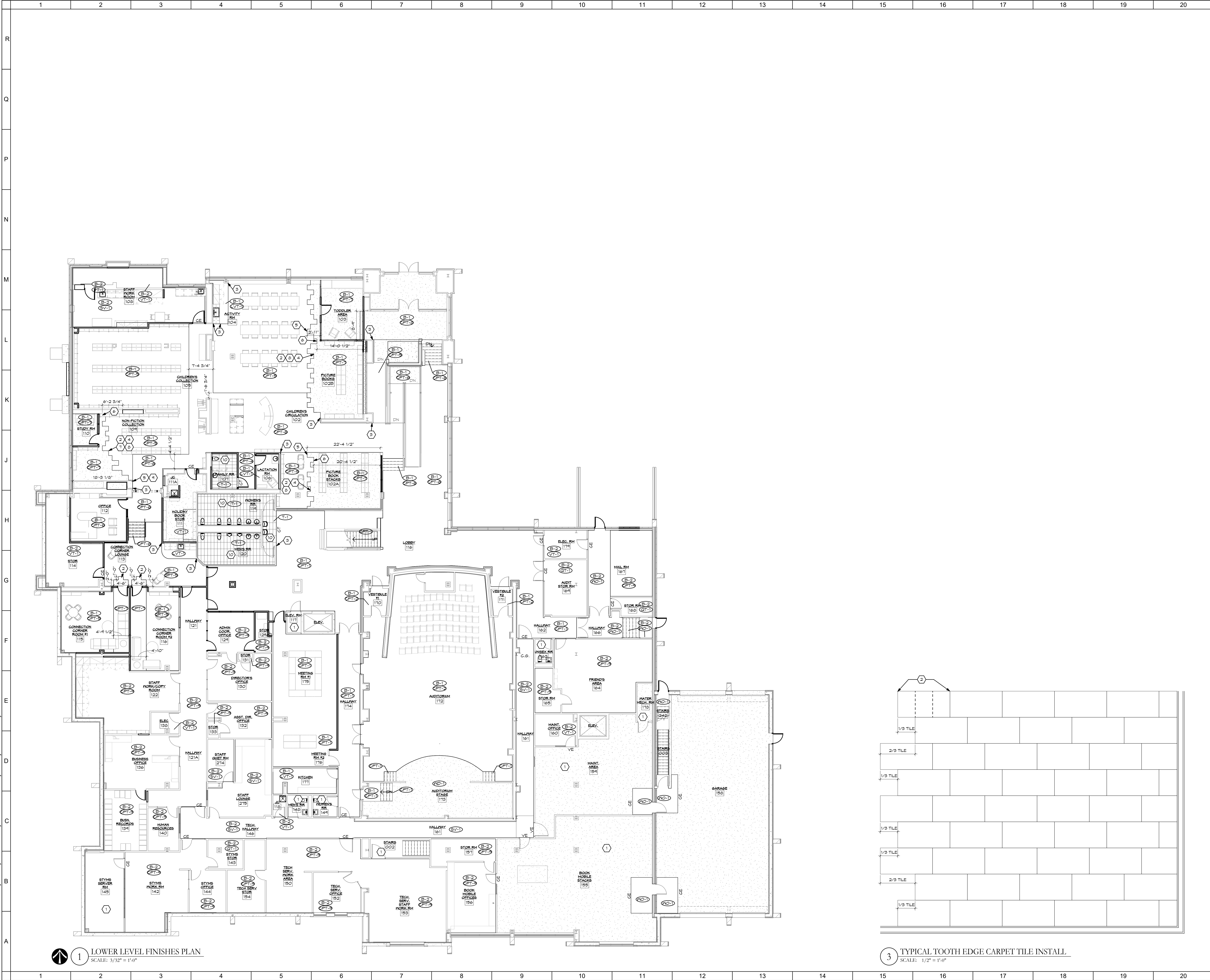
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INTERIOR DESIGN SCHEDULES & DETAILS



Project information: Comm. No. 22105.00, Date 08.08.2023, Drawing No. M.K.S., Checked G.A.D., ID001, © 2023 LWC INCORPORATED.



- SHEET NOTES:**
- EXISTING FLOORING TO REMAIN.
 - ACCENT FLOORING PATTERN TO START WITH FULL CARPET TILE.
 - ALIGN FLOOR PATTERN WITH EDGE OF WALL.
 - TOOTHED EDGE CARPET PATTERN TO BE RANDOMLY STAGGERED AT 1/3 INCREMENTS OF CARPET TILE.
 - TOOTHED EDGE CARPET PATTERN NOT TO BE LONGER THAN THIS LENGTH.
 - TOOTHED EDGE CARPET PATTERN NOT TO BE SHORTER THAN THIS LENGTH.
 - TOOTHED EDGE CARPET PATTERN TO GRADUALLY INCREASE AS IT GOES TOWARD THE FIREPLACE.
 - SEE TYPICAL LAYOUT DETAIL FOR TOOTHED EDGE INSTALL.
 - PARTIAL WIDTH TILE HEIGHT TO ALIGN WITH FULL WIDTH TILE HEIGHT ADJACENT TO IT.
 - TILE FLOOR TO BE CENTERED IN ROOM.
 - SEE ELEVATIONS ON SHEET A604 FOR RESTROOMS WALL FINISHES AND TILE PATTERN.
 - NOT USED.
 - FEATURE DIGITAL WALLCOVERING.
 - WALL PROTECTION TO END 0'-3" ABOVE DRINKING FOUNTAIN AND BOTTLE FILLER.
 - FEATURE RANDOM FILM.

- GENERAL NOTES:**
- PAINTING OR FINISHING OF MISCELLANEOUS ITEMS NOT SPECIFICALLY MENTIONED IN THE ROOM FINISH SCHEDULE SHALL INCLUDE AND NOT BE LIMITED TO THE FOLLOWING:
 - HOLLOW METAL DOORS, DOOR FRAMES, AND BORROWED LITE FRAMES, RAILINGS.
 - EXPOSED STEEL STAIRS COMPONENTS.
 - SEE DIVISIONS 15 AND 16 OF THE SPECIFICATIONS AND MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION FOR PAINTING OF MECHANICAL AND ELECTRICAL ITEMS. ALL EXPOSED DUCTWORK, PIPING CONDUIT, HANGERS, ETC. SHALL BE PAINTED TO MATCH ADJACENT WALL OR CEILING COLOR UNLESS OTHERWISE NOTED.
 - WOOD DOORS ARE TO BE FACTORY FINISHED.
 - SEE INTERIOR FINISH FLOOR PLANS FOR EXTENT OF WALL AND FLOORING FINISHES AND FOR FLOOR PATTERN LAYOUT AND DIMENSIONS.
 - COORDINATE ALL FINISH CONCERNS IN FIELD WITH ARCHITECT PRIOR TO INSTALLATION.
 - CONTRACTOR SHALL PROVIDE MATERIAL SAMPLES FOR ALL SPECIFIED FINISHES PRIOR TO CONSTRUCTION.
 - ALL MATERIALS SHALL BE INSTALLED USING MANUFACTURER'S RECOMMENDED FABRICATION AND INSTALLATION PROCEDURES AND ADHESIVES.
 - REVEAL TRANSITIONS SPECIFICATIONS FOR FLOORING TRANSITIONS.
 - ALL FINISH MATERIALS SHALL MEET THE REQUIREMENTS OF CHAPTER 8 OF THE CURRENT INTERNATIONAL BUILDING CODE AS ADOPTED BY THE A.H.J.
 - SCOFFIT OR BULKHEAD PAINT TO CONTINUE FROM FACE SIDE(S) TO UNDERSIDE, UNLESS OTHERWISE NOTED.
 - ALL BULKHEAD AND SCOFFIT PAINT TO BE EGGSHELL FINISH.
 - ALL ACOUSTICAL GELINGS TO BE FINISH CODE ACT-1 UNLESS OTHERWISE NOTED. SEE RCP FOR FURTHER INFORMATION.
 - FEATHER FLOORING MATERIALS WHEN TWO TYPES OF MATERIALS ADJON.
 - PAINT GRILLES TO MATCH ADJACENT WALL SURFACE.
 - ALL BASES TO BE FINISH CODE B-1 UNLESS OTHERWISE NOTED.
 - ALL ACOUSTICAL GELINGS TO BE FINISH CODE 'ACT-1' UNLESS OTHERWISE NOTED.
 - ALL WALLS TO BE PAINT FINISH CODE 'P-1' UNLESS OTHERWISE NOTED.
 - ALL DOOR FRAMES TO BE PAINTED FINISH CODE 'P-2' UNLESS OTHERWISE NOTED.
 - ALL RESILIENT SHEET FLOORING SEAMS TO BE WELDED PER MFG'S RECOMMENDATIONS IN COLOR MATCHING FIELD (SEE RCP).
 - ALL SOLID SURFACE SEAMS TO BE HARD BEAM (NO SEAMS SHOWING).
 - USE MFG'S RECOMMENDED MAXIMUM WIDTHS/LENGTHS TO MINIMIZE THE NUMBER OF SEAMS IN SOLID SURFACE.
 - REVIEW INTERIOR ELEVATIONS FOR APPLICATION OF RESIN PANELS. PANEL JOINTS TO BE ALIGNED AND UNIFORMLY COATED. USE A MINIMUM AMOUNT OF SOLVENT TO PREVENT ROOING.
 - RESIN PANELS TO BE SELF-EDGING. ANY EXPOSED EDGES TO BE SANDED TO A SMOOTH, EVEN FINISH.
 - PROVIDE PLASTIC CORNER GUARDS AS INDICATED BY 'C.G.' AND WOODEN CORNER GUARDS AS INDICATED BY 'W.C.G.' ON DRAWINGS. SEE INTERIOR FINISH SCHEDULE FOR FURTHER INFORMATION.
 - CORNER GUARDS TO BE HALF HEIGHT UNLESS OTHERWISE NOTED.
 - INCLUDE ALL NECESSARY TRIM PIECES FOR WALL PROTECTION AND COLOR MATCHING END CAPS FOR ALL CORNER GUARDS.
 - RIGID SHEET WALL PROTECTION TO HAVE COLOR MATCHING TRIM CAP TO FINISH TOP EDGE. CALKED TO SEAL ALL EDGES.
 - RIGID SHEET WALL PROTECTION TO BUTT JOINT WITH COLOR MATCHED CALK FOR ALL SEAMS, UNLESS OTHERWISE NOTED.
 - RIGID SHEET WALL PROTECTION TO BE 4'-0" H ROLL WITH MINIMAL SEAMS.

RE-BID DOCUMENTS		08.08.2023
No.	Revisions / Submissions	Date

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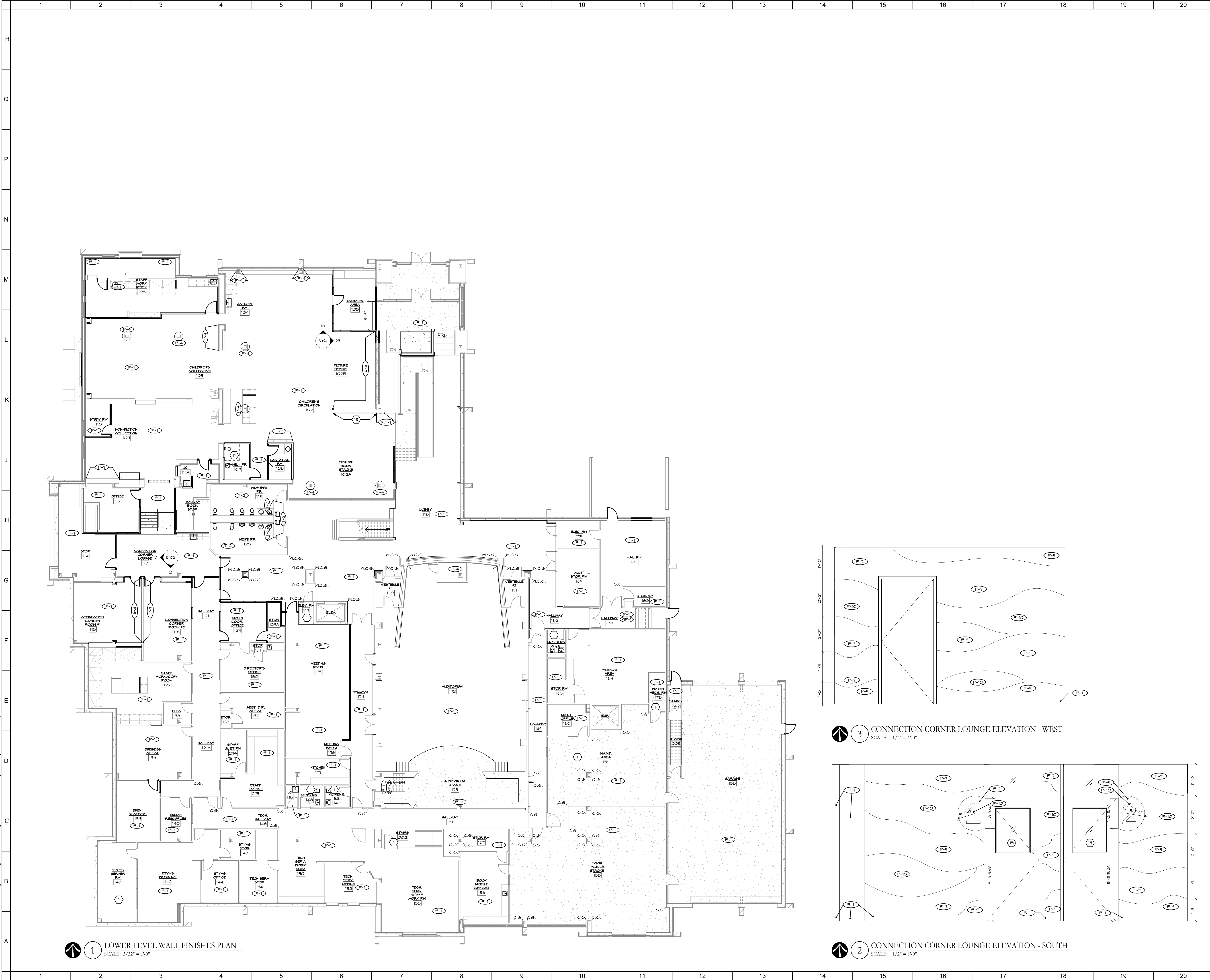
LOWER LEVEL FLOOR FINISH PLAN

Comm. No.	22105.00	Date	08.08.2023
Drawn	M.K.S.	Drawing No.	ID101
Checked	G.A.D.		

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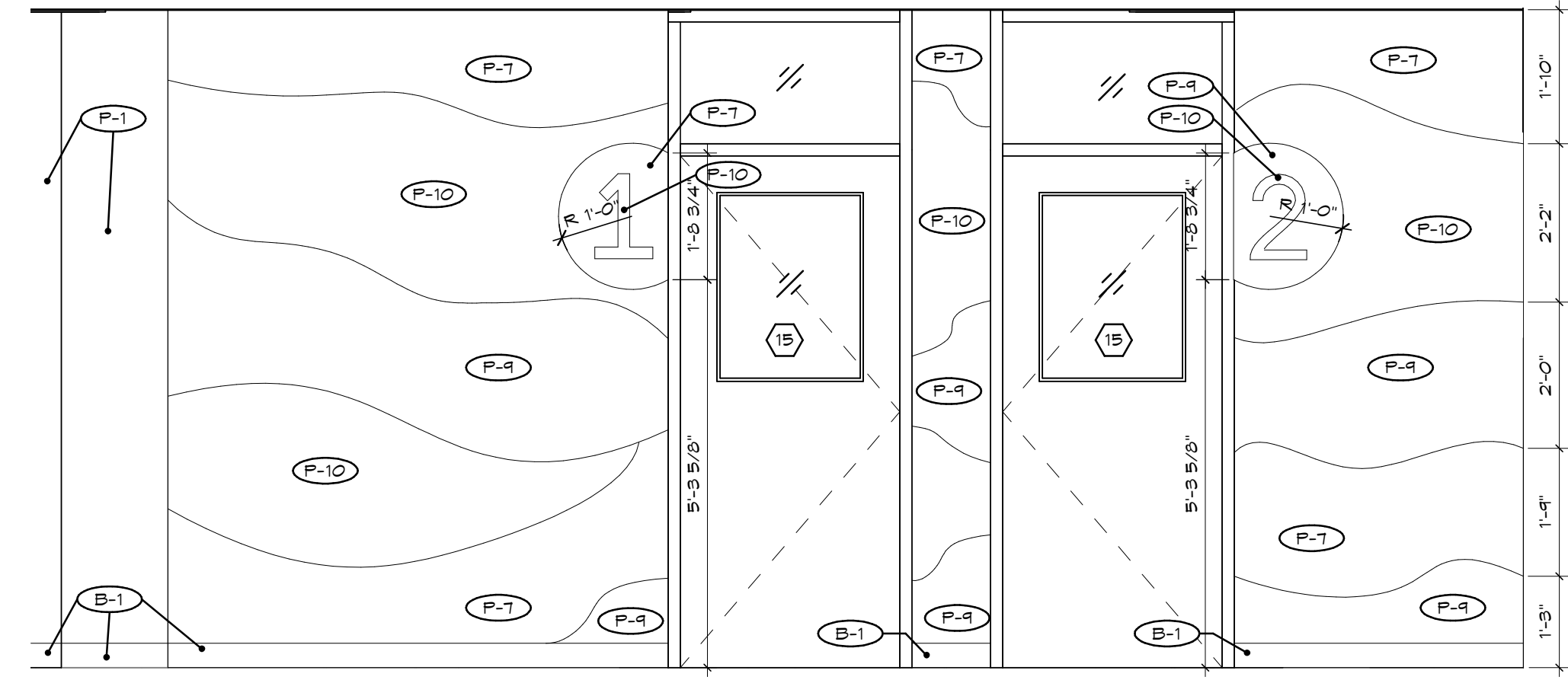
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1 LOWER LEVEL WALL FINISHES PLAN
SCALE: 3/32" = 1'-0"

3 CONNECTION CORNER LOUNGE ELEVATION - WEST
SCALE: 1/2" = 1'-0"



2 CONNECTION CORNER LOUNGE ELEVATION - SOUTH
SCALE: 1/2" = 1'-0"

- SHEET NOTES:**
- EXISTING FLOORING TO REMAIN.
 - ACCENT FLOORING PATTERN TO START WITH FULL CARPET TILE.
 - ALIGN FLOOR PATTERN WITH EDGE OF WALL.
 - TOOTHED EDGE CARPET PATTERN NOT TO BE LONGER THAN THIS LENGTH.
 - TOOTHED EDGE CARPET PATTERN NOT TO BE SHORTER THAN THIS LENGTH.
 - TOOTHED EDGE CARPET PATTERN NOT TO BE SHORTER THAN THIS LENGTH.
 - TOOTHED EDGE CARPET PATTERN TO GRADUALLY INCREASE AS IT GOES TOWARD THE FIREPLACE.
 - SEE TYPICAL LAYOUT DETAIL FOR TOOTHED EDGE INSTALL.
 - PARTIAL WIDTH TILE HEIGHT TO ALIGN WITH FULL WIDTH TILE HEIGHT ADJACENT TO IT.
 - TILE FLOOR TO BE CENTERED IN ROOM.
 - SEE ELEVATIONS ON SHEET A604 FOR RESTROOMS WALL FINISHES AND TILE PATTERN.
 - NOT USED.
 - FEATURE DIGITAL WALLCOVERING.
 - WALL PROTECTION TO END 0'-2" ABOVE DRINKING FOUNTAIN AND BOTTLE FILLER.
 - FEATURE RANDOM FILM.

- GENERAL NOTES:**
- PAINING OR FINISHING OF MISCELLANEOUS ITEMS NOT SPECIFICALLY MENTIONED IN THE ROOM FINISH SCHEDULE SHALL INCLUDE AND NOT BE LIMITED TO THE FOLLOWING:
 - HOLLOW METAL DOORS, DOOR FRAMES, AND BORROWED LITE FRAMES, RAILINGS.
 - EXPOSED STEEL STAIRS COMPONENTS.
 - SEE DIVISIONS 15 AND 16 OF THE SPECIFICATIONS AND MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION FOR PAINTING OF MECHANICAL AND ELECTRICAL ITEMS. ALL EXPOSED DUCTWORK, PIPING CONDUIT, HANGERS, ETC. SHALL BE PAINTED TO MATCH ADJACENT WALL OR CEILING COLOR UNLESS OTHERWISE NOTED.
 - WOOD DOORS ARE TO BE FACTORY FINISHED.
 - SEE INTERIOR FINISH FLOOR PLANS FOR EXTENT OF WALL AND FLOORING FINISHES AND FOR FLOOR PATTERN LAYOUT AND DIMENSIONS.
 - COORDINATE ALL FINISH CONCERNS IN FIELD WITH ARCHITECT PRIOR TO INSTALLATION.
 - CONTRACTOR SHALL PROVIDE MATERIAL SAMPLES FOR ALL SPECIFIED FINISHES PRIOR TO CONSTRUCTION.
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 - ALL BULKHEAD AND SCOFFIT PAINT TO BE EGGSHELL FINISH.
 - ALL ACOUSTICAL GELINGS TO BE FINISH CODE ACT-1 UNLESS OTHERWISE NOTED. SEE RCP FOR FURTHER INFORMATION.
 - FEATHER FLOORING MATERIALS WHEN TWO TYPES OF MATERIALS ADJOIN.
 - PAINT GRILLES TO MATCH ADJACENT WALL SURFACE.
 - ALL BASES TO BE FINISH CODE B-1 UNLESS OTHERWISE NOTED.
 - ALL ACOUSTICAL GELINGS TO BE FINISH CODE 'ACT-1' UNLESS OTHERWISE NOTED.
 - ALL WALLS TO BE PAINT FINISH CODE 'P-1' UNLESS OTHERWISE NOTED.
 - ALL DOOR FRAMES TO BE PAINTED FINISH CODE P-2 UNLESS OTHERWISE NOTED.
 - ALL RESILIENT SHEET FLOORING SEAMS TO BE WELDED PER MFG'S RECOMMENDATIONS IN COLOR MATCHING FIELD REG.
 - ALL SOLID SURFACE SEAMS TO BE HARD BEAM (NO SEAMS SHOWING).
 - USE MFG'S RECOMMENDED MAXIMUM WIDTHS/LENGTHS TO MINIMIZE THE NUMBER OF SEAMS IN SOLID SURFACE.
 - REVIEW INTERIOR ELEVATIONS FOR APPLICATION OF RESIN PANELS. PANEL JOINTS TO BE ALIGNED AND UNIFORMLY COATED. USE A MINIMUM AMOUNT OF SOLVENT TO PREVENT ROOING.
 - RESIN PANELS TO BE SELF-EDGING. ANY EXPOSED EDGES TO BE SANDED TO A SMOOTH, EVEN FINISH.
 - PROVIDE PLASTIC CORNER GUARDS AS INDICATED BY 'C.G.' AND WOODEN CORNER GUARDS AS INDICATED BY 'N.C.G.' ON DRAWINGS. SEE INTERIOR FINISH SCHEDULE FOR FURTHER INFORMATION.
 - CORNER GUARDS TO BE HALF HEIGHT UNLESS OTHERWISE NOTED.
 - INCLUDE ALL NECESSARY TRIM PIECES FOR WALL PROTECTION AND COLOR MATCHING END CAPS FOR ALL CORNER GUARDS.
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 - RIGID SHEET WALL PROTECTION TO BE 4'-0" H ROLL WITH MINIMAL SEAMS.

RE-BID DOCUMENTS		08.08.2023
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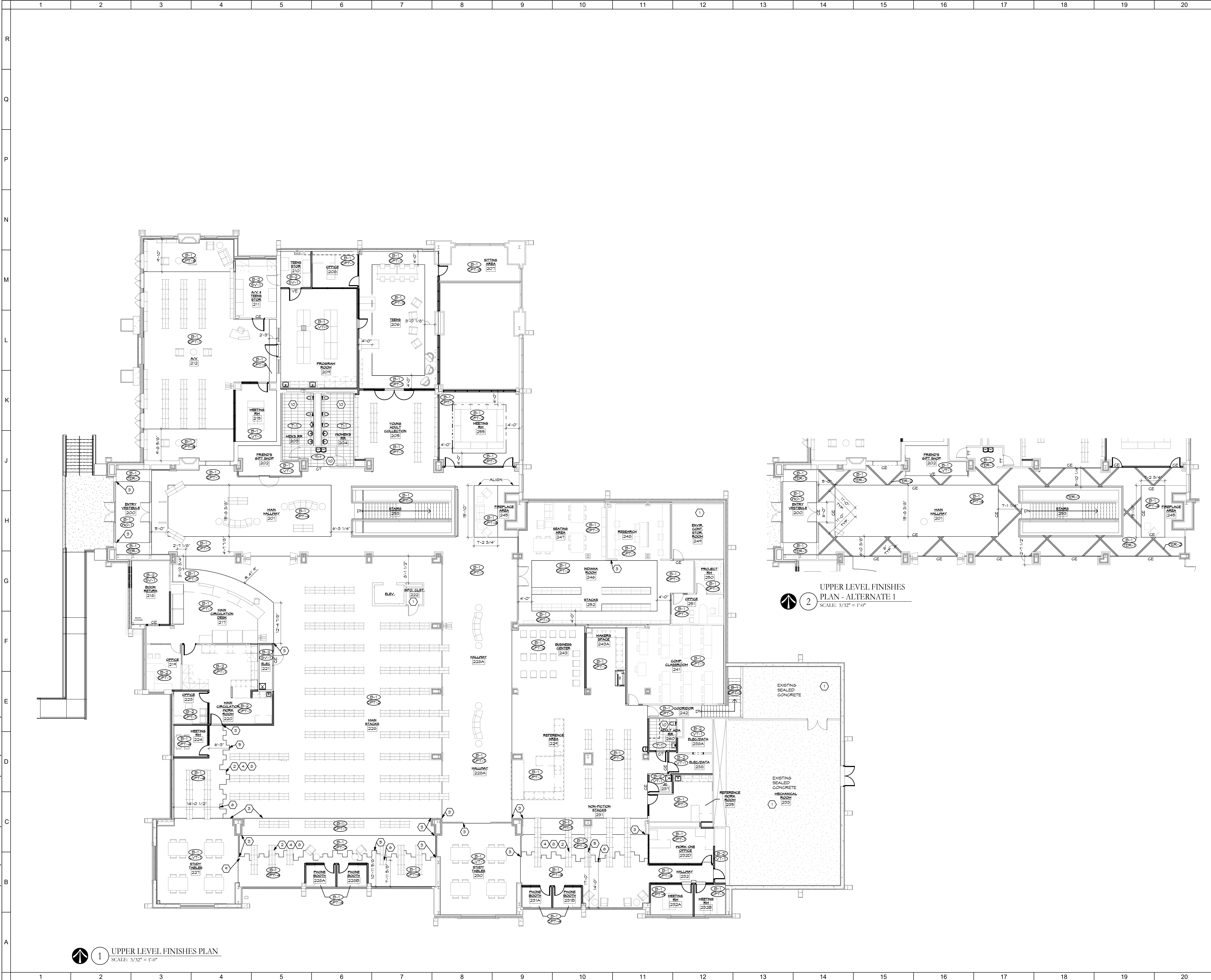
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LOWER LEVEL WALL FINISH PLAN

Comm. No.	22105.00	Date	08.08.2023
Drawn	M.K.S.	Checked	G.A.D.
Checked	G.A.D.	Drawing No.	ID102

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- SHEET NOTES:**
- EXISTING FLOORING TO REMAIN.
 - ACCENT FLOORING PATTERN TO START WITH FULL CARPET TILE.
 - ALIGN FLOOR PATTERN WITH EDGE OF WALL.
 - TOOTHED EDGE CARPET PATTERN NOT TO BE LONGER THAN THIS LENGTH.
 - TOOTHED EDGE CARPET PATTERN NOT TO BE SHORTER THAN THIS LENGTH.
 - TOOTHED EDGE CARPET PATTERN NOT TO BE SHORTER THAN THIS LENGTH.
 - TOOTHED EDGE CARPET PATTERN TO GRADUALLY INCREASE AS IT GOES TOWARD THE REPLACEMENT.
 - SEE TYPICAL LAYOUT DETAIL FOR TOOTHED EDGE INSTALL.
 - PARTIAL WIDTH TILE HEIGHT TO ALIGN WITH FULL WIDTH TILE HEIGHT ADJACENT TO IT.
 - TILE FLOOR TO BE CENTERED IN ROOM.
 - SEE ELEVATIONS ON SHEET A604 FOR RESTROOMS WALL FINISHES AND TILE PATTERN.
 - NOT USED.
 - FEATURE DIGITAL WALLCOVERING.
 - WALL PROTECTION TO END 0'-3\"/>

- GENERAL NOTES:**
- PAINTING OR FINISHING OF MISCELLANEOUS ITEMS NOT SPECIFICALLY MENTIONED IN THE ROOM FINISH SCHEDULE SHALL INCLUDE AND NOT BE LIMITED TO THE FOLLOWING:
 - HOLLOW METAL DOORS, DOOR FRAMES, AND BORROWED LITE FRAMES, RAILINGS.
 - EXPOSED STEEL STAIRS COMPONENTS.
 - SEE DIVISIONS 15 AND 16 OF THE SPECIFICATIONS AND MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION FOR PAINTING OF MECHANICAL AND ELECTRICAL ITEMS. ALL EXPOSED DUCTWORK, PIPING CONDUIT, HANGERS, ETC. SHALL BE PAINTED TO MATCH ADJACENT WALL OR CEILING COLOR UNLESS OTHERWISE NOTED.
 - WOOD DOORS ARE TO BE FACTORY FINISHED.
 - SEE INTERIOR FINISH FLOOR PLANS FOR EXTENT OF WALL AND FLOORING FINISHES AND FOR FLOOR PATTERN LAYOUT AND DIMENSIONS.
 - COORDINATE ALL FINISH CONCERNS IN FIELD WITH ARCHITECT PRIOR TO INSTALLATION.
 - CONTRACTOR SHALL PROVIDE MATERIAL SAMPLES FOR ALL SPECIFIED FINISHES PRIOR TO CONSTRUCTION.
 - ALL MATERIALS SHALL BE INSTALLED USING MANUFACTURER'S RECOMMENDED FABRICATION AND INSTALLATION PROCEDURES AND ADHESIVES.
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 - SCOFF OR BULKHEAD PAINT TO CONTINUE FROM FACE SIDE(S) TO UNDEFSIDE UNLESS OTHERWISE NOTED.
 - ALL BULKHEAD AND SCOFF PAINT TO BE EGGSHELL FINISH.
 - ALL ACoustICAL GELINGS TO BE FINISH CODE AG-1 UNLESS OTHERWISE NOTED. SEE RCP FOR FURTHER INFORMATION.
 - FEATHER FLOORING MATERIALS WHEN TWO TYPES OF MATERIALS ADJOIN.
 - PAINT GRILLES TO MATCH ADJACENT WALL SURFACE.
 - ALL BASE TO BE FINISH CODE B-1 UNLESS OTHERWISE NOTED.
 - ALL ACoustICAL GELINGS TO BE FINISH CODE 'AG-1' UNLESS OTHERWISE NOTED.
 - ALL WALLS TO BE PAINT FINISH CODE P-1 UNLESS OTHERWISE NOTED.
 - ALL DOOR FRAMES TO BE PAINTED FINISH CODE P-2 UNLESS OTHERWISE NOTED.
 - ALL RESIDENT SHEET FLOORINGS SEAMS TO BE WELDED PER MFG'S RECOMMENDATIONS IN COLOR MATCHING FIELD RIGID.
 - ALL SOLID SURFACE BEAMS TO BE HARD BEAM (NO SEAMS SHOWN).
 - USE MFG'S RECOMMENDED MAXIMUM WIDTHS/LENGTHS TO MINIMIZE THE NUMBER OF SEAMS IN SOLID SURFACE.
 - REVEAL INTERIOR ELEVATIONS FOR APPLICATION OF RESIN PANELS. PANEL JOINTS TO BE ALIGNED AND UNIFORMLY COATED. USE A MINIMUM AMOUNT OF ADHESIVE TO PREVENT ROOING.
 - RESIN PANELS TO BE SELF-EDGING. ANY EXPOSED EDGES TO BE SANDED TO A SMOOTH, EVEN FINISH.
 - PROVIDE PLASTIC CORNER GUARDS AS INDICATED BY 'C.G.' AND WOODEN CORNER GUARDS TO BE HALF HEIGHT UNLESS OTHERWISE NOTED.
 - SEE INTERIOR FINISH SCHEDULE FOR FURTHER INFORMATION.
 - CORNER GUARDS TO BE HALF HEIGHT UNLESS OTHERWISE NOTED.
 - INCLUDE ALL NECESSARY TRIM PIECES FOR WALL PROTECTION AND COLOR MATCHING END CAPS FOR ALL CORNER GUARDS.
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 - RIGID SHEET WALL PROTECTION TO BUTT JOINT WITH COLOR MATCHED CALK FOR ALL SEAMS UNLESS OTHERWISE NOTED.
 - RIGID SHEET WALL PROTECTION TO BE 4'-0\"/>

RE-BID DOCUMENTS		08.08.2023
No.	Revisions / Submissions	Date

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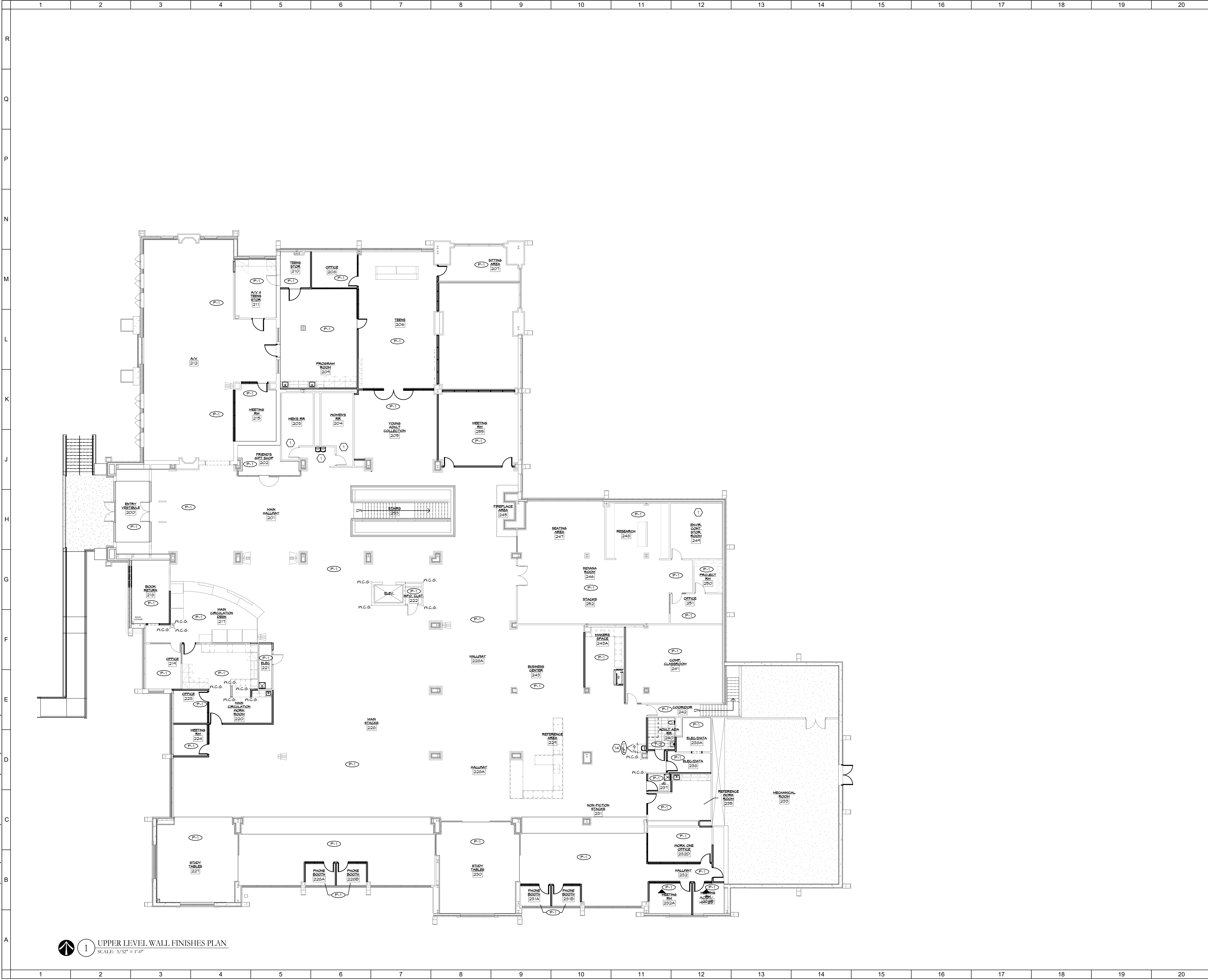
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UPPER LEVEL FLOOR FINISH PLAN

Comm. No.	Date
22105.00	08.08.2023
Drawn	Drawing No.
M.K.S.	ID103
Checked	
G.A.D.	

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1 UPPER LEVEL WALL FINISHES PLAN
SCALE: 3/32" = 1'-0"

SHEET NOTES:

1. EXISTING FLOORING TO REMAIN.
2. ACCENT FLOORING PATTERN TO START WITH FULL CARPET TILE.
3. ALIGN FLOOR PATTERN WITH EDGE OF WALL.
4. TOOTHED EDGE CARPET PATTERN TO BE RANDOMLY STAGGERED AT 1/3 INCREMENTS OF CARPET TILE.
5. TOOTHED EDGE CARPET PATTERN NOT TO BE LONGER THAN THIS LENGTH.
6. TOOTHED EDGE CARPET PATTERN NOT TO BE SHORTER THAN THIS LENGTH.
7. TOOTHED EDGE CARPET PATTERN TO GRADUALLY INCREASE AS IT GOES TOWARD THE FIREPLATE.
8. SEE TYPICAL LAYOUT DETAIL FOR TOOTHED EDGE INSTALL.
9. PARTIAL WIDTH TILE HEIGHT TO ALIGN WITH FULL WIDTH TILE HEIGHT ADJACENT TO IT.
10. TILE FLOOR TO BE CENTERED IN ROOM.
11. SEE ELEVATIONS ON SHEET A604 FOR RESTROOMS WALL FINISHES AND TILE PATTERN.
12. NOT USED.
13. FEATURE DIGITAL WALLCOVERING.
14. WALL PROTECTION TO END 0'-8" ABOVE DRINKING FOUNTAIN AND BOTTLE FILLER.
15. FEATURE RANDOM FILM.

GENERAL NOTES:

- A. PAINTING OR FINISHING OF MISCELLANEOUS ITEMS NOT SPECIFICALLY MENTIONED IN THE ROOM FINISH SCHEDULE SHALL INCLUDE AND NOT BE LIMITED TO THE FOLLOWING:
 - a. HOLLOW METAL DOORS, DOOR FRAMES, AND BORROWED LITE FRAMES, RAILINGS.
 - b. EXPOSED STEEL STAIRS COMPONENTS.
- C. SEE DIVISIONS 15 AND 16 OF THE SPECIFICATIONS AND MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION FOR PAINTING OF MECHANICAL AND ELECTRICAL ITEMS. ALL EXPOSED DUCTWORK, PIPING CONDUIT, HANGERS, ETC. SHALL BE PAINTED TO MATCH ADJACENT WALL OR CEILING COLOR UNLESS OTHERWISE NOTED.
- B. WOOD DOORS ARE TO BE FACTORY FINISHED.
- C. SEE INTERIOR FINISH FLOOR PLANS FOR EXTENT OF WALL AND FLOORING FINISHES AND FOR FLOOR PATTERN LAYOUT AND DIMENSIONS.
- D. COORDINATE ALL FINISH CONCERNS IN FIELD WITH ARCHITECT PRIOR TO INSTALLATION.
- E. CONTRACTOR SHALL PROVIDE MATERIAL SAMPLES FOR ALL SPECIFIED FINISHES PRIOR TO CONSTRUCTION.
- F. ALL MATERIALS SHALL BE INSTALLED USING MANUFACTURERS' RECOMMENDED FABRICATION AND INSTALLATION PROCEDURES AND ADHESIVES.
- G. REVEAL TRANSITIONS SPECIFICATIONS FOR FLOORING TRANSITIONS.
- H. ALL FINISH MATERIALS SHALL MEET THE REQUIREMENTS OF CHAPTER 8 OF THE CURRENT INTERNATIONAL BUILDING CODE AS ADOPTED BY THE A.H.J.
- I. SCOFF OR BULKHEAD PAINT TO CONTINUE FROM FACE SIDE(S) TO UNDERSIDE, UNLESS OTHERWISE NOTED.
- J. ALL BULKHEAD AND SCOFF PAINT TO BE EGGSHELL FINISH.
- K. ALL ACOUSTICAL GELINGS TO BE FINISH CODE ACT-1 UNLESS OTHERWISE NOTED. SEE RCP FOR FURTHER INFORMATION.
- L. FEATHER FLOORING MATERIALS WHEN TWO TYPES OF MATERIALS ADJOIN.
- M. PAINT GRILLES TO MATCH ADJACENT WALL SURFACE.
- N. ALL BASE TO BE FINISH CODE P-1 UNLESS OTHERWISE NOTED.
- O. ALL ACOUSTICAL GELINGS TO BE FINISH CODE 'ACT-1' UNLESS OTHERWISE NOTED.
- F. ALL WALLS TO BE PAINT FINISH CODE 'P-1' UNLESS OTHERWISE NOTED.
- G. ALL DOOR FRAMES TO BE PAINTED FINISH CODE P-2 UNLESS OTHERWISE NOTED.
- R. ALL RESILIENT SHEET FLOORINGS SEAMS TO BE WELDED PER MFG'S RECOMMENDATIONS IN COLOR MATCHING FIELD REG.
- S. ALL SOLID SURFACE SEAMS TO BE HARD BEAM (NO SEAMS SHOWING).
- T. USE MFG'S RECOMMENDED MAXIMUM WIDTH/LENGTHS TO MINIMIZE THE NUMBER OF SEAMS IN SOLID SURFACE.
- U. REVIEW INTERIOR ELEVATIONS FOR APPLICATION OF RESIN PANELS. PANEL JOINTS TO BE ALIGNED AND UNIFORMLY COATED. USE A MINIMUM AMOUNT OF SOLVENT TO PREVENT ROOING.
- V. RESIN PANELS TO BE SELF-EDGING. ANY EXPOSED EDGES TO BE SANDED TO A SMOOTH, EVEN FINISH.
- W. PROVIDE PLASTIC CORNER GUARDS AS INDICATED BY 'C.G.' AND WOODEN CORNER GUARDS AS INDICATED BY 'N.C.G.' ON DRAWINGS. SEE INTERIOR FINISH SCHEDULE FOR FURTHER INFORMATION.
- X. CORNER GUARDS TO BE HALF HEIGHT UNLESS OTHERWISE NOTED.
- Y. INCLUDE ALL NECESSARY TRIM PIECES FOR WALL PROTECTION AND COLOR MATCHING END CAPS FOR ALL CORNER GUARDS.
- Z. RIGID SHEET WALL PROTECTION TO HAVE COLOR MATCHING TRIM CAP TO FINISH TOP EDGE. CALKED TO SEAL ALL EDGES.
- AA. RIGID SHEET WALL PROTECTION TO BUTT JOINT WITH COLOR MATCHED CALK FOR ALL SEAMS, UNLESS OTHERWISE NOTED.
- BB. RIGID SHEET WALL PROTECTION TO BE 4'-0" W/TH MINIMAL SEAMS.

RE-BID DOCUMENTS		08.08.2023
No.	Revisions / Submissions	Date

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UPPER LEVEL WALL FINISH PLAN

Comm. No.	Date
22105.00	08.08.2023
Drawn	Drawing No.
M.K.S.	ID104
Checked	
G.A.D.	

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